

SANTA FE COUNTY

Ordinance No. 2005 - 08

AN ORDINANCE AMENDING ARTICLE XIV, TRADITIONAL AND CONTEMPORARY COMMUNITY ZONING DISTRICTS, OF THE SANTA FE COUNTY LAND DEVELOPMENT CODE, ORDINANCE 1996-10, AS AMENDED, TO ADD A NEW SECTION 8, US 285 SOUTH HIGHWAY CORRIDOR ZONING DISTRICT

BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS OF SANTA FE COUNTY THAT THE SANTA FE COUNTY LAND DEVELOPMENT CODE, ORDINANCE 1996-10, ARTICLE XIV, TRADITIONAL AND CONTEMPORARY COMMUNITY ZONING DISTRICTS, IS AMENDED TO ADD A NEW SECTION 8 AS FOLLOWS:

SECTION 8 - US 285 SOUTH HIGHWAY CORRIDOR ZONING DISTRICT

8.1 Applicability of Ordinances and the Land Development Code

- A. This Ordinance applies within the territory identified in Section 8.2 herein. All regulations, policies and conditions established via the Santa Fe County Land Development Code (herein referred to as the "Code") shall be applicable to all property within the US 285 South Highway Corridor District except those specifically modified by this Ordinance.
- B. This Ordinance shall apply to all development occurring after the adoption of this Ordinance and development not legally in existence at the time of adoption of this Ordinance. Any development that does not have final plan approval where such approval is required, at the time of adoption of this Ordinance, shall comply with this Ordinance. This Ordinance and standards may be amended from time to time.
- C. This Ordinance shall apply to a master plan within the US 285 South Highway Corridor District that was validly approved by Santa Fe County prior to adoption of this Ordinance and whose provisions do not conform with this Ordinance; provided, however, that a previously approved master plan may be amended as necessary to comply with this Ordinance and any necessary amendment may be approved by the Code Administrator.
- D. The more detailed recommendations of County Resolution 2004-73, the US 285 South Highway Corridor Plan, shall be considered in the review and approval of all development in the US 285 South Highway Corridor District.

8.2 Location of Zoning District Boundaries

The US 285 South Highway Corridor ((285SC) District consists of all property within the area extending two thousand (2,000) feet on either side of the centerline of US 285 South Highway from its intersection with NM 300, the Old Las Vegas Highway, to its intersection with NM 41 and additionally Lot 33C of the Agora Development. The US 285 South Highway Corridor District Zoning Map (County Zoning Map), depicting the Districts and the subdistricts within it, is hereby adopted and incorporated into this section.

8.3 Purpose

The US 285 South Highway Corridor (285SC) District is intended to implement the commercial and mixed-use goals and recommendations of the US 285 South Highway Corridor Plan, adopted and approved by the Board of County Commissioners on July 13, 2004, in Resolution 2004-73, in order to ensure that commercial and mixed-use development is consistent with and supports existing and future residential development.

8.4 Policies

A. Planning Goals

The overall planning goals for the area that includes the 285SC District are as follows:

1. Provide visual continuity from one subdivision to another using the elements of open space, landscaping and setbacks.
2. Avoid strip development by locating compact mixed-use development at intersections where access and activities come together.
3. Link residential areas and mixed-use development with a well-connected network of paths and trails.
4. Reflect community character through land use and zoning recommendations and design standards and guidelines for mixed-use development.
5. Encourage viable public places where people can gather and interact, both daily and during community celebrations.
6. Identify important and distinctive natural features that should be preserved in their natural state, most importantly the arroyos and ridge tops.
7. Minimize water consumption from all sources by requiring new non-residential development to conserve, reuse and recycle water.

B. Residential Areas

Residential subdistricts within the 285SC District implement and correspond, in part, to the Rural land use designation in the Santa Fe County Growth Management Plan adopted by the Santa Fe Board of County Commissioners on October 26, 1999, in resolution 1999-137 and permit special provisions that reflect the unique character of the US285 South Corridor area.

C. Mixed-Use Centers

The intent of the mixed-use subdistricts within the 285SC District is as follows:

1. Ensure a lively mix of uses in each center, such as residential, community services, public space, retail, office, and services.
2. Ensure public places to gather and interact.
3. Provide clear connections within the mixed-use developments and to surrounding residential areas.
4. Ensure mixed-use centers that fit into the context of the surrounding areas by providing a framework for design and site planning.

8.5 285SC Subdistricts Established

The following 285SC subdistricts are hereby established and approved for use in the 285SC District:

US 285 South Highway Corridor Subdistricts
Residential Homestead (RH)
Residential Mountain (RM)
Residential Basin Fringe (RBF)
Village Mixed-use (VMU)
Neighborhood Mixed-use (NMU)

8.6 285SC District Use Table

All principal uses allowable in the 285SC District are specified in the table below. The first column contains a list of general uses, which provide an abbreviated explanation of the respective use category. The second column contains a list of more specific uses grouped by general use. The final column of the table contains references to "Use Standards" that apply to the listed use type in all zoning districts and circumstances.

A. Use Categories
(Section Reserved)

B. Accessory Uses

Accessory uses are subject to all applicable provisions of this Code.

C. Temporary Uses

Temporary uses are subject to all applicable provisions of this Code.

D. Principal Uses

P Permitted Uses

A “P” indicates that a use is allowed by right in the respective zoning district, in accordance with an administrative approval. Permitted uses are subject to all other applicable regulations of this Code. Application for a development permit is not required for agricultural, grazing and ranching uses as set forth in Art. III, Section 1 of the Code.

C Conditional Uses

A “C” indicates that a use is allowed only if a Development Plan is reviewed and approved by the CDRC or applicable LDRC, in accordance with the applicable procedures of this Code. Conditional Uses are subject to all other applicable regulations of this Code.

S Special Uses

An “S” indicates that a use is allowed only if a Development Plan and Master Plan are reviewed and approved by the Board of County Commissioners, in accordance with the applicable procedures of this Code. Special Uses are subject to all other applicable regulations of this Code.

Uses Not Allowed

A blank cell (one without a “P”, “C” and “S”) indicates that a use type is not allowed in the respective zoning district.

Commentary: The Use Table, below, is organized into 5 major use groups: Residential Use Categories, Public, Civic and Institutional Use Categories, Retail, Service and Commercial Use Categories, Industrial Use Categories, and Open Use Categories. Each major use group is further divided into specific uses. The use category system is based on common functional, product or compatibility characteristics, thereby regulating uses in accordance with criteria directly relevant to the public interest.

285SC							
Use Categories	Specific Uses	Residential Homestead	Residential Mountain	Residential Basin Fringe	Village Mixed-use	Neighborhood Mixed-use	Use Standards
KEY: P = Permitted Use C = Conditional Use S = Special Use Blank = Not Permitted							
Residential Use Categories							
Household Living	All household living not listed below				S	S	
	Single-family dwellings and manufactured homes	P	P	P	P	P	
	Two-family dwellings (duplexes)	P	P	P	P	P	
	Multi-family dwellings		P		C	C	8.9.C
	Manufactured home communities and subdivisions						
	Mobile homes						
	Upper floor residential				P	P	
Group Living	All group living not listed below				S	S	
	Community residential homes (6 or fewer residents)	P	P	P	P	P	
	Community residential homes (7-14 residents)	C	C	C	C	C	
	Family compounds	C	C	C		C	
Public, Civic, and Institutional Use Categories							
Place of Worship	All places of worship	C	C	C	C	C	
Day Care	All day care not listed below						
	Day care (13 or more adults or children)	C	C	C	C	C	
Community Service	All community service not listed below				S	S	
	Community facilities				P	C	
	Libraries				P	C	
	Museums		S		C	S	8.9.B
	Philanthropic institutions				C	C	
	Senior centers				P	C	
Educational Facilities	All educational facilities not listed below				C	C	
	Elementary schools	C	C	C	C	S	
	Middle or high schools	S	S	S	C	S	
	Colleges or universities				C		
	Business and vocational schools				C		
Government Facilities	All government facilities not listed below	C	C	C	C	C	
	Emergency services	C	C	C	P	C	
	Jail or prison						
Parks and Open Spaces	All parks and open space not listed below	C	C	C	C	C	
	Cemeteries, columbaria, mausoleums & memorial parks	C	C	C			

285SC

Use Categories	Specific Uses	Residential Homestead	Residential Mountain	Residential Basin Fringe	Village Mixed-use	Neighborhood Mixed-use	Use Standards
	Public parks	P	P	P	P	P	
Passenger Terminal	All passenger terminals not listed below				S		
	Airports						
	Airports and heliports, private						
Social Service Institutions	All social service institutions				S	S	
Utilities	Utilities not listed below	S	S	S	C	C	
	Major utilities	S	S	S	S	S	
	Minor utilities	C	C	C	C	C	
Retail, Service and Commercial Use Categories							
Entertainment Events, Major	All major entertainment events, not listed below				S	S	
	Fairgrounds						
Medical Services	All medical services not listed below				S	S	
	Hospitals						
	Medical and dental offices/clinics				P	C	
	Emergency medical offices				P	C	
Office	All offices not listed below				C	S	
	Banks and other financial institutions				P	C	
	Offices (<5,000 square feet)				P	P	
	Offices (>5,000 to 50,000 square feet)				P	P	
	Offices (>50,000 square feet)						
	Research/development				C	S	
Parking, Commercial	All commercial parking lots and garages				C	S	
Transient Accommodations	All transient accommodations not listed below				S	S	
	Inns and bed and breakfasts (<7 units)	S	S	S	P	P	
	Inns and bed and breakfasts (7-12 units)				P	C	
	Hotels, motels, and inns (>12 units)						
	Resorts (with or without conference centers)						
Indoor Recreation	All indoor recreation not listed below				S	S	
	Adult entertainment						
	Convention or conference center				S		
	Private clubs and lodges (not-for-profit)				P	C	
	Entertainment and recreation, indoor				P	C	
Outdoor Recreation	All outdoor recreation not listed below				C	C	
	Community pools			S	C	C	
	Country clubs			S			

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Use Categories	Specific Uses	Residential Homestead	Residential Mountain	Residential Basin Fringe	Village Mixed-use	Neighborhood Mixed-use	Use Standards
	Golf Courses						
	Recreational uses, outdoor	S	S	S	C		
	Outfitter and guide services				C		
	Racetracks, animal						
	Racetracks, motorized						
	Recreational vehicle park/campground						
	Riding academies and public stables	S	S	S	C	C	
	Stadiums						
Restaurants and Bars	All restaurants and bars not listed below				S		
	Restaurants				P	P	
	Restaurant, serving beer, wine, or liquor				P	P	
	Taverns and bars				S		
Retail Sales and Service	All indoor retail sales and services not listed below				S	S	
	Art galleries or dealers				P	P	
	Appliance, bicycle, jewelry, shoe or watch repair				P	C	
	Convenience stores				P	C	
	Exercise or dance studios				P	C	
	Farmers markets				C	C	
	Gasoline and fuel sales				S		
	Liquor stores				S	S	
	Outdoor markets				C	C	
	Personal service establishments				P	C	
	Retail establishments, indoor <5,000sf				P	P	
	Retail establishments, indoor >5,000sf to 50,000sf				P		
	Retail establishments, indoor >50,000						
	Vehicle parts and accessories				P		
Video and DVD rental establishments				P	C		
Vehicle Sales and Service	Vehicle sales and service not listed below						
	Vehicle sales and leasing				C		8.11.B.3
	Vehicle service, general				S		
	Vehicle service, intensive						
Storage	Storage not listed below						
	Mini-storage units				S		8.11.B.2
	RV storage				S		
Industrial Use Categories							
Industrial Sales and Service	Industrial sales and service not listed below						
	Arts and crafts				C	C	
	Manufactured home sales and service						

285SC

Use Categories	Specific Uses	Residential Homestead	Residential Mountain	Residential Basin Fringe	Village Mixed-use	Neighborhood Mixed-use	Use Standards
	Manufacturing or assembly of equipment				C	S	
	Plumbing and electrical contractors				S		
	Woodworking, including cabinet makers and furniture manufacturing				C	S	
Warehouse and Freight Movement	Warehouse and freight movement not listed below						
	Outdoor storage yards						
	Transport and shipping						
	Truck stops						
	Warehousing (limited)				C	S	
Waste-related Services	Waste-related services not listed below						
	Landfills						
	Recycling facilities						
Wholesale Trade	Wholesale trade not listed below						
	Equipment rental				S		
	Mail-order houses				S	S	
Heavy Industrial	All heavy industrial						
Resource Extraction	All resource extraction not listed below						
	Mining and extractive uses						
	Sand and gravel operations						
Open Use Categories							
Agriculture	All agriculture not listed below	S	S	S	S		
	Agriculture, grazing and ranching	P	P	P	P	P	
	Agriculturally-related supplies and equipment	S	S	S	C	C	
	Animal boarding, kennels, shelters (small animals)				S	S	
	Animal boarding (large animals)	S	S	S			
	Animal raising (commercial)	C	C	C			
	Greenhouses and plant nurseries, (wholesale)	S	S	S	C	C	
	Veterinary clinics (large animal)				S	S	
	Veterinary clinics (small animal)				S	S	

8.7 Density and Dimensional Standards

The following table illustrates the dimensional standards that apply in the 285SC District. A blank space indicates “no applicable standard”.

Commentary: The density and dimensional standards set forth in this section are not a “guarantee” that stated development density and intensities can be attained. Other factors—water and other public facility availability, infrastructure capacity, building layout, physical limitations, and parking configuration to name a few—may have the effect of limiting development intensity more than the stated standards. If, for example, adequate water is not available, the requirements of Article VII, Sec. 6, Water Supply, will dictate lot sizes that exceed those of the zoning district. The inability to attain maximum development intensities shall not serve as justification for adjusting other standards.

285SC														
Sub-districts	Minimum Lot Area/Principal Use (acres) (1)						Max. Coverage (%) (2)		Max. Height (3)			Setbacks (ft) (4)		
	Base Density	Water Cons.	Long Term Water	Community Services					Residential Uses		Non-residential Uses	Max. Front & Street Side	Min. Interior Side	Min. Rear
				Water	Sewer	Both W&S	SF	MF						
Residential Homestead	160	40	2.5				20	20	24		24		5	5
Residential Mountain	80	20	2.5				20	20	24		24		5	5
Residential Basin Fringe	50	12.5	2.5				20	20	24		24		5	5
Village Mixed-use							20	20	24	24	24	30	5	10
Neighborhood Mixed-use							20	20	24	24	24	50	5	10

Notes:

(1) Where adequate water is available, minimum lot area may be reduced by employing water conservation measures and reducing water use. Further reduction, as described in this table, may be achieved by submitting proof of adequate long-term water availability, connecting to community water, community sewer or both (W&S), all in accordance with Art. III, Section 10, Lot Size Requirements. Density for residential uses in VMU and NMU districts is calculated by a formula found in Sec. 8.10C, Supplemental Density and Dimensional Standards.

(2) Maximum coverage for both residential and non-residential uses includes that portion of the lot covered by the roofs of principal and accessory buildings and structures.

(3) Maximum height on slopes over 15% is 18 feet. Some subdistricts have different maximum height requirements [See Sec. 8.12, Neighborhood Mixed-Use Subdistricts]. Below grade basements are allowed.

(4) Reduced side yard setbacks may be permitted where fire resistant materials are used and approved by the County Fire Marshal, or on the “attached” side of a lot containing an attached dwelling or non-residential space. The street, side, and rear setback standards shall apply around the perimeter of an attached housing development. Public and Pedestrian-oriented spaces may have additional setback restrictions. Setbacks shall be measured from the property line or from the edge of road easement where the property line is inside the road easement.

8.8 District Standards – All Subdistricts

District standards applicable in all subdistricts within the 285SC District include the following:

A. Setbacks from Highways

1. US 285

Any building containing a use or accessory to a residential use shall be set back a minimum of 100 feet from the edge of the right-of-way of U.S. Highway 285, and non-residential uses shall be set back a minimum of 50 feet from the edge of the right-of-way of U.S. Highway 285, except as provided below.

2. Old Las Vegas Highway

Any building containing a use or accessory to any use shall be set back a minimum of 50 feet from the edge of the right-of-way of the Old Las Vegas Highway, except as provided below.

3. Reduced Setbacks

The setbacks for any building containing or accessory to a non-residential use may be reduced to 25 feet from the edge of the right-of-way of U.S. Highway 285 or the Old Las Vegas Highway if access and parking are located other than between the building and the highway.

4. Landscaping

The required setbacks from highways shall be landscaped and shall not contain parking or structures, but may contain pedestrian paths and trails.

5. Shallow Parcels

If a parcel in existence at the time of the adoption of this ordinance does not contain a building site outside of the required 100 foot-setback, a single family residence may be permitted if the County determines that the residence will be adequately buffered from highway noise. Berms, landscaping and use of existing terrain are acceptable methods for buffering.

B. Natural Environment

1. Terrain Management

Density clustering on site within an existing parcel and new subdivisions is required pursuant to the provisions of Article VII, Sec. 3, Terrain Management. All development shall take advantage of the most appropriate naturally occurring Buildable Area and shall avoid the natural features identified for protection in the US 285 South Highway Corridor Plan.

2. Arroyo Protection

All development shall be set back a minimum of 50 feet from the top of natural arroyo banks.

3. Steep Slopes and Ridges

- a. Structures are prohibited on slopes greater than 30 percent.
- b. Structures that are higher than any ridge tops within 1,000 feet of a structure are prohibited.

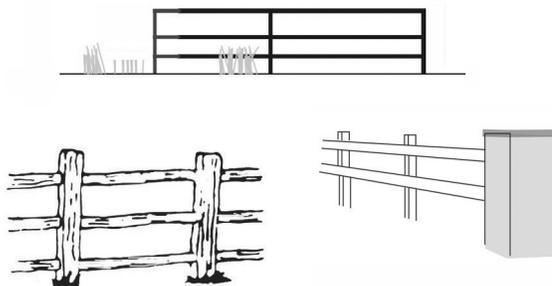
C. Fencing and Screening

1. Noise Screening

Noise walls facing U.S. Highway 285 or the Old Las Vegas Highway are prohibited. Additional setbacks or landscaped berms may be used to reduce noise impacts.

2. Perimeter Fencing

Perimeter fencing around lots or projects shall be at least 50 percent open. Acceptable fencing types include split rail or post and wire.



Examples of good Fences

3. Prohibited Fencing

Chain link and wire mesh fencing are prohibited.

4. Screening – General

Service areas, loading areas, outdoor storage areas, and trash receptacles for other than single-family houses shall be screened with buildings, walls, berms, vegetation, and/or existing terrain. The screening for loading areas and outdoor storage areas shall be a minimum of 6 feet in height and a maximum of 8 feet in height. All screening shall provide protection of the enclosed area from animals and wind.

5. Screening of Parking

Parking areas shall be screened from adjacent residences by walls, berms, or a combination thereof that are a minimum of 3 feet in height and a maximum of 4 feet in height.

D. Landscaping

1. Disturbed Areas

All disturbed areas shall be landscaped with native grass seed or with plants from the Landscaping Plant List attached to and incorporated into this ordinance as Exhibit A.

2. Public and Semi-Public Areas

Public or semi-public spaces such as plazas, parking lots and streets shall be landscaped with xeric trees and shrubs appropriate to the specific microclimate.

E. Signs

1. General

Signs shall comply with the requirements of Article VIII, Signs, except as otherwise provided in this section.

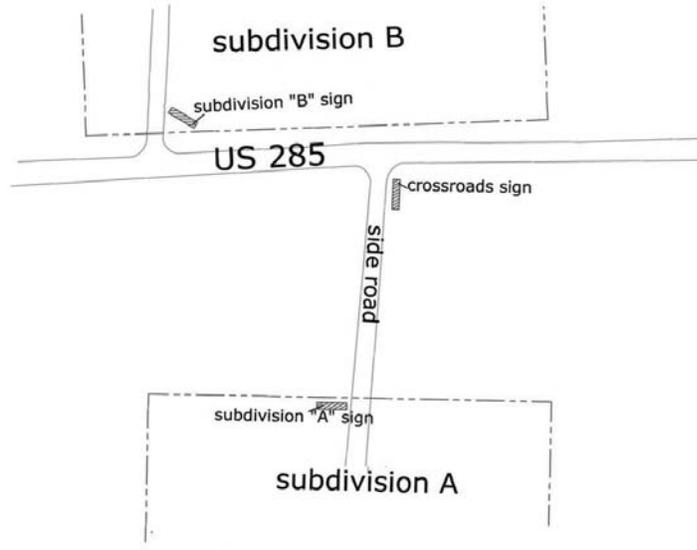
2. Consistency with Comprehensive Monument and Signs Plan

[Section Reserved]

3. Subdivision and Development Identification Signs

New signs and monuments announcing entry to subdivisions or other developments shall comply with the following provisions:

- a.** Signs identifying a residential subdivision shall be located within the subdivision at each external street entrance to the subdivision, not to exceed 2 such signs. If the subdivision is adjacent to U.S. Highway 285 or the Old Las Vegas Highway, the sign(s) shall be located at the side road that provides access from the highway to the subdivision.
- b.** Signs identifying another type of development, such as a business or civic use, shall be located on the same lot as that development. The development shall be allowed one identification sign at each external street entrance to the development, not to exceed 2 such signs.
- c.** The sign(s) shall be a monument-supported sign. The monument supporting the sign shall not exceed 45 square feet and 5 feet in height.
- d.** The sign face or letters shall not exceed 30 square feet.



Location of Subdivision Signs

4. Crossroads Signs

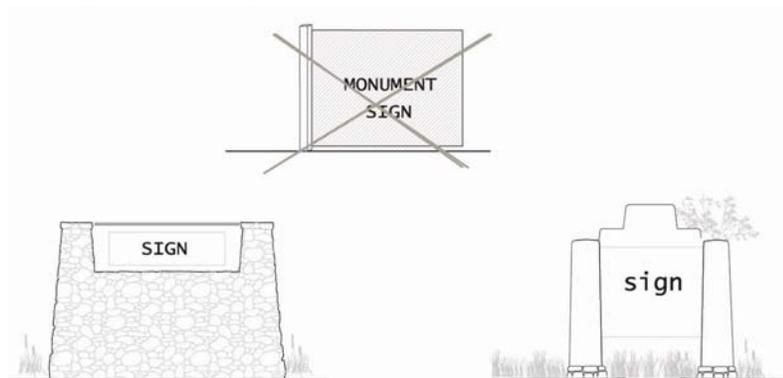
Crossroad signs are allowed along U.S. Highway 285 or the Old Las Vegas Highway to indicate the approach of crossroads or the name of the road accessing the crossroads. Such signs shall comply with the following:

- a. The monument supporting the signs shall not exceed 90 square feet and 6 feet in height.
- b. The sign face or letters shall not exceed 30 square feet.

5. Design

Subdivision and crossroads signs shall comply with the following provisions:

- a. The signs shall be monument signs.
- b. Letters shall be large enough and have adequate contrast with the background to be readable to the intended viewer.
- c. Signs shall be constructed of stucco, stone, wood, or a combination of these materials.
- d. Signs shall incorporate step-downs or pilasters.



Two appropriate and one inappropriate Monument Sign Designs

- e. Signs primarily constructed of stucco shall have an earthtone color and have soft edges.

- f. Signs primarily constructed of stone shall have a natural stone color and have rough or natural edges.
- g. Signs primarily constructed of wood shall have a natural wood color.

F. Lighting

1. Intensity

Lighting levels shall not exceed the maximum levels set forth in the residential lighting guidelines. Streetlights and parking area lights shall be sodium vapor and shall not exceed 250 watts. Lights that are used to minimize glare and blind spots along streets shall not exceed 150 watts unless they are located at a major intersection.

2. Heights

Street lights shall not exceed 24 feet in height. Other outdoor lights shall not exceed 18 feet in height or the height of the lowest adjacent building, whichever is less.

3. Prohibited Lighting

Neon, flashing, traveling, intermittent, spot, and architectural lights are prohibited.

4. Lighting for Outdoor Art

Low-intensity lighting is allowed for illuminating outdoor art.

5. Light Spill

Direct lighting from one lot or project shall not spillover to another lot or adjoining property.

G. Home Occupations

Home occupations are allowed as accessory uses to dwelling units throughout the 285SC District in accordance with the requirements of Article III, Sec. 3, Home Occupations.

8.9 District Standards – RH, RM and RBF Subdistricts

A. General

All development in the RH, RM and RBF subdistricts within the 285SC District shall be subject to the applicable requirements of the Land Development Code and the applicable requirements in this section, Sec. 8, US 285 South Highway Corridor (285SC). In case of conflict, the requirements in this Sec. 8 shall apply.

B. Museums in RM Subdistrict

Museums shall not be allowed in the portion of the RM subdistrict located south of Interstate I-25.

C. Multi-family Dwellings in RM Subdistrict

Four-family dwellings shall be allowed in the RM subdistrict only if this use is part of a master plan that has been approved prior to the effective date of this ordinance.

8.10 District Standards – VMU and NMU Subdistricts

District standards applicable in the VMU and NMU subdistricts within the 285SC District include the following:

A. Areas to be Included

1. Subdistricts Boundaries

Boundaries of the VMU and NMU subdistricts are shown on the County Zoning Map.

2. Areas Eligible for Rezoning

Potential outer boundaries of several NMU subdistricts are shown on the County Zoning Map by a dashed line. Properties within the dashed lines are eligible for rezoning to VMU or NMU in accordance with the provisions herein. Properties within the dashed lines have no absolute right to be rezoned but may be considered for a rezoning in accordance with County procedures.

3. Interpretation of Boundaries

Where the boundaries of the subdistricts as shown on the County Zoning Map do not conform to parcel boundaries (i.e., parcels are proposed but not yet platted as of the date of approval of this Ordinance), the subdistrict boundaries shall be refined during the development plan and Final Subdivision Plat approval process. At the time of final approval, the exact location of the subdistrict boundaries shall be described by survey and the County Zoning Map shall be updated administratively to indicate the final location of the subdistrict boundaries.

B. Supplemental Use Standards

1. Home Businesses

Small scale home businesses, including but not limited to, retail shops, galleries, and offices may be allowed as accessory uses to single-family residential uses provided that such businesses comply with the standards of this section. Home businesses also shall comply with Sec. 8.10.E, Water Supply and Use. Home businesses shall comply with the following provisions:

- a. A Site Development Plan shall be approved by CDRC and filed as part of any approval.
- b. Not more than 2,500 square feet shall be dedicated to the use.
- c. The owner shall reside on-site; and not more than 6 persons, other than members of a family residing on the premises, shall be regularly engaged in work at the site of the home business.
- d. All outdoor storage shall be screened and there shall be no more than 1,000 square feet of such storage related to the home business.
- e. The use shall not be disruptive of the residential character of the neighborhood.
- f. Such uses may have a maximum of one sign advertising the accessory use in accordance with the requirements of Article VIII, Sign Regulations.
- g. No equipment or process shall be used that significantly interferes with the existing use of property in the adjacent area.
- h. The use shall not create any disturbing or offensive activity, noise, vibration, smoke, dust, odor, heat, glare, or other unhealthy or unsightly condition.

2. Community Facilities

Community uses and facilities existing as of January 1, 2005, shall be allowed to continue as permitted or as nonconforming uses or facilities. New facilities serving the use categories listed under Public, Civic, and Institutional Use Categories in Sec. 8.6, 285SC District Use Table, shall be allowed only if they comply with the following provisions:

- a. The proposed facilities are necessary to provide community services within the County.
- b. The facility and use are compatible with existing development in the area.

C. Supplemental Density and Dimensional Standards

1. Floor Area

The total floor area shall not exceed 20 percent of the total lot area.

2. Residential Development within Mixed-use Centers

All residential development in the VMU and NMU subdistricts shall be subject to the maximum number of units as set forth below:

$$\# \text{ of units} = \frac{(0.2)(A)(C)/10,000}{R}$$

Where:

A = project area in square feet

C = commercial water use standard expressed in acre-feet per year per 10,000 sq. ft.

R = residential water use standard expressed in acre-feet per year per dwelling unit

Example Calculation – for illustrative purposes only

Assume:

A = 1 acre parcel (43,560 sf)

C = 0.6 acre-foot of water per 10,000 sf

R = .25 acre-foot of water per dwelling unit

Then:

$(.2 \times 43,560 \times .6) / 10,000 = 0.52$ acre-feet per year

$0.52 / .25 = 2.08$ dwelling units

Note: The 0.2 number in the equation refers to the 20% floor-area limit in subsection 1 directly above

3. Mix of Uses

- a. The total residential development in any mixed-use crossroads area shall not exceed 50% of the total square feet of development.
- b. Any development that exceeds 15,000 square feet and includes either residential or commercial retail/office uses shall provide for a minimum of 25% residential floor area and a minimum of 25% non-residential floor area.

D. Supplemental Structural Standards

1. Building Surface

- a. All building surfaces shall be adobe, stucco or stone. Metal or vinyl surfaces are prohibited. Wood or brick is permitted as a trim not to exceed 10 percent of the exterior surface.
- b. All building surfaces shall be a minimum of 70 percent earthtones and shall blend with the natural vegetation on site.
- c. Accent colors shall not occupy more than 30 percent of the exterior surface.
- d. Building surfaces shall have a maximum light reflective value of 40 percent.

2. Roofs

- a. Roofs may be flat or pitched.
- b. The reflectivity of roof materials visible from any public right-of-way shall not exceed 30 percent.
- c. Tile may be used only as an accent on portals and tops of parapets.
- d. Gray, dark blue, dark green, dark brown or earthtone roofs are allowed. Black, white, bright red, bright blue, bright green and goldenrod roofs are prohibited.

3. Wall Openings

The first 10 vertical feet of walls that are visible from any public right-of-way and that enclose a non-residential use shall have a minimum of 25 percent openings, such as windows, doors, passageways, and portals.



Surface Area of Doors and Windows must be at least 25% of total hatched area

4. Architectural Styles

Architectural styles shall be related or derived from the existing development in the immediate neighborhood of the mixed-use crossroads area. The language of the US 285 South Highway Corridor Plan and the following types of factors should be considered in achieving this result:

- a. Color of building.
- b. Siding material.
- c. Roof shape and color.
- d. Window sizes and styles.
- e. Shape of building.

E. Water Supply and Use

1. Conservation and Reuse

- a. Outdoor recreation and landscaping areas shall use gray water, treated effluent, or harvested rainwater rather than potable water for landscaping and turf. Any effluent used shall be treated to meet all state and county regulations for water quality and for use with public facilities.
- b. Xeriscape and/or native plants shall be used for all required landscaping. The area of landscaping to be irrigated will be based on County Hydrologist approved water budget estimates of rainwater collection or gray water reuse and storage capacity. Water collection systems may include, but are not limited to, gray water collection and treatment; storm water recharge and rainwater collection systems such as cisterns, gravel beds or other storage systems. All such systems shall be in compliance with state and county regulations. The provisions of this subsection shall not apply to agricultural uses of water.

F. Landscaping

1. Walkways and Internal Streets

Walkways and internal streets shall contain shade trees on at least one side, spaced a minimum of 40 feet apart.

2. Parking Areas

Parking lots shall contain a minimum of 1 shade tree for each 10 parking spaces.

3. Plazas and Parks

Plazas and parks shall contain shade trees spaced a minimum of 50 feet apart.

4. Maintenance

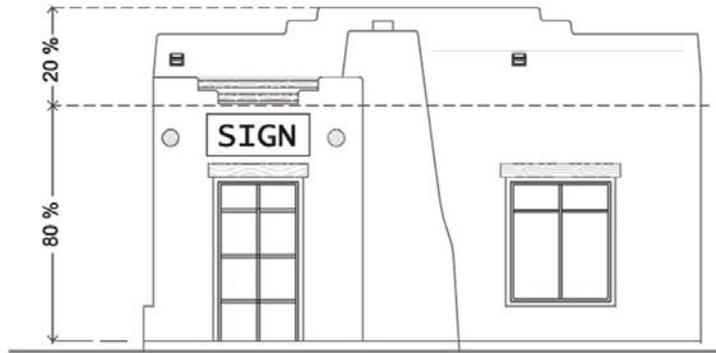
A plan for maintenance of common areas shall be submitted for approval along with the application.

G. Signs

1. Prohibited Signs

The following signs are prohibited:

- a. Off-site business or civic advertising signs.
- b. Pole mounted signs.
- c. Roof signs.
- d. Internally lit signs.
- e. Neon signs.
- f. Signs higher than 80% of the height of the highest building on the lot or project.



Top of Sign must be within
80% of Building Height

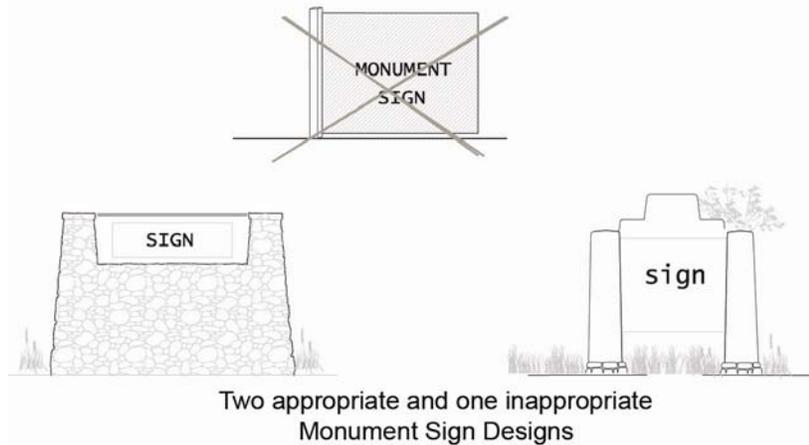
2. Standards

- a. Each business shall be allowed signs equal to 1 square foot per each linear foot of storefront, not to exceed a total of 30 square feet. Signs may be a wall, canopy or monument sign(s).
- b. Multi-use projects consisting of 4 or more businesses shall be allowed 1 business directory monument or development identification sign at each external street entrance to the project, not to exceed 2 such signs.
- c. The letters on signs shall be large enough and have adequate contrast with the background to be readable to the intended viewer.

3. Monument Signs

- a. The monument supporting a directory or development identification sign for the mixed-use center in the VMU subdistrict shall not exceed 60 square feet and 10 feet in height. The sign face or letters shall not exceed 40 square feet.
- b. The monument supporting a directory or development identification sign for mixed-use centers in the NMU subdistrict shall not exceed 45 square feet and 5 feet in height. The sign face or letters shall not exceed 30 square feet.
- c. Monument signs shall be constructed of stucco, stone, wood, or a combination of these materials.

- d. Monument signs shall incorporate step-downs or pilasters.



- e. Monument signs primarily constructed of stucco shall have an earthtone color and have soft edges.
- f. Monument signs primarily constructed of stone shall have a natural stone color and have rough or natural edges.
- g. Monument signs primarily constructed of wood shall have a natural wood color.

H. Mixed-use Buildings

The following requirements apply when residential and non-residential uses are combined in the same building. These requirements do not apply to live/work units.

1. Open Space

A minimum of 250 square feet of usable recreation/leisure space is required for each dwelling unit. Such space may be satisfied by any combination of private patios, roof gardens or common recreational/leisure areas or rooms. Any space used to meet this requirement shall be a minimum of 100 square feet, with a minimum dimension of 8 feet. Unenclosed common open space areas shall be landscaped with the exception of walkways and paved recreation facilities such as swimming pools, decks, and court game facilities. Fountains, ponds, waterscape, and decorative screen-type walls are permitted, consistent with water conservation policies

2. Dwelling Unit Size

The minimum average size of all dwelling units within a mixed-use project shall be 800 square feet.

3. Security

The residential units shall be designed to ensure the security of residents. Secured entrances and exits that are separate from the non-residential uses and are directly accessible to parking areas shall be provided. Non-residential and residential uses shall not have common entrance hallways or common balconies.

4. Compatible Hours

Commercial uses shall be designed and operated, and hours of operation limited, where appropriate, so that neighboring residents are not exposed to offensive noise, especially from traffic, routine deliveries, or late night activity. No use shall be permitted that requires continual loading or unloading of trucks at the site between the hours of 8 pm and 6 am.

5. Noise

Residential portions of the project shall be designed to limit the interior noise caused by the commercial and parking portions of the project to a maximum of 45 db CNEL on an annual basis in any habitable room with windows closed. Building orientation, double or extra-strength windows, wall and ceiling insulation, and orientation and

insulation of vents may be used to achieve this standard. Where it is necessary that windows be closed in order to achieve the required level, means shall be provided for ventilation/cooling to provide a habitable environment.

6. Vibrations or Odors

No use, activity or process shall be permitted that produces continual vibrations or noxious odors that are perceptible without instruments by the average person at the property lines of the site and within the interior of residential units on the site.

7. Lighting

Outdoor lighting associated with commercial uses shall not adversely impact surrounding residential uses, but shall provide sufficient illumination for access and security purposes. Such lighting shall not blink, flash, oscillate, or be of an intensity higher than needed for access and security.

8. Refuse Storage

Refuse storage facilities for residential and non-residential users shall be maintained as separate facilities and shall not allow commingling of the separate facilities.

9. Parking Spaces

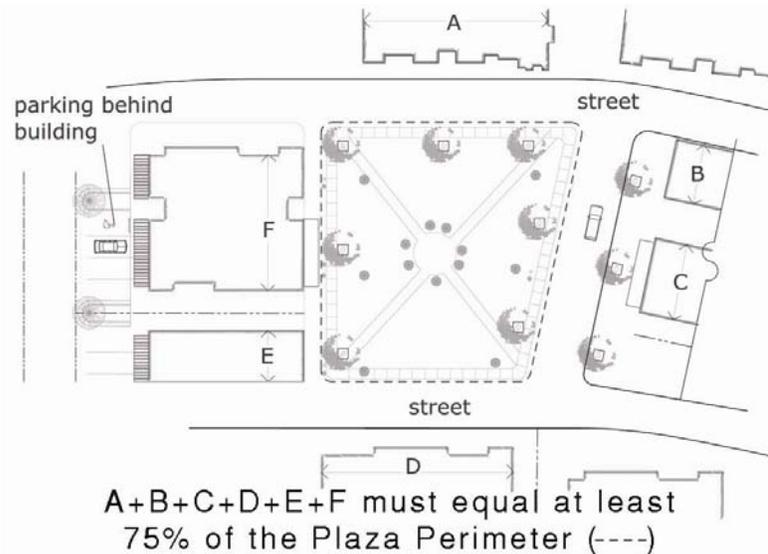
Parking spaces shall be specifically designated for non-residential and residential uses by the use of posting, pavement markings, and/or physical separation. The parking area design may include the use of alternative parking techniques such as tandem parking (parking spaces arranged so that one is behind the other). Parking structures shall be architecturally integrated with the project design.

I. Public and Pedestrian Oriented Space

1. Plazas

Plazas are intended to function as public gathering places for daily interaction and seasonal celebrations. Plazas, if proposed, shall have the following design characteristics:

- a. The minimum dimension of the plaza shall be 80 feet and the maximum dimension shall be 250 feet.



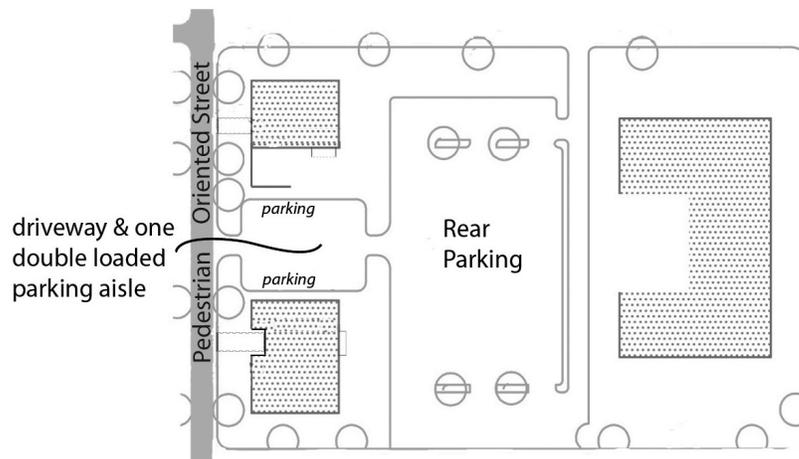
- b. The plaza shall be fronted a minimum 75 percent around its perimeter by buildings or by streets that are fronted by buildings with a maximum setback of 10 feet from the street. The maximum distance between building entries facing the plaza shall be 75 feet.
- c. The first 10 vertical feet of a building façade facing the plaza shall have a minimum of 25 percent openings (windows, doors, passageways, portals).

- d. Shaded and protected seating shall be provided.

2. Pedestrian Oriented Streets

Pedestrian oriented streets are intended to function as public gathering spaces and pedestrian friendly pathways, while allowing the passage of a limited number of vehicles. Pedestrian oriented streets, where required, shall have the following design characteristics:

- a. The minimum width of the sidewalk or walkway shall be 6 feet.
- b. Buildings shall have entries facing the street.
- c. The buildings along the street shall be set back from the edge of the sidewalk a maximum of 20 feet.
- d. The first 10 vertical feet of a building façade facing the street shall have a minimum of 25 percent openings (windows, doors, passageways, portals).
- e. The maximum space between buildings on pedestrian-oriented streets shall be that necessary to allow driveways to rear parking lots and one double loaded parking aisle between buildings. Such side yard parking shall be screened from the street by landscaping or fences, walls or berms a maximum of 4 feet in height (Sec. 8.8 C 5). For purposes of this section attached walls screening service, loading, outdoor storage areas or trash receptacles (Sec. 8.8 C 4) may be considered part of the building.



3. Courtyards

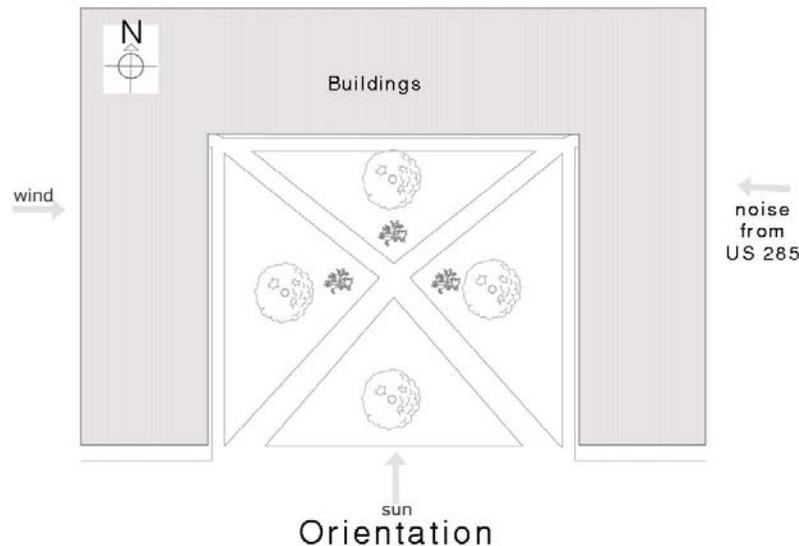
Courtyards are intended to function as public or semi-public gathering spaces for daily interaction and provide entryways into buildings facing the courtyard.

Courtyards are not required, but are encouraged. Successful courtyards have the following design characteristics:

- a. The courtyard has a direct connection to a public street.
- b. The minimum dimension of the courtyard is 30 feet and the maximum dimension is 120 feet.
- c. The courtyard is fronted by buildings for a minimum of 50 percent of its perimeter.
- d. The maximum distance between building entries facing the courtyard is 50 feet.
- e. The first 10 vertical feet of a building façade facing the courtyard has a minimum of 25 percent openings (windows, doors, passageways, portals).

4. Orientation

Outdoor public and pedestrian oriented spaces shall be oriented to provide protection from the winds and to take advantage of seasonal variations in sunlight.



J. Pedestrian Circulation

1. Pedestrian Connections

- a. Pedestrian connections shall be provided from parking areas to the following: plazas, pedestrian streets, and other internal streets on which buildings have their entryways.
- b. Pedestrian connections shall be provided within mixed-use areas and shall provide safe and convenient access to public spaces and private businesses.
- c. Pedestrian connections shall be provided between mixed-use areas and to adjacent residential areas.
- d. Pedestrian connections are not required across U.S. Highway 285.

2. Design

- a. The surface of pedestrian walkways within mixed-use areas shall be paved or shall be provided with a hard surface. A connecting trail between mixed-use areas may be constructed of base course.
- b. Walkways and building entryways shall comply with applicable provisions of the Americans with Disabilities Act and regulations promulgated thereunder.
- c. Pedestrian walkways shall be designed to accommodate wheelchairs or other similar mobility-impaired devices and bicycles that are being walked.
- d. Crosswalks, designed by a qualified engineer, shall be provided at all intersections unless it is determined that any such crosswalk would be a safety hazard to pedestrians.

K. Parking

1. General

Off-street parking shall meet the applicable requirements of the Land Development Code, except as provided herein.

2. Amount

In order to reduce the amount of land dedicated to parking lots, an applicant may propose a parking budget using shared parking, differential time use, one-stop

multiple use, and on-street parking within 400 feet of the use. Diagonal on-street parking may also be approved consistent with pedestrian safety. The County may approve such a parking budget with different parking requirements than are otherwise required after determining that adequate parking is provided for the proposed uses.

3. Location

Off-street parking lots or structures around a plaza or along a pedestrian oriented street shall be located behind the building(s) facing the plaza or street, except for limited parking to the side of a building as provided in the specific standards for pedestrian oriented streets.

4. Size

a. Parking lots located behind or to the side of buildings shall contain a maximum of 60 vehicle spaces. Where more parking spaces are required, multiple lots may be separated by streets and/or landscaping.

b. Parking lots in front of buildings shall contain a maximum of 20 vehicle spaces.

5. Parking Structures

Parking structures shall be screened from view at street level and shall include architectural detailing, façade treatment, artwork, landscaping, or similar visual features to enhance the street façade. Screening of floors above street is encouraged through the use of vines or architectural screening detail compatible with the project.

6. Water Runoff

Parking lots shall implement water runoff control measures to mitigate erosion and pollution

7. Bicycle Racks

Parking racks shall be provided.

L. Lighting

Lights are not allowed during the hours when a business is not open except for timed, motion-sensor, interior, and automatic teller machine lights.

M. Amenities

1. Public Art

Public art is encouraged in order to provide a distinctive character to each mixed-use area.

2. Outdoor Seating

Outdoor seating, especially with shade, is encouraged in order to provide people with opportunities for rest and talking with others.

8.11 Village Mixed-Use Subdistrict

The following provisions apply to the Village Crossroads area, which is near the intersection of U.S. Highway 285 and Avenida Vista Grande/Colina Drive, as designated on the County Zoning Map.

A. Purpose

The purpose of the VMU subdistrict is to guide the evolution of the Village Crossroads area into a central community place with the following attributes.

1. Usable public spaces available to all age and physical groups, where festivities and public gatherings can occur.
2. Appropriate architecture and landscaping that is an expression of community character and that supports comfortable interaction and friendly gathering spots.
3. Clear, comfortable pedestrian access between developments and linkages to surrounding neighborhoods and community facilities.

4. Developments that relate to each other and provide diverse uses that respond to local needs and are available to all age and physical groups.

B. Supplemental Use Standards

1. Preferred Uses

Preferred types of uses in the VMU subdistrict include offices, retail, live/work units and community services including schools. Single-family residential uses are allowed, but not encouraged.

2. Mini-storage Units

Mini-storage units are allowed in conjunction with other uses on a common parcel within the VMU subdistrict. Mini-storage units shall occupy no more than 50% of the total floor area of the principal use or uses. Mini-storage units and other similar self-storage facilities shall comply with these standards:

- a. All structures, including the accessory manager's office/apartment, must be set back a minimum of 25 feet from the right-of-way or the district minimum setback, whichever is greater.
- b. The units shall be separated from U.S. Highway 285 by intervening buildings or trees.
- c. Where a mini-storage unit or similar self-storage facility abuts property zoned office, commercial or industrial, no side and rear setbacks are required.
- d. Where a mini-storage unit or similar self-storage facility abuts residentially zoned property, buildings adjacent to the perimeter must face inward with doors away from the residentially zoned property.
- e. One management office and/or accessory residence shall be permitted.
- f. The mini-storage unit or similar self-storage facility shall be limited to use for storage purposes only.
- g. Each individual unit shall be directly accessible from a paved apron that is improved to the same standards generally required for off-street parking areas, and the paved apron shall include a paved extension to the pavement on an adjoining street.
- h. Where gated, a minimum of 4 off-street vehicle-stacking spaces shall be provided between the public right-of-way and the front gate of the self-storage facility.

3. Vehicle Sales and Leasing

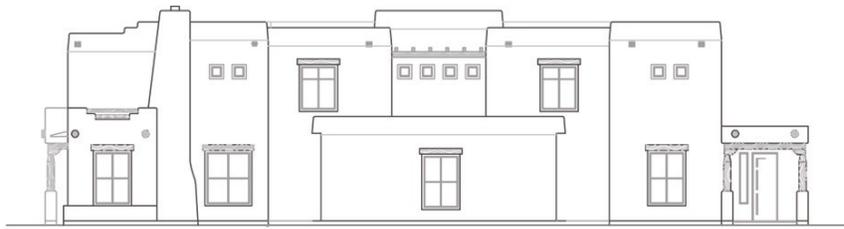
Vehicle sales and leasing is limited to the rental of automobiles. No more than 20 such vehicles shall be parked at the business at any one time. All rental vehicles shall be parked in specially marked spaces.

C. General Regulations

The VMU subdistrict shall be subject to the following provisions.

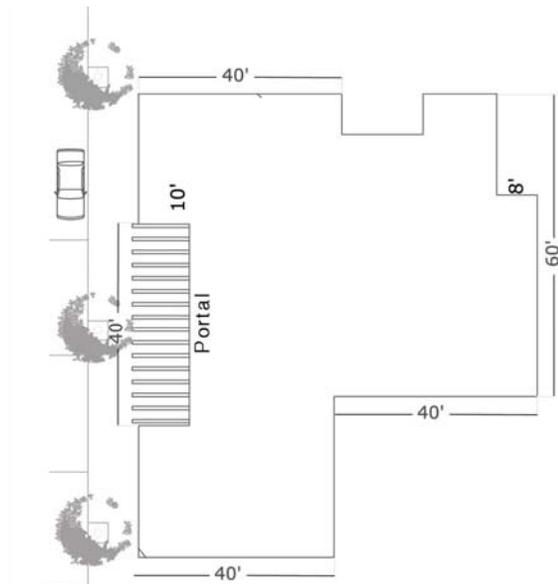
1. Size and Mass

- a. No building shall exceed 35,000 square feet.
- b. Any building that exceeds 10,000 square feet shall be broken into smaller design elements in order to reduce the bulk of the building.



Smaller Design Elements for Buildings
over 10,000 sf

- c. Building walls shall be broken up every 40 feet with horizontal offsets or portals with a minimum depth of 3 feet and a minimum width of 6 feet.



Examples of offsets in Building Facades

- d. Commercial and mixed-use development shall be limited to a total floor area of 369,500 square feet.

2. Location, Orientation and Access

- a. Setbacks from roads other than U.S. Highway 285 and the Old Las Vegas Highway shall be a maximum of 30 feet from the edge of the right-of-way.
- b. Development west of U.S. Highway 285 shall be oriented along an internal pedestrian-oriented street(s) or around a public plaza(s). The primary entrance to the buildings shall be from these internal streets or plazas; provided, however, that the side of any building facing Avenida Vista Grande shall include windows and architectural features that present an attractive appearance.
- c. Development east of U.S. Highway 285 and south of Colina Drive shall be oriented along an internal pedestrian-oriented street that is approximately parallel to U.S. Highway 285. The primary entrance to the buildings shall be from this internal street; provided, however, that the side of any building facing Colina Drive and/or U.S. Highway 285 shall include windows and architectural features that present an attractive appearance.
- d. Development northeast of the intersection of U.S. Highway 285 and Colina Drive for a distance of 1,000 feet from the intersection shall be oriented along Colina Drive. This portion of Colina Drive shall be considered a pedestrian-oriented

street and development shall comply with Sec. 8.10.I, 8.10.J, and other provisions of Section 8 applicable to pedestrian-oriented streets.

- e. A transfer of development rights may be used to concentrate development closer to the intersection of U.S. Highway 285 and Colina Drive.
- f. Direct vehicular access to commercial and mixed-use development from U.S. Highway 285 is prohibited. Secondary access (right in only) to the VMU district may be approved if it meets NMDOT access management regulations.
- g. Development is prohibited within the natural boundaries of the Arroyo Cañada de Los Alamos.

3. Message Sign

In addition to the signs allowed by Sec. 8.10.G, a community message sign is allowed for the purpose of displaying the names of civic, fraternal, and community organizations. Such signs shall comply with the following provisions:

- a. The sign shall be a monument sign.
- b. The monument supporting the sign shall not exceed 60 square feet and 10 feet in height.
- c. The sign face or letters shall not exceed 40 square feet.
- d. Logos of local organizational may be displayed on the sign but an individual logo shall not exceed 1 square foot.

8.12 Neighborhood Mixed-use Subdistrict

A. Purpose

The purpose of the NMU subdistrict is to establish areas at selected crossroads with U.S. Highway 285 or the Old Las Vegas Highway, which have small scale mixed-use development oriented toward the highway but serve primarily local needs instead of providing a location to serve regional or highway traveler's needs. Single-family residential uses are allowed, but not encouraged. The attributes of each of these crossroad areas are described below.

B. General Regulations

All crossroad areas within the NMU subdistrict, as described below, shall be subject to the following provisions:

- 1. The size of any building shall not exceed 15,000 square feet.
- 2. Any building that exceeds 5,000 square feet shall be broken into smaller design elements in order to reduce the bulk of the building.
- 3. Building walls shall be broken up every 40 feet with horizontal offsets or portals with a minimum depth of 3 feet and a minimum width of 6 feet.
- 4. The setbacks from roads other than U.S. Highway 285 and the Old Las Vegas Highway shall be a maximum of 50 feet.

C. San Sebastian/Old Las Vegas Highway Crossroads

The following provisions apply to the San Sebastian/Old Las Vegas Highway Crossroads area, which is near the intersection of U.S. Highway 285 and Old Las Vegas Highway, as designated on the County Zoning Map.

- 1. The intent of these provisions is to recreate a small-scale neighborhood in the Rancho San Sebastian Style. The types of desired uses in this subdistrict include a local-serving restaurant or café, plant nursery, bed and breakfast, offices serving local residents and small retail operations such as an art gallery and bookstore.
- 2. Commercial and mixed-use development shall not exceed 52,000 square feet of floor area.
- 3. The total area to be devoted to the mixed-use crossroads shall not exceed 13 acres.
- 4. Buildings, commercial lighting, and signage shall be oriented to Old Las Vegas Highway.

5. Parking for commercial and mixed-use development shall be located at the rear of the building(s) it serves.
6. Primary vehicular access to parking areas for commercial and mixed-use development shall be restricted to the Old Las Vegas Highway.
7. Commercial and mixed-use development along Old Las Vegas Highway shall be located within 500 feet of the intersection of Old Las Vegas Highway and U.S. Highway 285 except that development west of the intersection may be located up to 1,000 feet of the intersection provided that the total amount of development is not increased and the County finds that the result is a better development pattern because of topographic constraints.
8. Commercial and mixed-use development along Old Las Vegas Highway shall provide clear separation between pedestrian and vehicular traffic.
9. Roadside vending is prohibited.
10. Community Facilities are limited to expansion of the Hondo Fire Station and shared maintenance yard for Santa Fe County and the New Mexico Department of Transportation.
11. Fencing in arroyos is allowed only if it does not restrict the natural passageway for wildlife and does not have the potential for affecting the natural drainage.
12. Development is prohibited within the natural boundaries of the Arroyo Cañada de Los Alamos.

D. Entryway Crossroads

The following provisions apply to the Entryway Crossroads area, which is near the intersection of U.S. Highway 285 and Avenida Amistad, as designated on the County Zoning Map.

1. The intent of these provisions is to provide a gateway to the historic Simpson Ranch, preserve the predominant natural features, maintain neighborhood privacy, and provide for neighborhood scale mixed-use development that conveys the community character and history. The types of desired uses west of U.S. Highway 285 include small offices, live/work units and bed and breakfast or casitas. The types of desired uses east of U.S. Highway 285 include small offices, small retail and home businesses. It is desirable to preserve the northeastern portion of the Plaza de Amistad tract in undeveloped open space.
2. The amount of commercial development shall not exceed 172,000 square feet of floor area.
3. The total area to be devoted to the mixed-use crossroads area shall not exceed 20 acres.
4. Buildings, commercial lighting, and signage shall not be oriented or scaled to attract business from Interstate 25.
5. Development west of U.S. Highway 285 shall be oriented along an internal pedestrian-oriented street or around a public plaza.
6. Development east of U.S. Highway 285 shall be oriented along an internal pedestrian-oriented street that is approximately parallel to U.S. Highway 285.
7. Direct vehicular access to commercial and mixed-use development from U.S. Highway 285 is prohibited.
8. Buildings are limited to 18 feet in height; provided, however, that buildings on the perimeter of the NMU subdistrict that face residential areas shall be limited to 12 feet in height.
9. Development is prohibited within the natural boundaries of the Arroyo Cañada de Los Alamos.

E. Alma Drive Crossroads

The following provisions apply to the Alma Drive Crossroads area, which is near the intersection of U.S. Highway 285 and Alma Drive, as designated on the County Zoning Map.

1. The intent of these provisions is to retain the semi-rural residential character of the immediate area by limiting non-residential development to a very small area that has historically contained commercial uses.
2. Buildings in existence on January 1, 2005, shall not be allowed to expand except as provided by the private covenants in effect on that date.
3. The amount of total commercial development shall not exceed 20,000 square feet.
4. Direct access to any new development from U.S. Highway 285 is prohibited.

F. Community Facilities Crossroads

The following provisions apply to the Community Facilities Crossroads area, which is adjacent to the access road leading from U.S. Highway 285 to the transfer station, as designated on the County Zoning Map.

1. The intent of these provisions is to ensure that the area continues to function and expand as an important community facilities node, with an emphasis on buffering activities from surrounding residential areas.
2. The total size of the Community Facilities Crossroads area shall not exceed 3.0 acres, bounded on the north by the service road, on the east by the transfer station, on the south by the ridge and on the west by the U.S Highway 285 right-of-way.
3. Notwithstanding the provisions of Sec. 8.6, 285SC District Use Table, the only principal uses allowable in the Community Facilities Crossroads area are the following, which may be allowed by a development plan reviewed and approved by the CDRC.
 - a. Household Living: all.
 - b. Group Living: all.
 - c. Places of Worship: all.
 - d. Community Service: Community facilities.
 - e. Government Facilities: all except jails or prisons.
 - f. Utilities: all.
 - g. Office: Offices (limited to home businesses).
 - h. Retail Sales and Service: Retail establishments, indoor (limited to home businesses).
 - i. Industrial Sales and Service: Arts and crafts (limited to home businesses).
 - j. Agriculture: Agriculturally-related supplies and equipment.
 - k. Agriculture: Greenhouses and plant nurseries.
4. Notwithstanding the provisions of Sec. 8.12.B, General Regulations, no structure or building shall exceed 5,000 square feet.
5. Uses and buildings shall face within 30 degrees of true north and shall be oriented to the existing service road serving the County Transfer Station.
6. Access to new development shall be from the existing service road serving the County Transfer Station.
7. The knoll south of the existing service road serving the County Transfer Station shall be preserved in its natural state.
8. The arroyo north of the existing service road serving the County Transfer Station shall be preserved in its natural state.

G. Spur Ranch Crossroads

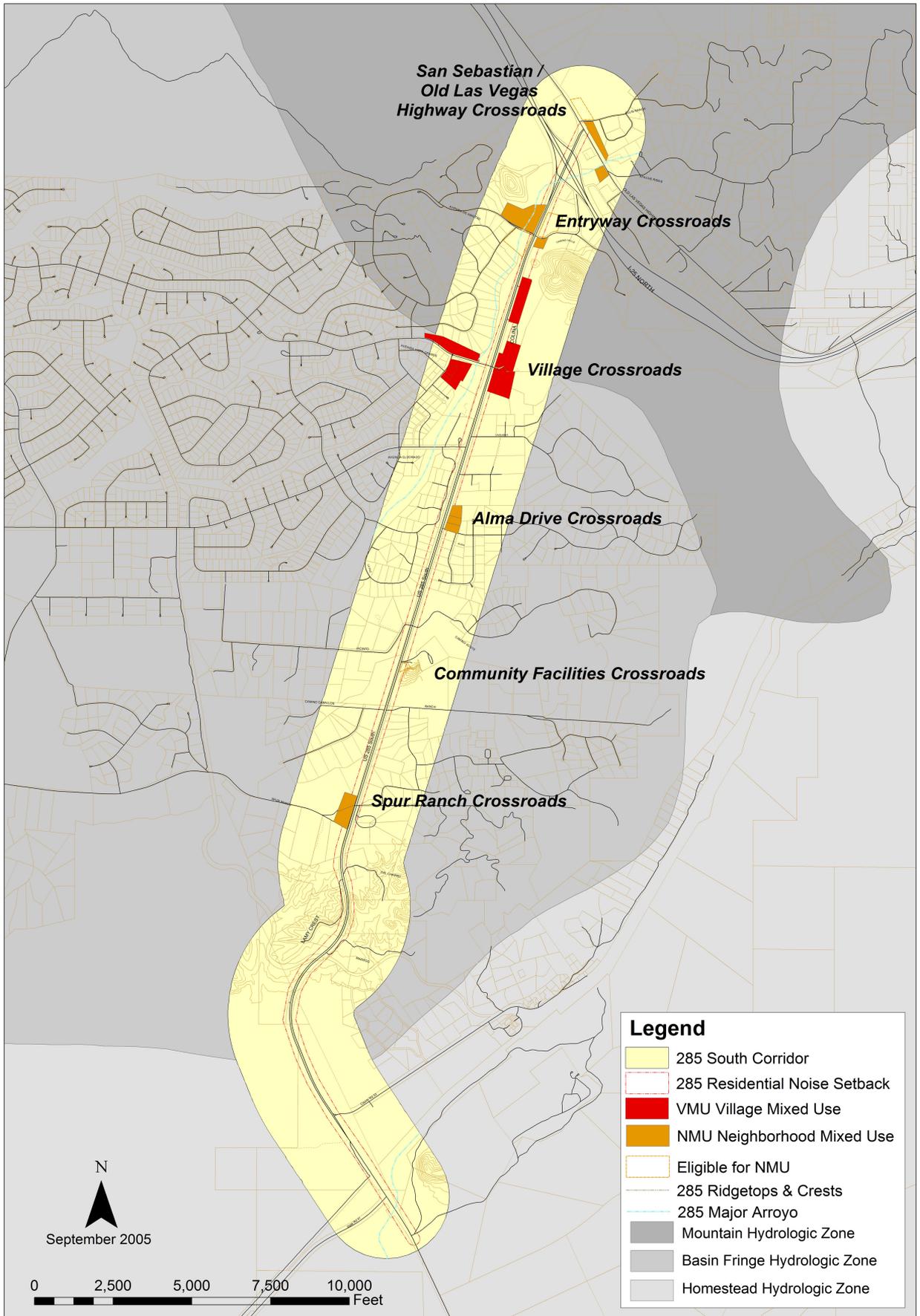
The following provisions apply to the Spur Ranch Crossroads area, which is near the intersection of U.S. Highway 285 and Spur Ranch Road, as designated on the County Zoning Map.

1. The intent of these provisions is to provide for neighborhood commercial and mixed-use needs in the area south and west of the intersection of U.S. Highway 285 and Spur Ranch Road. The types of desired uses southwest of the intersection include patio homes or live/work units. The types of desired uses northwest of the intersection include small retail, small office, and restaurants.
2. Direct access to any new development from U.S. Highway 285 is prohibited.
3. The following provisions apply to the area southwest of the intersection of U.S. Highway 285 and Spur Ranch Road:
 - a. The total area devoted to mixed-use crossroads zoning shall not exceed 6.2 acres.
 - b. The total amount of development is limited to 54,014 square feet.
 - c. Uses are restricted to: residential uses, excluding mobile homes; live/work units; offices used for home businesses; and arts and crafts sales limited to home businesses.
 - d. Notwithstanding the provisions of Sec. 8.12.B, General Regulations, no structure or building, except those used for attached single-family dwellings, shall exceed 5,000 square feet.
 - e. Notwithstanding the provisions of Sec. 8.7, Density and Dimensional Standards, no building shall exceed 18 feet in height.
4. The following provisions apply to the area northwest of the intersection of U.S. Highway 285 and Spur Ranch Road:
 - a. The total area devoted to mixed-use crossroads zoning shall not exceed 3.8 acres.
 - b. The amount of commercial and mixed-use development is limited to 33,106 square feet of floor area.

8.13 Severability

If any part of this Ordinance or the application thereof to any person or circumstance is held invalid, the remainder of the Ordinance and its application to other persons or circumstances shall not be affected thereby.

US 285 South Highway Corridor District County Zoning Map (partial)



This map is a representational diagram showing zoning for the US 285 South Corridor Ordinance.
It is intended to be used as a visual aid to supplement the text.

Sec. 8 US 285 South Highway Landscaping Plant List

1. TREES

Common Name	Botanical Name
One Seed Juniper	Juniperus Monosperma
Pinion Pine	Pinus Edulis
Ponderosa Pine	Pinus Ponderosa
Wavyleaf Oak	Quercus Undulata
Narrowleaf Cottonwood	Populus Angustifolia
Bristlecone Pine	Pinus Aristata
New Mexico Privet/Olive	Foerstiera Neomexicana
New Mexico Locust	Robinia Neomexicana
Silver Buffaloberry	Shepherdia Argentia
Chokecherry	Prunus Virginiana
Utah Serviceberry	Amelanchier Utahensis
Black Willow	Goodingii
Western Hackberry	Celtis Reticulata

2. BUSHES

Common Name	Botanical Name
Woods Rose	Rosa Woodsii
Apache Plume	Fallugia Paradoxa
Littleleaf Mockorange	Philadelphus Microphyllus
Big Leaf Sage	Artemisia Tridentata
Silver Sage	Artemisia Cana
Sand Sage/Threadleaf Sage	Artemisia Filifolia
Curl Leaf Mahogany	Cercocarpus Ledifolius
Mountain Mahogany	Cercocarpus Montanus
Smooth Mahogany	Cercocarpus Intricatus
Snowberry	Symphoricarpos Oreophilus
Winter Fat	Ceratoides Lanata
Golden Current	Ribes Cereum
Wild Plum	Prunus Americana
Three Leaf/Skunkbush Sumac	Rhus Trilobata
Smooth Sumac	Rhus Glabra

Fernbush
Beargrass
Broadleaf Yucca
Soap Tree Yucca
Narrowleaf Yucca
Fremont Barberry
Western Sand Cherry
Four Wing Saltbrush
Agave
Mormon Tea
Wolfberry
Indian Apple

Chamaebatiaria Millefolium
Nolina Microcarpa
Yucca Baccata
Yucca Elata
Yucca Glauca
Berberis Fermontii
Prunus Besseyi
Atriplex Canescens
Agave Utahensis
Ephedra Nevadensis
Lycium Sp.
Periphyllum Ramosissimus

3. GRASSES

Common Name
Blue Grama
Sideoats Grama
Western Wheatgrass
Little Bluegrass
Alkali Sacaton
Galleta
Indian Ricegrass

Botanical Name
Bouteloua Gracilis
Bouteloua Curtipendula
Agropyron Smithii
Andropogon Scoparium
Sporobolus Airoides
Hilaria Jamesii
Oryzopsis Hymenoides

4. FLOWERS

Common Name
Purple Aster
Wild Four O'clock
Blue Flax
New Mexican Region Poppy
Firewheel
Rocky Mountain Penstemon
Creeping Globemallow

Botanical Name
Machaeranthera Bigelovii
Mirabilis Multiflora
Linum Lewisii
Eschscholzia
Gaillardia Aristata
Penstemon Strictus
Sphaeralcea Coccinea