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Commissioner, District 1

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Commissioner, District 3



Kathy Holian  
Commissioner, District 4

Liz Stefanics  
Commissioner, District 5

Katherine Miller  
County Manager

**DATE:** May 21, 2015

**TO:** County Development Review Committee

**FROM:** Jose E. Larrañaga, Development Review Team Leader *JEL*

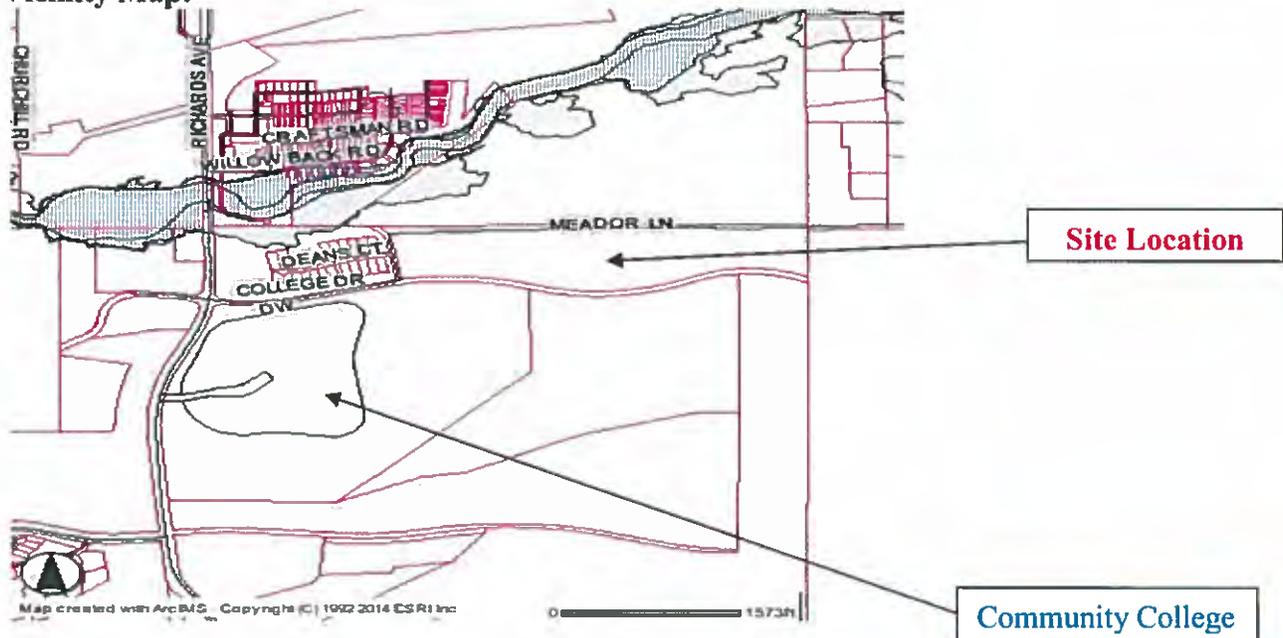
**VIA:** Penny Ellis-Green, Growth Management Director *PEG*  
Vicki Lucero, Building and Development Services Manager *VL*  
Wayne Dalton, Building and Development Services Supervisor *WD*

**FILE REF.:** CDRC CASE # V/DP 13-5381 Elevation Multi-Family Community

**ISSUE:**

Vedura Residential Operating, LLC, Applicant, JenkinsGavin, Agents, request Preliminary and Final Development Plan approval for a multi-family residential community consisting of 200 residential units on 22 + acres in conformance with Santa Fe County Ordinance 1996-10, the Land Development Code (the Code). The Applicant also requests a variance of Ordinance No. 2000-12, Section 6.E.3.c) to allow a no-outlet roadway to exceed 300 feet and a variance of the Code, Article V, Section 8.1.4, which states that dead end roads may not serve more than thirty (30) dwelling units. The site is located at 63 College Drive, within the Community College District, within Section 21, Township 16 North, Range 9 East, (Commission District 5).

**Vicinity Map:**



## SUMMARY:

On September 9, 2014, the Board of County Commissioners (BCC) approved a Master Plan application made by Vedula Residential Operating, LLC for a multi-family residential community consisting of 214 residential units on 22 ± acres. The Final Order was approved by the BCC on January 13, 2015 and recorded on January 14, 2015 in the County Clerk's Office (Exhibit 7).

The Applicant is requesting Preliminary and Final Development Plan approval for a multi-family residential community consisting of 200 residential units in conformance with the approved Master Plan, the Code, including the Santa Fe County Ordinance 2000-12, the Community College District Ordinance (the CCDO). The CCDO Land Use Zoning Map designates this site as a Village Zone which allows for multifamily residential use. The approved Master Plan allows for a 200 unit multifamily residential apartment community on a 22 ± acre site, which is defined as an eligible use in the CCDO Land Use Table (Exhibit 10). Density allowed in this area is a minimum of 3.5 dwelling units per acre. The Applicant is proposing approximately 9.7 dwelling units per acre.

The proposed 200 unit apartment community is 0.26 miles east of the College Heights Subdivision and northeast of the Santa Fe Community College. The one and two bedroom units are dispersed among 16 two story buildings and there are two single story garage buildings on the west side of the property. A community center serves as a gathering place, offering a fitness center, lounge areas, an activity room, and a business center with a conference room. Outdoor amenities include a pool, spa, barbeques, a fire pit, and covered patio areas.

The Project will access via an extension of College Drive from the current terminus of Burnt Water Road. The Applicant will extend College Drive approximately 3,140 feet to the west boundary of the future Southeast Connector right of way, terminating in a temporary emergency turnaround. The new roadway extension will be constructed in accordance with the CCDO standards as a Village Connector Highway. A revised Traffic Impact Analysis was submitted based on the timing and availability of the Southeast Connector. The Applicant proposes to delay commencement of building construction, of the Apartments, until June of 2016 in an effort to allow for time for future connectivity to the Southeast Connector. The Applicants construction schedule shows 40 units online (ready to be leased) by July 2017, with all 200 units available by January 2018 and lease stabilization June-August 2018.

The Project will be served by the County Water Utility with the construction of a 12" water line in College Drive connecting to the existing 16" main in Richards Avenue. A 10" public main will loop through the site to serve the project. Each building will be equipped with automatic fire suppression and six hydrants will be distributed throughout the site. On March 24, 2015 the BCC approved a new water delivery request in the amount needed for the development's water budget.

Ordinance No. 2000-12, § 4.C. Preliminary Development Plan:

3. Criteria for Approval: The criteria for approval of Preliminary Plan applications are as follows:

- a) The development has sufficient water availability to sustain the phase of the project for which the application is made;
- b) The necessary infrastructure including roads and utilities are designed for viability of the phase of the project for which application is made; and
- c) All standards set forth in the CCDO have been met.

Ordinance No. 2000-12, § 4.D. Final Development Plans:

3. Criteria for Approval:

- a) The criteria for approval of final plan applications are as follows:
  - i. All conditions of Preliminary approval have been met;
  - ii. Financial guarantees have been provided;
  - iii. All preliminary reports are made final and are in compliance with conditions of approval, staff recommendations and all applicable County Standards; and
  - iv. All other submittal requirements have been met and approved.

Article V, § 7.1.3.a (Preliminary Development Plans) states: “a preliminary development plan may be only a phase or portion of the area covered by an approved master plan, so long as the preliminary development plan substantially conforms to the approved master plan.”

Article V, § 7.2.2 (Final Development Plan) states: “the final development plan shall be submitted to the County Development Review Committee accompanied by a staff report. The County Development Review Committee shall review the plan and make a determination as to its compliance with the County General Plan and Code. The County Development Review Committee may recommend changes or additions to the plan as conditions of its approval. The final development plan as approved by the County Development Review Committee shall be filed with the County Clerk. The approved final development plan becomes the basis of development permits and for acceptance of public dedications. Any changes in the plan must be approved by the County Development Review Committee.”

The Applicant also requests a variance of Ordinance No. 2000-12, § 6.E.3.c to allow a no-outlet roadway to exceed 300 feet and a variance of Article V, § 8.1.4, of the Code, which states that dead end roads may not serve more than thirty (30) dwelling units.

The Applicant states: “the variances are necessitated by the fact that College Drive will temporarily be a dead end roadway until the completion of the Southeast Connector. This is a non-self-inflicted condition which is temporary until the construction of the Southeast Connector. Construction of the roadway will not result in conditions injurious to health or safety, as the road will be built to County standards with the requisite emergency turnaround. Once the connection to the Southeast Connector is constructed, College Drive will no longer operate as a dead end.”

Ordinance No. 2000-12, § 6.E.3.c) states: “Dead end roads shall be used only to preserve open space contiguity or in cases that terrain does not allow contiguity. No-outlet roadways shall not exceed three hundred feet (300’) in length and shall have a minimum fifty foot (50’) turn around.”

Article V, § 8.1.4 states: “Dead end roads may not serve more than thirty (30) dwelling units, except that the Code Administrator with the concurrence of the Fire Marshal may approve the development of more than thirty (30) lots on a dead end road. The Code Administrator may require a second access for any development with fewer than thirty (30) dwelling units where issues of public health, safety and welfare exists.”

Article II, § 3 (Variances) states: “Where in the case of proposed development, it can be shown that strict compliance with the requirements of the Code would result in extraordinary hardship to the applicant because of unusual topography or other such non-self-inflicted conditions or that these conditions would result in inhibiting the achievement of the purposes of the Code, an applicant may file a written request for a variance. A Development Review Committee may recommend to the Board and the Board may vary, modify or waive the requirements of the Code and upon adequate proof that compliance with Code provision at issue will result in an arbitrary and unreasonable taking of property or exact hardship, and proof that a variance from the Code will not result in conditions injurious to health or safety. In arriving at its determination, the Development Review Committee and the Board shall carefully consider the opinions of any agency requested to review and comment on the variance request. In no event shall a variance, modification or waiver be recommended by a Development Review Committee, nor granted by the Board if by doing so the purpose of the Code would be nullified.”

Article II, § 3.2 (Variation or Modification) states: “in no case shall any variation or modification be more than a minimum easing of the requirements.”

This Application was submitted on December 5, 2014.

**Building and Development Services staff have reviewed this project for compliance with pertinent Code requirements, including the CCDO requirements, and have found the following facts in regards to the request for Preliminary and Final Development Plan approval for a multi-family residential community: the Application has established the extent and scope of the project including, the use of the project, and its overall needs for services and infrastructure; the Application has established the viability of the proposed project to function as a complete development; the Application is generally in conformance with the CCDO in regards to roads (with the exception of Article V, § 8.1.4 Dead end roads...), trails, design and construction standards and open space standards; the development conforms to the eligible uses allowed under a New Community Center Village Zone; the Application generally satisfies the submittal requirements set forth in Ordinance No. 2000-12, § 4.C. (Preliminary Development Plan), § 4.D. (Final Development Plans) and the Code (with the exception of Article V, § 8.1.4 (Dead end roads).**

**The review comments from State Agencies and County staff have established findings that the Application is in compliance with state requirements, the majority of CCDO requirements, Article V, § 7.1 Preliminary Development Plan and Article V, § 7.2 Final Development Plan of the Code. This Application is not in compliance with Ordinance No. 2000-12, Section 6.E.3.c) and Article V, § 8.1.4 of the Code.**

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**Building and Development Services staff have reviewed the Applicant's request for a variance of Ordinance No. 2000-12, § 6.E.3.c), (no-outlet roads) and Article V, § 8.1.4 (Dead end roads) for compliance with pertinent Code/Ordinance requirements and has found that the request is not in conformance with Code/Ordinance requirements and that the Code/Ordinance requires the following: roadway circulation within the Community College District shall provide a network of roads that will integrate automobile traffic, pedestrian and other modes of transportation in a safe and controlled manner; within each development, roadway circulation shall be interconnected as shown on the Circulation Map; the developer shall be required to construct any portion of the roadway necessary to maintain connectivity throughout the CCD; all road construction shall conform and comply with AASHTO standards, ITE guidelines, New Mexico State Highway and Transportation Department specifications and all applicable National Codes.**

**The variances requested are temporary in nature and will only exist until the Southeast Connector is constructed. The Applicant proposes to construct College Drive to CCDO road standards to connect Richards Avenue to the South East Connector. The Code does not address temporary variances.**

**APPROVAL SOUGHT:** Preliminary and Final Development Plan approval for a multi-family residential community consisting of 200 residential units on 22 ± acres.

**VARIANCE:** Ordinance No. 2000-12, § 6.E.3.c to allow a no-outlet roadway to exceed 300 feet and a variance of Article V, § 8.1.4, of the Code, which states that dead end roads may not serve more than thirty (30) dwelling units...

**GROWTH MANAGEMENT AREA:** Community College District, Community District.

**ZONE:** Village Zone.

**ARCHAEOLOGIC:** There are no archaeological sites on the 22 acre site. An archaeological site was documented on an adjoining site in 1995. This site is eligible for listing in the National Register of Historic Places and the State Register of Cultural Properties. A cultural resources re-survey has been submitted for review. The Historic Preservation Division (HPD) reviewed the archaeological site assessment prepared by Ron Winters and states "as long as the non-disturbance easement remains in place for LA 110168, the proposed subdivision will not impact significant or cultural sites."

**ACCESS AND TRAFFIC:** The Project will be accessed via a new extension of College Drive from the current terminus of Burnt Water Road. To ensure future connectivity, the Applicant will extend College

Drive approximately 3,140 feet to the west boundary of the future Southeast Connector right of way, terminating in a temporary emergency turnaround until the permanent connection to the South East Connector is made. The new roadway extension will be constructed in accordance with the standards for a Village Connector Highway, as follows: two 11 foot drive lanes, two 5 foot bike lanes, and a 5 foot trail on the north side of the road. The easternmost access drive serves as a gated exit for residents and visitors, but will also accommodate emergency ingress and egress. A main entrance to the project is being proposed and a gated emergency-only access drive is provided on the west side of the Project. All vehicular gates will be equipped with a Fire Marshal approved access system.

The Applicant states: “the NE/SE Connector Location Study is currently underway to determine the future location of the Southeast Connector. In conjunction with development of the apartment community, Rancho Viejo is open to donating the requisite right-of-way for the SE Connector. This is a significant cost and time savings for the County that will greatly benefit the overall success of the NE/SE Connector project”.

The County Public Works Department has reviewed the Applicants submittal and states: “the applicant is proposing to access the proposed development from College Drive via Richards Avenue. At present Richards Avenue is a two lane, paved roadway 24 feet in width, with two driving lanes and shoulders. The posted speed limit is 35 MPH north of College Drive and 25 MPH south of College Drive. Richards Avenue was constructed in the early 1980’s to collector road standards with an estimated Average Daily Traffic of 1000-1999 vehicles per day. Richards Avenues current Average Daily Traffic is 10,959 vehicles per day, which means it is operating as a major Arterial/Highway. Elevation is proposing three new driveways off College Drive, the most western access is proposed as an EMERGENCY ACCESS ONLY, a main entrance to the project is being proposed and a most eastern access is being proposed as an EXIT ONLY. The applicant provided Santa Fe County with a Traffic Impact Analysis prepared by Bohannon Huston, dated December 4, 2014. The purpose of this study is to assess the traffic impacts the proposed project may have on essential intersections within the area and identify any necessary street improvements to these intersections. The applicant also

provided Santa Fe County with a second supplemental traffic evaluation impact taking into account of the NE/SE Connector build-out, from Richards/Willowback, Richards/College Drive and Richards/Avenida del Sur. The original Analysis states that the intersections of Richards/Dinosaur Trail and Richards/Avenida del Sur will operate at acceptable levels of service. Richards/Willowback intersection currently operates at a Level of Service of D and experiences some A.M., queuing; however, a Level of Service of D is an acceptable Level of Service as per the Highway Capacity Manual. This intersection as stated in the second revised TIA is shown to improve to a Level of Service of C for the 2016 full build scenario.

The TIA states that the Richards/College Drive intersection is operating at a Level of Service E and currently has operating deficiencies for the AM peak hours on the northbound lane. The secondary TIA states this intersection is shown to improve to a Level of Service of C for the 2016 full build scenario.

These improved Levels of Service will not take place until the NE/SE Connector is full constructed. Richards Ave will continue to operate as an over burdened collector road until the full build out of the NE/SE Collector roads.

Public Works **cannot** support the above mentioned project as per **Article II, Section 3.2, Variation or Modification** which states *"In no case shall any variation or modification be more than a minimum easing of the requirement's"* for Preliminary Development Plan and Plat approval and Final Development approval.

- Applicant is proposing to extend College Drive to an extent of 2,600 feet. Article XV, Section 6.E.3.c of the Community College District code states *No-outlet roadways shall exceed three hundred feet (300') in length.*
- The applicant is proposing a two hundred (200) unit multi-family community terminating withan emergency turnaround. Article V, Section 8.1.4, states *Deadend roads may not serve more than thirty (30) dwelling units, except that the Code Administrator with the concurrence of the Fire Marshal may approve the development of more than thirty (30) lots on a dead end road.*

- At present Richards Avenue is at full capacity with the existing traffic, the applicant shall delay commencement of building construction until the contract for construction of the SE Connector has been awarded, approximately August 2017.

**If approved the applicant shall comply with the following;**

- The applicant shall delay commencement of building construction until August 2017.
- Applicant shall construct College Drive from its current terminus at Burnt Water to the western boundary of the future Southeast Connector Right-Of-Way to a standard of *Village Connector Highway/Traffic Priority* as per the Community College District Ordinance.
- Applicant shall install a gate at the western access with a Knox Lock and signed as “Emergency Access Only”
- The applicant shall install a gate at the eastern access to ensure that it remains an EXIT ONLY”.

**FIRE PROTECTION:**

The Project will be served by the County Water Utility with the construction of a new 12” water line in College Drive connecting to the existing 16” main in Richards Avenue. In addition, a 10” public main will loop through the site to serve the Project. Each building will be equipped with automatic fire suppression and six hydrants will be distributed throughout the site.

La Cienega Fire District: Santa Fe County will provide the water source for fire protection; fire hydrants shall be located within the site; six fire hydrants are proposed to be located on the site: Cul-de-sacs shall be a minimum 50’ radius; automatic fire prevention sprinkler systems shall be required; shall comply with Article 1, § 103.3.2-New Construction and Alterations of the 1997 Uniform Fire Code, inclusive to all sub-sections and current standards, practice and rulings of the Santa Fe County Fire Marshal.

**WATER SUPPLY:**

The project will be served by the County Water Utility. A 12” water line will be constructed to serve the development which will connect to a master meter that is connected to a

16" main line on Richards Avenue. A water utilities service availability analysis was issued to the Applicants by the Santa Fe County Utilities Department.

On March 24, 2015, the BCC approved a new water delivery for Elevation in the amount of 38.4 acre feet by way of Resolution No. 2015-44 (Exhibit 5).

**LIQUID WASTE:**

The Project will be served by Ranchland Utility Company. On-site wastewater collection will be accomplished via a series of 4" gravity lines and low pressure lines with grinder pumps, flowing into the existing 3" force main in College Drive west of the Project.

The application was reviewed by NMED, Ground Water Quality Bureau who determined that the proposal will fit within the current conditions of Rancho Viejo's Ground Water Discharge Permit and no further permitting is required.

**SOLID WASTE:**

The apartments will have a series of dumpsters that will be screened and gated. Weekly collection of waste will be contracted with a local waste collection company.

**FLOODPLAIN &  
TERRAIN MANAGEMENT:**

The site has 0-20% percent slopes with minor 15%-30% isolated occurrences. The property is not located within a designated FEMA 100 Year flood zone and is located in FIRM Panel 35049c0526E dated December 4, 2012 and located in Zone X.

The Applicant's proposal illustrates existing topography, natural drainage, and proposed locations for ponds, as indicated on sheet C8 Ponding Plan. The application indicates 13 total pond locations. The total ponding required for the project is 79,907 cubic feet of ponding. The amount of ponding provided is 88,362 cubic feet of pond area. The proposed project is in conformance of Ordinance No. 2000-12 Community College District and Ordinance 2008-10 Flood Damage Prevention and Stormwater Management.

**SIGNAGE AND LIGHTING:**

The Applicant has submitted a Signage Plan illustrating a Monument Sign at the entrance of the Development. As per Article VIII, Section 7.13, one permanent Identification sign shall be permitted and sign area shall not exceed 20 square feet in size. The proposed sign is less than 20 square feet in size. The Applicant shall comply with all signage requirements within Article VIII, (Sign Regulations). Staff

has determined that the Signage element of this Application complies with Article VIII, Section 7.13 (Sign Regulations).

The Applicant has submitted a Lighting Plan illustrating 20 foot pole mounted lights along the driveways and in the parking areas, 8 foot post top lights along the pedestrian walkways, and building mounted scones. All pole mounted lighting shall not exceed 24 feet in height. All lighting shall be shielded. Staff has determined that the lighting element of the Application meets the requirement set forth in VIII, Section 4.4.4 h. of the Code.

**EXISTING DEVELOPMENT:** The project site is currently vacant.

**ADJACENT PROPERTY:** The site is bordered to the west by the College Heights Subdivision. The Community College and vacant property owned by the Community College borders College Drive to the south. The site is bordered to the north and east by vacant residential parcels.

**OPEN SPACE:** The proposal meets the requirements set forth in the Land Development Code and Ordinance 2000-12 (Community College District), for Open Space and Trails, including minimum 50% open space and accommodation of planned district trails running E-W along College Drive and NW-SE along a utility easement on the eastern end of the property.

**AGENCY REVIEW:**

<u>Agency</u>	<u>Recommendation</u>
County Fire	Approval with Conditions
County Utilities	Approval
NMDOT	Approval
Open Space	Approval
Public Works	Denial or Conditional Approval
OSE	No Formal Opinion
SHPO	Approval
NMED	Approval

**STAFF RECOMMENDATION:** The variance requests could be considered by the CDRC to be a minimal easing of the Code requirements due to the fact that the variances are only required for a temporary period of time. Once the Southeast Connector is constructed the project will provide a road network that will integrate automobile, pedestrian, and other modes of transportation in a safe and controlled manner and interconnection will be provided as shown on the CCD Circulation map. Other than the proposed variance requests, the project complies with Code/Ordinance requirements for the Preliminary and Final Development Plan.

**Staff recommends approval of the Preliminary and Final Development Plan.**

**If the decision of the CDRC is to recommend approval of the variances of the CCDO, Ordinance No. 2000-12 § 6.E.3.c, Article V, § 8.1.4, of the Code and Preliminary and Final Development Plan for a Multi-Family Residential Community consisting of 200 residential units on 22 ± acres, staff recommends the following conditions be imposed:**

1. The Applicants shall comply with all review agency comments and conditions.
2. Final Development Plan with required signatures, shall be recorded with the County Clerk as per Article V, § 7.2.
3. The Applicant shall submit a financial guarantee, in sufficient amount to assure completion of all required improvements prior to Final Development Plan recordation, as per Article V, § 9.9.
4. Elevation shall provide water rights or the “cash equivalent” to support the delivery of a total of 33.6 acre feet to Elevation “plus 20%” or 6.7 acre feet, as per Resolution No. 2015-44.
5. Applicant shall construct College Drive from its current terminus at Burnt Water to the western boundary of the future Southeast Connector Right-Of-Way to a standard of Village Connector Highway/Traffic Priority as per the Community College District Ordinance. The full

construction of this road shall be completed or bonded for (20% contingency) prior to any unit being occupied.

**Staff also recommends a condition to the start date of vertical construction of the project to minimize the time that the variances are required. The Applicant is requesting a June 2016, start date. Public Works is requesting an August 2017, start date.**

**EXHIBITS:**

1. Applicants Development Plan Report
2. Letter Amending Development Plan
3. Proposed Plans
4. Reviewing Agency Responses
5. Resolution No. 2015-44
6. Aerial Photo of Site
7. Final Order
8. CCD Land Use Table
9. CCD Land Use Zoning Map
10. Ordinance No. 2000-12, § 4.C. Preliminary Development Plan
11. Ordinance No. 2000-12, § 4.D. Final Development Plans
12. Article V, § 7.1.3.a Preliminary Development Plans
13. Article V, § 7.2.2 Final Development Plan
14. Ordinance No. 2000-12, § 6.E.3.c
15. Article V, § 8.1.4
16. Article II, § 3 (Variances)
17. Warranty Deed and Letter of Authorization
18. Legal Notice
19. Elevation Construction Schedule



**jenkinsgavin**  
DESIGN & DEVELOPMENT INC

December 5, 2014

Jose Larrañaga, Commercial Development Case Manager  
Santa Fe County Development Services  
102 Grant Avenue  
Santa Fe, NM 87501

**RE: Elevation  
Preliminary/Final Development Plan & Variance Application**

Dear Jose:

This letter is respectfully submitted on behalf of Vedula Residential Operating, LLC in application for Preliminary and Final Development Plan approval for a 200-unit multi-family community on ±22.0 acres (the "Project"), for consideration by the CDRC at their meeting of February 19, 2015. The subject property is located at 63 College Drive, east of Burnt Water Road, in a New Community Center Village Zone of the Community College District. The Master Plan for the Project was approved by the Board of County Commissioners on September 9, 2014.

### **Project Summary**

A 200-unit apartment community is proposed for the subject property, which is 0.26 miles east of the College Heights Subdivision and northeast of the Santa Fe Community College. The one- and two-bedroom units are dispersed among 16 two story buildings and there are two single story garage buildings on the west side of the property. A community center serves as Elevation's gathering place, offering a fitness center, lounge areas, an activity room, and a business center with a conference room. Outdoor amenities include a pool, spa, barbeques, a fire pit, and covered patio areas. Please refer to the attached color building elevations for more information.

### **Preliminary/Final Development Plan**

#### **Access & Traffic**

The Project will be accessed via two driveways connecting to a new extension of College Drive from the current terminus of Burnt Water Road. To ensure future connectivity, the applicant will extend College Drive approximately 3,140 feet to the west boundary of the future Southeast Connector right of way, terminating in a temporary emergency turnaround. The new roadway extension will be constructed in accordance with the standards for a Village Connector Highway, as follows: two 11 foot drive lanes, two 5 foot bike lanes, and a 5 foot trail on the north side of



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the road. The easternmost access drive serves as a gated exit for residents and visitors, but will also accommodate emergency ingress and egress. Furthermore, a gated emergency-only access drive is provided on the west side of the Project. All vehicular gates will be equipped with a Fire Marshal approved access system. A Traffic Impact Analysis update ("TIA") was prepared by Bohannon Huston and is submitted with this application for your review. The conclusions are summarized below:

- The Project's proposed access points on College Drive should be designed and constructed as un-signalized intersections. A left-turn deceleration lane will be required on College Drive at the central main driveway.
- The intersections of Richards Avenue/Dinosaur Trail and Richards Avenue/Avenida del Sur currently operate at acceptable levels of service during peak periods, and will continue to do so in the future. No further improvements to these two intersections are warranted.
- The roundabouts at Richards Avenue/Willowback Road and Richards Avenue/College Drive currently have existing operational deficiencies that need to be addressed to achieve acceptable levels of service, but are not the sole responsibility of the proposed development.
- At Willowback Road, in order to address the existing deficiencies, a second southbound lane through the roundabout is recommended. This improvement is required for acceptable levels of service even if the proposed Project is not developed. Other potential improvements evaluated do not improve operational performance to normally accepted levels of service.
- The roundabout at Richards Avenue/College Drive currently experiences delay and will continue to do so in the future, whether or not the Project is constructed. A second northbound lane through the roundabout is required for acceptable levels of service, even if the proposed Project is not developed. This additional northbound through lane, combined with the County project to add a southbound-to-westbound right turn slip lane, will improve intersection operation to LOS C.

The NE/SE Connector Location Study is currently underway to determine the future location of the Southeast Connector. In conjunction with development of the apartment community, Rancho Viejo is open to donating the requisite right-of-way for the SE Connector. This is a significant cost and time savings for the County that will greatly benefit the overall success of the NE/SE Connector project.

#### **Water Supply Plan, Fire Protection Plan & Water Budget**

The Project will be served by the County Water Utility with the construction of a new 12" water line in College Drive connecting to the existing 16" main in Richards Avenue. In addition, a 10" public main will loop through the site to serve the Project. Each building will be equipped with automatic fire suppression and six hydrants will be distributed throughout the site. Please refer to the attached plans and the Water Utility Service Availability Analysis for further details.

The Project Water Budget is 32.0 acre feet per year, as described below:

NBD-14

<i>Use</i>	<i>AFY/Unit</i>	<i>Unit Count</i>	<i>Total AFY</i>
Multi-Family	0.16	200	32.0

The data source for this budget is City of Santa Fe Resolution 2009-116, which updated the City's "Water Use in Santa Fe" report.

### **Liquid Waste Disposal**

The Project will be served by Ranchland Utility Company. On-site wastewater collection will be accomplished via a series of 4" gravity lines and low pressure lines with grinder pumps, flowing into the existing 3" force main in College Drive west of the Project. Please refer to the attached Master Utility and Sanitary Sewer Plans for further information.

### **Terrain Management**

The site slopes gently from east to west. Storm water runoff from the Project will be collected in a series of small, shallow drainage swales integrated into the landscaped common areas, which maximizes passive irrigation. In addition, a centralized ponding area is located on the west side of the property, which will be reseeded and landscaped in accordance with County requirements. The overflow outlet for the pond releases into an existing, localized drainage west of the site. A four-foot high retaining wall is proposed for the east side of the Project. Please refer to the Terrain Management Plan for further information.

### **Landscaping**

As described above, storm water collection will be integrated with the landscaping, which includes a combination of native, drought tolerant grasses, groundcovers, shrubs, succulents, evergreens, and deciduous trees. All disturbed areas will be reseeded with a native grass seed mix. Please refer to the Landscape Plans for further details.

### **Water Harvesting & Irrigation**

In accordance with County Ordinance 2003-6, storm water will be actively harvested in ten 15,000-gallon below-ground cisterns connected to the irrigation system, which are located at the northwest corner of the project as depicted on Sheets L.03.02 and C-17. The 150,000 gallons of storage will accommodate the peak monthly irrigation demand of 144,800 gallons.

### **Open Space & Trails**

The Project includes 13.37 acres of open space (61%), well in excess of the 50% open space requirement of the Community College District Ordinance. A 5 foot asphalt trail will be constructed along the north side of College Drive within a 20 foot easement connecting to the existing trail at Burnt Water Road.

NB10-15

### **Archaeology**

An archaeological survey was performed as part of the Rancho Viejo master planning process. There are no archaeological sites identified on the 22.0-acre subject parcel.

### **Solid Waste**

The apartments will have a series of dumpsters that will be screened and gated. Weekly collection will be contracted with a local waste collection company.

### **Lighting & Signage**

As depicted in the attached Electrical Site Lighting Plan, site lighting includes 20-foot pole mounted lights along the driveways and in the parking areas; 8-foot post top lights along the pedestrian walkways, and building mounted sconces. All lights will be shielded and full cut-off in accordance with County requirements. One monument sign is proposed on the east side of the main entrance, a detail of which is depicted in the Landscaping Details on Sheet L.04.01.

### **Environmental Performance Standards**

The Project will comply with all County codes as they pertain to environmental performance standards. Furthermore, environmental protection is accomplished through (1) the preservation of open space; (2) passive irrigation through drainage swales; (3) active water harvesting for irrigation purposes; (4) night sky protection; and (5) pedestrian trail improvements.

### **Variance Requests**

Due to the temporary College Drive dead end, Variances are requested to the following code sections: Community College District Ordinance Article XV, §6.E.3.c, which states that no-outlet roadways shall not exceed three hundred feet (300') in length; and Santa Fe County Land Development Code Article V, §8.1.4, which states that dead end roads may not serve more than thirty (30) dwelling units without the concurrence of the Code Administrator and the Fire Marshal.

The Variances are necessitated by the fact that College Drive will temporarily be a dead end roadway until completion of the Southeast Connector. This is a non-self-inflicted condition which is temporary until the construction of the Southeast Connector. Construction of the roadway will not result in conditions injurious to health or safety, as the road will be built to County standards with the requisite emergency turnaround. Once the connection to the Southeast Connector is constructed, College Drive will no longer operate as a dead end.

In support of this request, the following documentation is included herewith for your review:

- Development Permit Application
- Warranty Deed & Letters of Authorization

NBD-16

- Legal Lot of Record
- Proof of Property Taxes Paid
- Water Utilities Service Availability Analysis
- Sewer Availability Letter
- School Impact Form
- Drainage Calculations
- Color Building Elevations
- Traffic Impact Analysis – 3 copies
- Development Plan Submittal Drawings – 9 full size & 1 reduced set

Finally, included herewith is a check in the amount of \$1,775.00 for the application fees, calculated as follows:

Application Fee	100.00
Variance	150.00
Initial Inspection	150.00
2 Notice Boards	50.00
Development Plan	750.00
Traffic Impact Analysis	500.00
Fire Review	50.00
<u>Fire Inspection</u>	<u>25.00</u>
Total	\$1,775.00

Please do not hesitate to contact us should you have any questions or need additional information.

Thank you for your consideration.

Sincerely,



Jennifer Jenkins  
JenkinsGavin Design & Development, Inc.



Colleen C. Gavin, AIA

NBD-17



**jenkinsgavin**  
DESIGN & DEVELOPMENT INC

April 16, 2015

Jose Larrañaga, Commercial Development Case Manager  
Santa Fe County Building & Development Services  
102 Grant Avenue  
Santa Fe, NM 87501

**RE: Elevation Multi-Family Community  
Development Plan Application Amendment**

Dear Jose:

I am writing to amend our Preliminary/Final Development Plan application to address some modifications that have been agreed upon with Staff, as outlined below:

1. The Applicant will construct College Drive from its current terminus at Burnt Water to the western boundary of the future Southeast Connector right-of-way, as reflected in the attached plans. Please note that Sheet C1-B has been revised from what was submitted yesterday to include a temporary emergency turnaround at the end of the roadway.
2. The Applicant will delay commencement of building construction until June of 2016.
3. The construction of College Dr. will be done in lieu of improvements to Richards Ave.
4. Per your request, a supplement to the Traffic Impact Analysis is attached that incorporates the Southeast Connector traffic modelling data into our findings.

Regarding the variance from Article V, Section 8.1.4, which states dead end roads cannot access more than 30 lots, this provision is in the Subdivision Design Standards and this project is not a subdivision. Furthermore, this provision states, "...the Code Administrator with the concurrence of the Fire Marshal may approve the development of more than 30 (thirty) lots on a dead-end road." Therefore, if this provision is deemed applicable to the Elevation project, we respectfully request administrative approval of this temporary condition.

Please let me know if you have any questions or require additional information. Thank you.

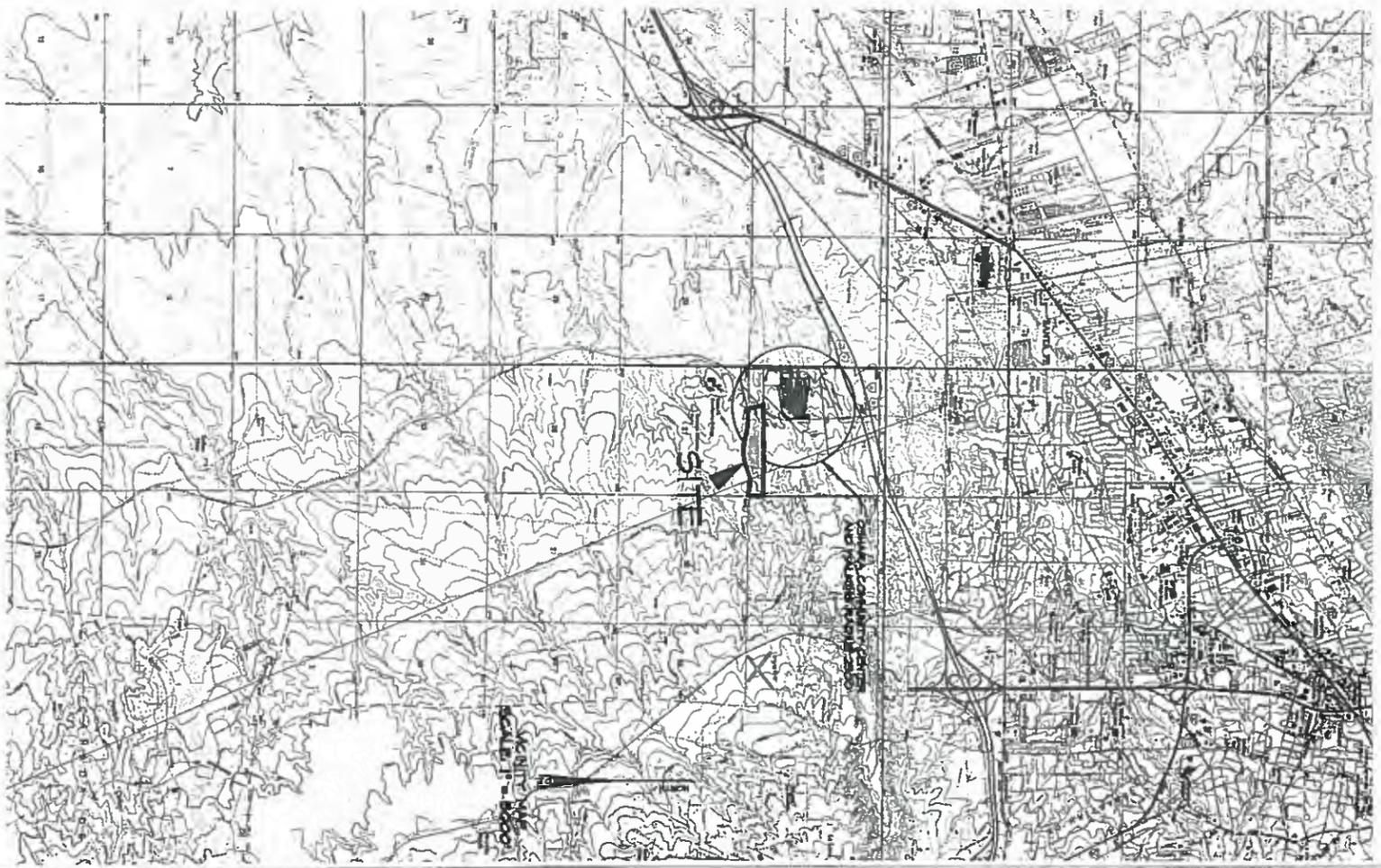
Sincerely,

Jennifer Jenkins

cc: Penny Ellis-Green



NBD-18



# Elevation

## ELEVATION

FINAL DEVELOPMENT PLAN  
 63 COLLEGE DRIVE, SANTA FE, NEW MEXICO  
 SECTIONS 16 and 21, T 16 N, R 9 E, N.M.P.M.  
 LOT 1B OF SUMMARY REVIEW SUBDIVISION  
 PLAT OF COLLEGE HEIGHTS REMAINDER LOT 1

### SHEET LIST

1. COVER
2. FINAL DEVELOPMENT PLAN
3. LEGAL LOT OF RECORD
4. CERTIFIED TOPOGRAPHY
5. SLOPE ANALYSIS, SOIL MAP & EXISTING CONDITIONS
6. TRAILS & OPEN SPACE
7. OVERALL LANDSCAPE SITE PLAN
8. LANDSCAPE PLAN
9. IRRIGATION PLAN
10. LANDSCAPING DETAILS
11. ELECTRICAL SITE LIGHTING PLAN
12. SITE LIGHTING PHOTOMETRY PLAN
13. SITE LIGHTING FIXTURE CUTSHEETS
14. SITE DETAILS
15. FIRST FLOOR PLAN - BUILDING TYPE I
16. FIRST FLOOR PLAN - BUILDING TYPE II
17. FIRST & SECOND FLOOR PLAN - BUILDING TYPE I (CARRIAGE BUILDING)
18. FIRST FLOOR PLAN - BUILDING TYPE V & V (DETACHED GARAGES)
19. COMMUNITY CENTER FLOOR PLAN
20. BUILDING ELEVATIONS - BUILDING TYPE I
21. BUILDING ELEVATIONS - BUILDING TYPE II
22. BUILDING ELEVATIONS - BUILDING TYPE V & V
23. BUILDING ELEVATIONS - COMMUNITY CENTER
24. ROADWAY PLAN & TYPICAL SECTIONS
25. COLLEGE DRIVE PLAN & PROFILE
26. TRAFFIC SIGNAGE PLAN
27. TERRAIN MANAGEMENT PLAN
28. FONDING PLAN
29. MISCELLANEOUS DETAILS
30. MASTER UTILITY PLAN
31. FIRE PROTECTION PLAN
32. WATER PLAN
33. OFFSITE WATER AND DRY UTILITY PLAN
34. SANITARY SEWER PLAN
35. OFFSITE SANITARY SEWER PLAN
36. SWPP PLAN
37. CISTERN PLAN
38. GENERAL CONSTRUCTION REQUIREMENTS
39. COUNTY UTILITY SYSTEM DETAILS
40. SIDEWALK CURB AND GUTTER DETAILS
41. SWPPP DETAILS

**OWNER/DEVELOPER:**  
 VENDURA RESIDENTIAL OPERATING, LLC.  
 6120 NORTH SCOTTSDALE ROAD, SUITE 104  
 SCOTTSDALE, AZ 85253  
**PLANNERS:**



**jenkinsgavin**  
 DESIGN & DEVELOPMENT INC  
 130 Grant Avenue, Suite 101  
 Santa Fe, New Mexico 87501

**CIVIL ENGINEER:**

**DESIGN ENGINEER**



1421 Luisa Street, Suite C, Santa Fe, New Mexico  
 (505) 994-9597

**SURVEYOR:**

**DAWSON SURVEYS, INC.**  
 PROFESSIONAL LAND SURVEYORS  
 2502 B CAMINO ENTRADA  
 SANTA FE, NM 87507  
 PH: (505) 47-6660

**ARCHITECT:**

**TODD & ASSOCIATES, INC.**  
 Critical Thinking • Creative Design

**TRAFFIC ENGINEER:**

**Bohannan & Huston**

**LANDSCAPE ARCHITECT:**



**ELECTRICAL ENGINEER:**

**NP Engineering, Inc.**  
 Consulting Electrical Engineers  
 4115 N 15th Avenue  
 Phoenix, Arizona 85015  
 602-265-1557p

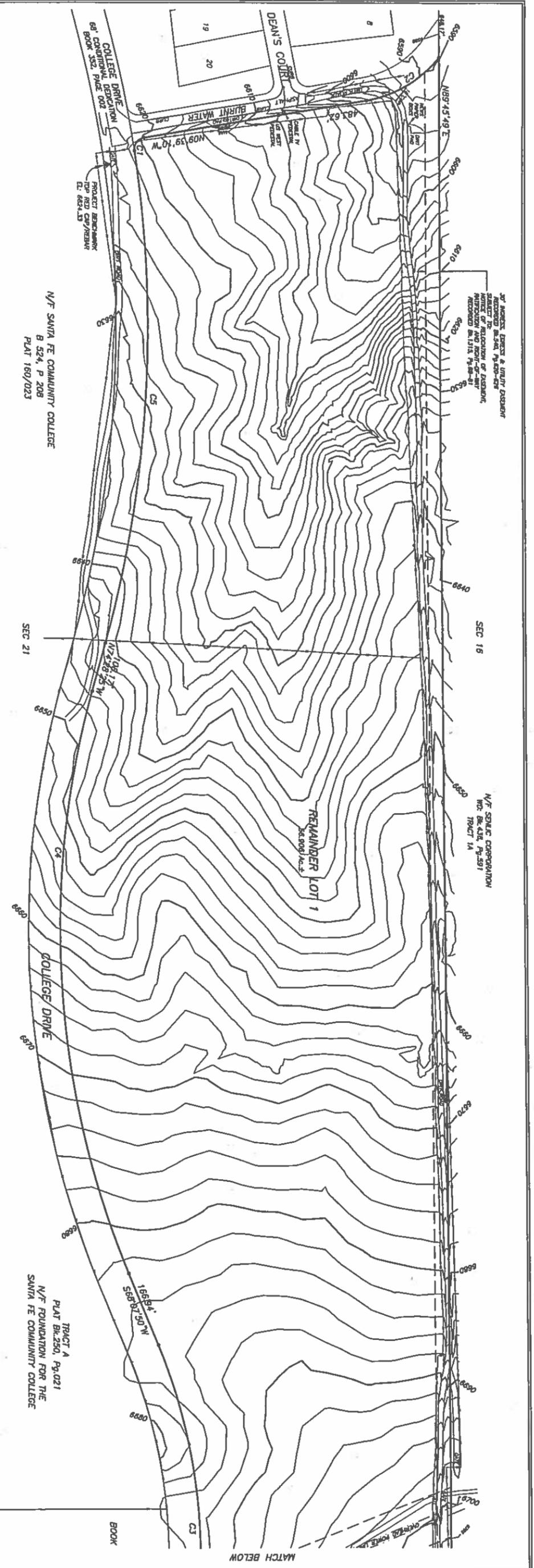
DECEMBER 05, 2014

REVISIONS		
DATE	BY	DATE
01/19/15	O.S.	
04/22/15	O.S.	







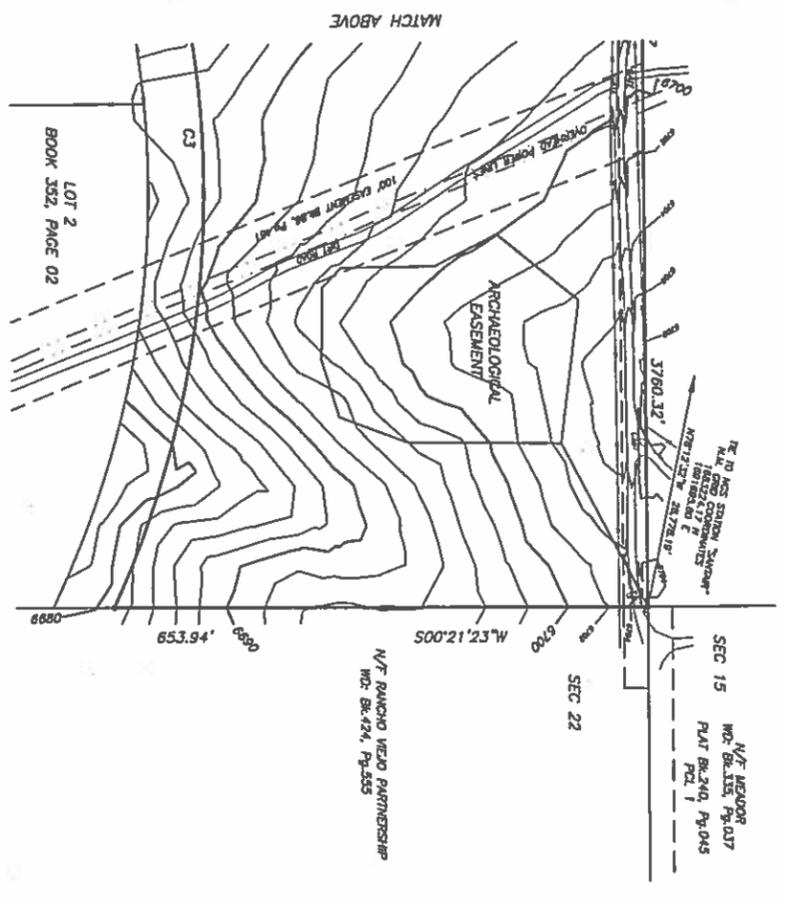


CURVE	BETA	RADIUS	ARC	CHORD	END ANG.
C1	88°31'51"	26.00'	38.17'	33.00'	152°10'00"W
C2	42°31'51"	128.00'	188.35'	181.32'	150°24'36"W
C3	48°30'02"	1724.00'	1901.50'	974.24'	160°17'09"W
C4	37°21'45"	1988.00'	1783.17'	1780.52'	58°49'43"W
C5	24°02'37"	2524.00'	1071.78'	1063.87'	160°29'53"W

**NOTE:**  
 THIS IS NOT A PROPERTY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA SHOWN IS FROM PREVIOUS SURVEY REFERENCES HERON.  
 THIS PLAT SUBJECT TO ANY RESTRICTIONS, COVENANTS AND EASEMENTS OF RECORD.  
 UTILITY SYMBOLS SHOWN HEREON ARE LARGER THAN THEIR ACTUAL SIZE FOR MEASURING PURPOSES.

**LEGEND:**  
 BEARINGS ARE NEW MEXICO STATE PLAN, CENTRAL ZONE. DISTANCES ARE GROUND AT 6800745. GROUND TO GRID SCALE FACTOR = 0.99938  
 ELEVATIONS ARE NAVD83, DERIVED FROM GPS BASE STATION DAMSONZ ELEVATION=6572.178

- DENOTES FOUND PROPERTY CORNER
- DENOTES 2' CONTOUR INTERVAL
- DENOTES 10' CONTOUR INTERVAL
- ⊕ DENOTES UTILITY PEDESTAL
- ⊞ DENOTES FENCE



**SURVEYORS CERTIFICATE:**  
 I HEREBY CERTIFY THAT THIS MAP IS A TRUE REPRESENTATION OF A TOPOGRAPHIC SURVEY COMPLETED UNDER MY PERSONAL SUPERVISION IN JAN. OF 2012. THE SURVEY AND DRAWING ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BEST THE USUAL STANDARDS FOR TOPOGRAPHIC SURVEYS IN NEW MEXICO.

Edward M. Trujillo  
 N.M.P.L.S. #12332

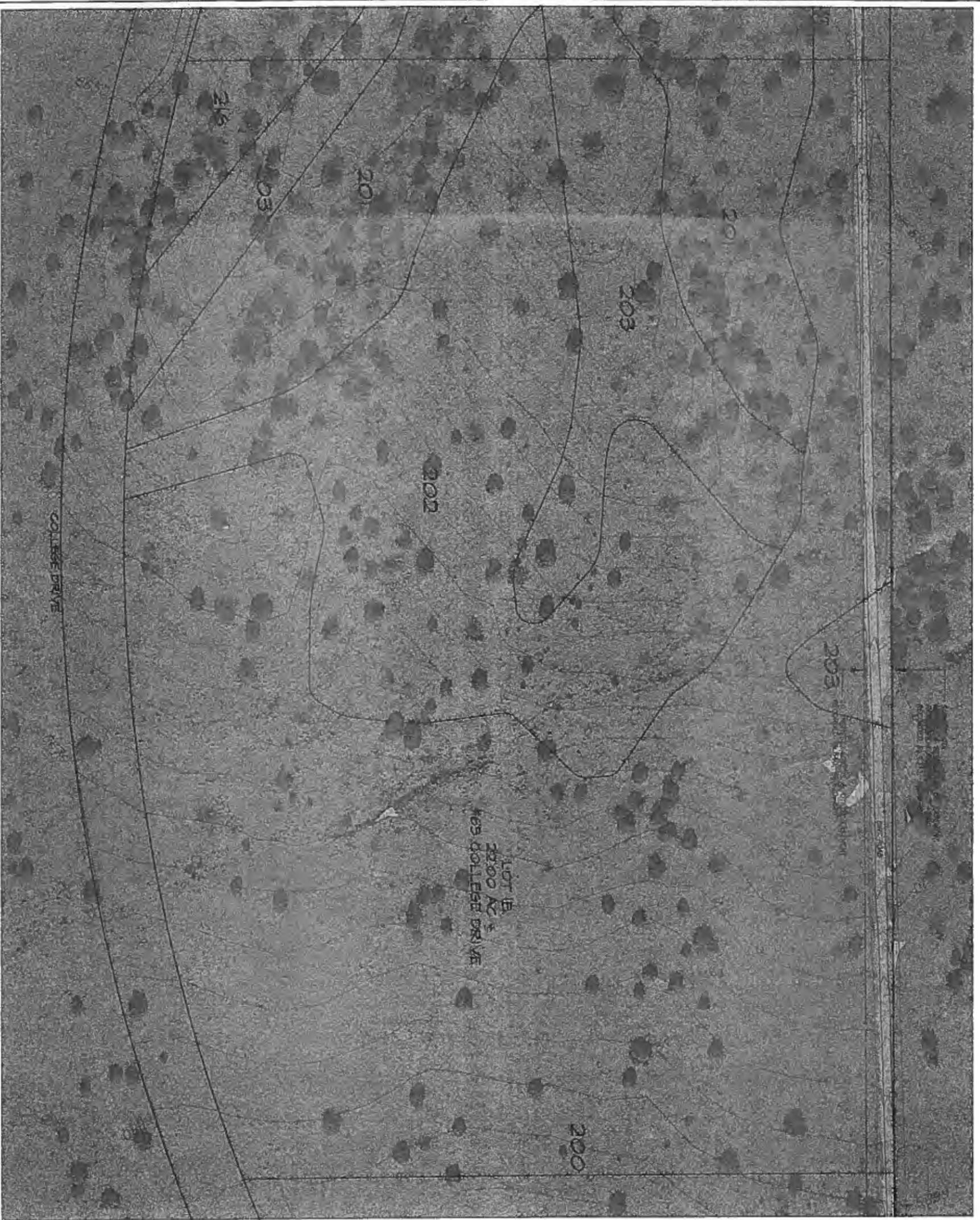


**TOPOGRAPHIC MAP**  
 OF  
**COLLEGE HEIGHTS REMAINDER LOT 1**  
 RECORDED IN PLAT BOOK 422, PAGE 05-07  
 WITHIN SECTION 21, T.16N., R.9E., N.M.P.M.  
 COUNTY OF SANTA FE, N.M.

NBD-22

DAWSON SURVEYS, INC.  
 10000 CAMINO ANTIQUO  
 SANTA FE, N.M. 87507  
 FILE# 817517090 DATE: 01/18/12

SHEET 4



**SOIL DATA**

200 - MEDIUM LOAM - LOAM AND CLAY LOAM WELL-DRAINED, MODERATE PERSISTENT PLASTICITY, MODERATE TO HIGH PERMEABILITY, ALLUVIAL ORIGIN, ALLUVIAL DEPOSITED FROM GRANITE, GNEISS, SCHIST, LOESS AND VOLCANIC ASH.

201 - TYPICAL SCAFFOLD COMPLEX - VERY GRAVELLY SANDY LOAM AND LOAM, SOMEWHAT EXCESSIVELY DRAINED, MODERATE PERSISTENT PLASTICITY, MODERATE TO HIGH PERMEABILITY, ALLUVIAL DEPOSITED FROM GRANITE, GNEISS, SCHIST, LOESS OVER REDDISH BROWN REFINISHED FROM DIABASE TUFF OR GRANITE BRECCIA.

202 - ALFISOL LOAM - LOAM AND CLAY LOAM WELL-DRAINED, MODERATE PERSISTENT PLASTICITY, MODERATE TO HIGH PERMEABILITY, ALLUVIAL DEPOSITED FROM GRANITE, GNEISS, SCHIST, LOESS AND VOLCANIC ASH.

203 - BUCHERAN-TALAND COMPLEX - COARSE SANDY LOAM AND GRAVELLY SANDY LOAM, WELL-DRAINED, MODERATE PERSISTENT PLASTICITY, MODERATE TO HIGH PERMEABILITY, ALLUVIAL DEPOSITED FROM GRANITE, GNEISS, SCHIST, LOESS OVER REDDISH BROWN REFINISHED FROM DIABASE TUFF OR GRANITE BRECCIA.

204 - DORADO LOAM - LOAM WITH GRAVELLY SANDY LOAM AT DEPTH OF 60" OR MORE, WELL-DRAINED, MODERATE PERSISTENT PLASTICITY, MODERATE TO HIGH PERMEABILITY, ALLUVIAL DEPOSITED FROM GRANITE, GNEISS, SCHIST, LOESS AND VOLCANIC ASH.

PRESCRIPTION TAKEN FROM THE UGA NATURAL RESOURCES CONSERVATION SERVICES SOIL WEB SOIL SURVEY FOR SANITARY FIELD AREA DONE IN MAY 2004  
<http://websoilsurvey.sc.egov.usda.gov/App/WebSoilsurvey.aspx>

**SLOPE LEGEND**

- 0-20% SLOPE
  - 20%-30% SLOPE USING 2' CONTOUR INTERVAL
  - 30% AND GREATER SLOPE USING 5' CONTOUR INTERVAL
- SEE SHEET # FOR SOURCE OF TOPOGRAHY SHOWN HEREON.
- THESE ARE NO SOIL SLOPES ON THIS PROJECT.



NBD-23

DESIGN ENGINEERING

440 Lakeshore Drive, Suite 5, Marietta, GA 30067

ELEVATION  
FINAL DEVELOPMENT PLAN  
SLOPE ANALYSIS, SOIL MAP  
& EXISTING CONDITIONS

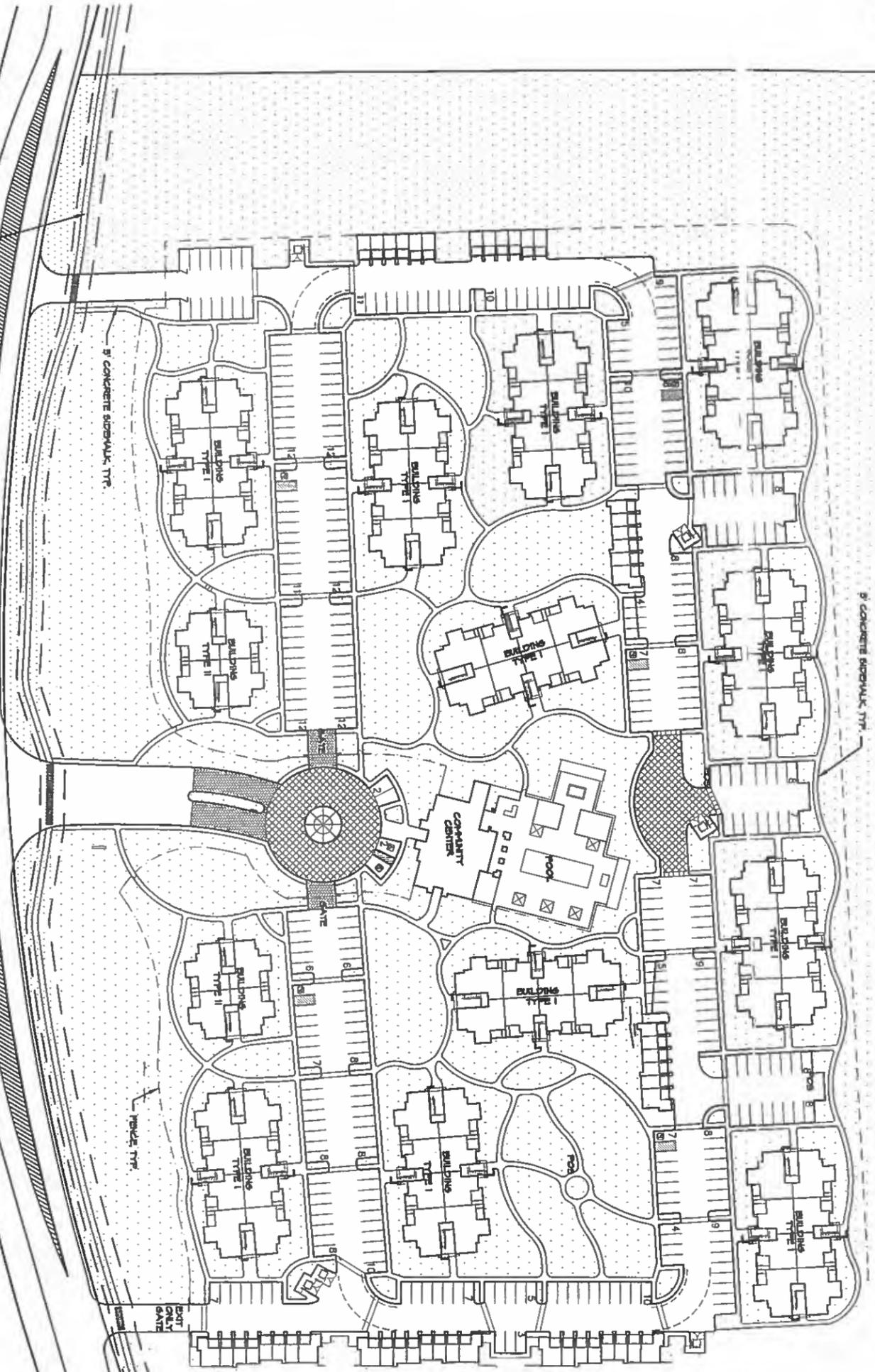
SCALE	DATE
1"=100'	12/09/2014
PROJECT NO.	5

SUBJECT TO:  
NOTICE OF RELOCATION OF EASEMENT,  
RECORDATION AND RECONSTRUCTION  
RECORDED BK.1315, PG.68-81

POS

ENT

NOT INTEREST, EGRESS & UTILITY EASEMENT  
RECORDED BK.540, PG.620-628



COLLEGE DRIVE

CONCRETE TRAIL - 8' WIDE PAVED  
2" ASPHALT OVER 4" COMPACTED  
BASECOURSE WITHIN 50' PUBLIC  
BASEMENT TO BE CONNECTED TO  
EXISTING TRAIL AT EXISTING PAVEMENT

8' CONCRETE SIDEWALK TRP.

8' CONCRETE SIDEWALK TRP.

PRIVATE TRP.

EXIT ONLY GATE

- LEGEND**
- CONCRETE OPEN SPACE  
= 54,975 SQ'
  - PRIVATE OPEN SPACE  
= 624,500 SQ'
- TOTAL OPEN SPACE  
ON 25 ACRES APARTMENT SITE  
IS 679,475 SQ' OR 15.5 ACRES**

N131D-24



DESIGN ENGINEER

ELEVATION PLAN  
FINAL DEVELOPMENT PLAN

TRAILS & OPEN SPACE

Scale	1"=50'	Date	01/19/2018
Drawn By	BT	Sheet No.	4
Checked By	BT		
Design By	BT		

1"=30'

NORTH

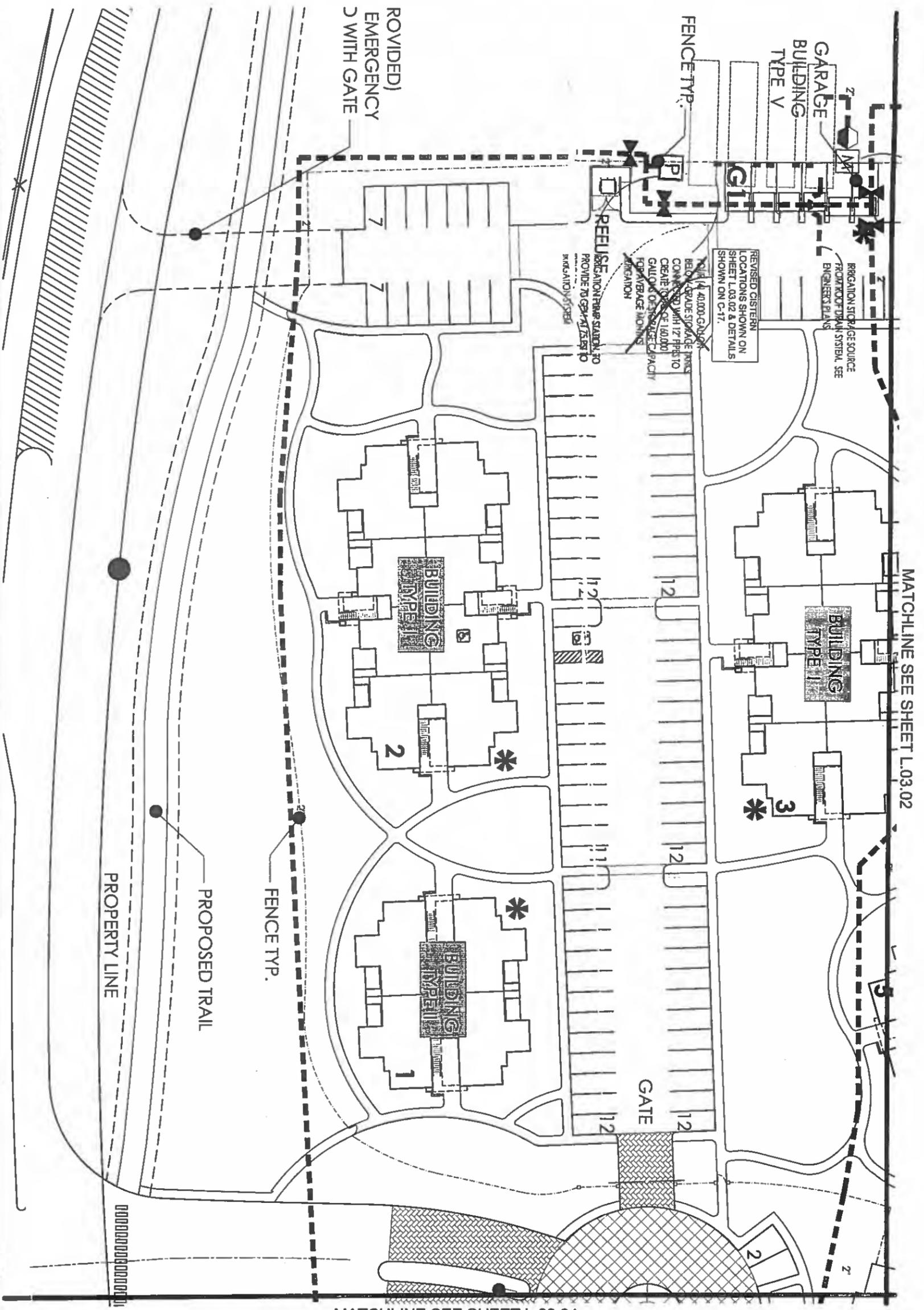












MATCHLINE SEE SHEET L.03.02

MATCHLINE SEE SHEET L.03.04

**IRRIGATION SCHEDULE**

- IC-10A-2" CTR 90° AIR-RELEASE VALVE
- 1.113X WECO MAIN LINE ISOLATION GATE VALVE
- 1" 100'-2" CHAMPION MANUAL DRAIN VALVE
- 975X WILSON REDUCED PRESSURE BACKFLOW PREVENTER
- M BACKUP SUPPLY VALVE METER
- F IRRIGATION PIPE STATION FROM STORAGE TANKS
- CLASS 200 PVC PPE-SAWY LINE SOLVENT WELD.

**NOTE:**

- 1) PUMP STATION TO SUPPLY TO GPM #7 FS DISCHARGE.
- 2) ALL PRE AND WIRING UNDER PAVED SURFACES SHALL BE IN SCHEDULE 40 PVC STEVES, WHETHER OR NOT SHOWN. INSTALL WIRE STEVE ABOVE CURB TO PRE SERVE AT PAVED CROSSINGS.
- 3) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PER STANDARDS WHETHER OR NOT SHOWN.
- 4) LOCATE PURPLE VALVE BOXES IN PLANTER AREAS.
- 5) ALL VALVE BOXES FOR RECLAIMED SYSTEM SHALL BE PURPLE ALL SPRINKLER CAPS, VALVE HANDLES, AND QUICK-COUPLES COVERS SHALL ALSO BE PURPLE FOR RECLAIMED WATER.
- 6) CONTRACTOR SHALL COMPLETE THE FOLLOWING PRIOR TO FINAL P.A. CONSTRUCTION RECORD (AS SHOWN IN DIGITAL FORMAT):
  - E. CONTROLLER DATA SHEET, INCLUDING IN DIGITAL FORMAT.
- 7) RECLAIMED WATER WARNING SIGNS SHALL BE LOCATED AT PEDESTRIAN ENTRANCE / ACCESS POINTS AND SPACED NOT MORE THAN 100 YARDS APART ALONG MONITORING. THESE SIGNS SHALL BE BLACK ON WHITE BACKGROUND WITH BLACK LETTERING ON RECLAIMED WATER - DO NOT DRINK.
- 8) THESE IRRIGATION CONSTRUCTION DOCUMENTS, INCLUDING ALL PLANS, NOTES, DETAILS, AND SPECIFICATIONS ARE INTENDED TO FACILITATE THE INSTALLATION CONSTRUCTION BY PROVIDING GENERAL GUIDELINES FOR DESIGN WHEN THEREFORE. ALL CONSTRUCTION DOCUMENTS ARE CORRECTIVE. FIELD MODIFICATIONS MAY OCCUR IN ORDER TO FULLY THE DESIGN INTENT OF THE DRAWINGS. CONTRACTOR SHALL CONSULT WITH IRRIGATION DESIGNER AND PREPARE AS-BUILT PLANS SHOULD FIELD MODIFICATIONS BE NECESSARY.

**SITE IRRIGATION PLAN**

**Elevation @ Rancho Viejo**

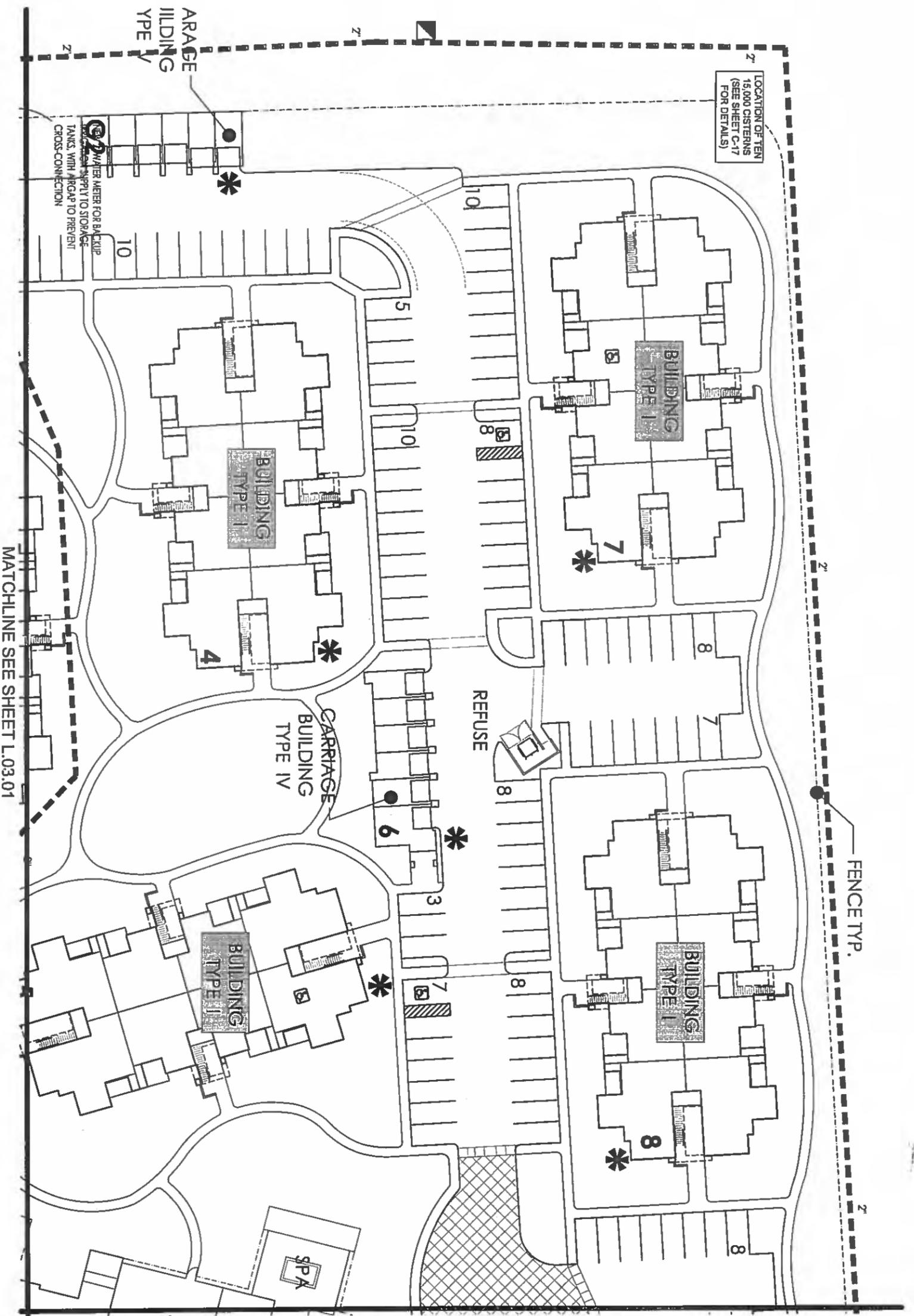
**TODD & ASSOCIATES, INC.**  
ARCHITECTURE / PLANNING  
402.932.8280  
www.toddasoc.com

Santa Fe County, New Mexico  
Preliminary/ Final Development Plan Submittal  
Project No. 14-2037-00 Date 12-5-2014

**FLONOR**  
1425 N. First Street  
Second Floor  
Phoenix, AZ 85004  
602.462.1425 F  
602.462.1427 F  
flonor@flonor.com

SCALE: 1" = 30'-0"  
SHEET  
**L.03.01**  
OF #

NR3D-30



LOCATION OF TEN 15,000 CISTERNS (SEE SHEET C-17 FOR DETAILS)

FENCE TYP.

MATCHLINE SEE SHEET L.03.03

MATCHLINE SEE SHEET L.03.01

**IRRIGATION SCHEDULE**

- IC-104-C7 C88PM AIR-BELT VALVE
- F-113K INICO MAIN LINE ISOLATION GATE VALVE
- #100-T CHAMPION MANUAL DRAIN VALVE
- 975XL WALKING REDUCED PRESSURE BACKFLOW PREVENTER
- M BACKUP SUPPLY WATER METER
- P IRRIGATION FILTER STATION FROM STORAGE TANKS
- CLASS 200 PVC PIPES/MAN LINE SOLVENT WELD.

**NOTE:**

- 1) PUMP STATION TO SUPPLY 70 GPM AT 75 PSI DISCHARGE
- 2) ALL PIPE AND WORKING UNDER PAVED SURFACES SHALL BE IN SCHEDULE 40 PVC SERVICE, WHETHER OR NOT SHOWN, INSTALL WHERE SLEEVE ADJACENT TO PIPE BEING AT PAVED CROSSINGS.
- 3) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PER STANDARDS WHETHER OR NOT SHOWN.
- 4) LOCAL/E PUMP VALVE BOXES IN PLANTER AREAS.
- 5) ALL VALVE BOXES FOR RECLAIMED SYSTEM SHALL BE PURPLE, ALL SPRINKLER CAP, VALVE HANDLES, AND QUICK-COUPLER COVERS SHALL ALSO BE PURPLE FOR RECLAIMED WATER.
- 6) CONTRACTOR SHALL COMPLETE THE FOLLOWING FROM TO FINAL WATER-INJECTION:
  - a. CONSTRUCTION RECORD (AS-BUILT) DRAWINGS.
  - b. CONTROLLER DATA SHEET, INCLUDING IN DETAIL FOR MAIN.
- 7) RECLAIMED WATER WARNING SIGNS SHALL BE LOCATED AT RECLAIMER ENTRANCE / ACCESS ROADS AND SPACED NOT MORE THAN 100 FEET FROM SOURCE FROM WHICH THESE SIGNS WILL BE BACKDROPPED. THEY WILL BE LABELED "WARNING: RECLAIMED WATER - DO NOT DRINK."
- 8) THESE IRRIGATION CONSTRUCTION DOCUMENTS, INCLUDING ALL PLANS, NOTES, DETAILS, AND SPECIFICATIONS ARE INTENDED TO FACILITATE THE INSTALLATION/CONSTRUCTION BY PROVIDING OPERATIONAL INFORMATION. THESE DOCUMENTS ARE NOT TO BE USED FOR ANY OTHER PURPOSES. ANY MODIFICATIONS MAY OCCUR IN ORDER TO FULFILL THE DESIGN INTENT OF THE DRAWINGS. CONTRACTOR SHALL CONSULT WITH IRRIGATION DESIGNER AND PREPARE AS-BUILT PLANS SHOULD FIELD MODIFICATIONS BE NECESSARY.

**IRRIGATION PLAN**

**Elevation @ Rancho Viejo**

**TODD & ASSOCIATES, INC.**  
ARCHITECTURE / PLANNING  
407 931.2300  
www.toddsai.com

Santa Fe County, New Mexico  
Preliminary/ Final Development Plan Submittal  
Project No. 14-2037-00 Date 12-5-2014



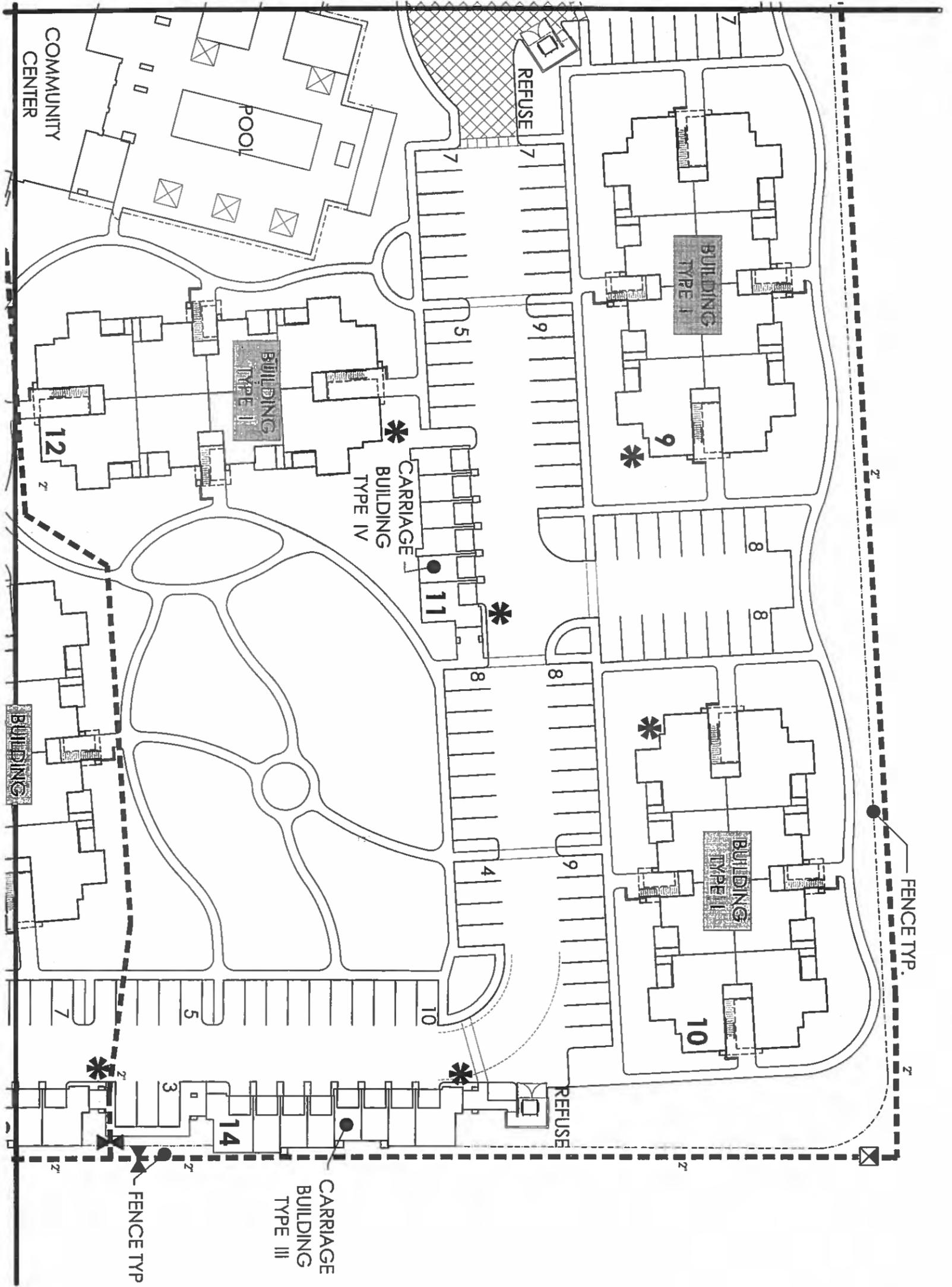
**FLONOR**  
1425 N. First Street  
Phoenix, AZ 85004  
402.442.1425 P  
402.442.1427 F  
flonor.com



SCALE 1" = 30'  
SHEET L.03.02  
OF #

N310-31

MATCHLINE SEE SHEET L.03.02



IRRIGATION PLAN

# Elevation @ Rancho Viejo

MATCHLINE SEE SHEET L.03.04

## IRRIGATION SCHEDULE

- IC-10x7-02 CRIPIN AIR-BELIEF VALVE
- 1-1 1/2" NIBCO MAIN LINE SOLATION GATE VALVE
- 2-100' 2" CHAMBERMAN MANUAL DRAIN VALVE
- 3-75' 1/2" WATERS REDUCED PRESSURE BACKFLOW PREVENTER
- M BACKUP SUPPLY WATER METER
- P IRRIGATION PUMP STATION FROM STORAGE TANKS
- CLASS 200 PVC PIPE-MAN LINE SOUVENIR WELD.

NOTE:

- 1) PUMP STATION TO SUPPLY TO GPM AT 75 PSI DISCHARGE.
- 2) ALL PIPE AND WIRING UNDER PAVED SURFACES SHALL BE IN SCHEDULE 40 PVC SIZES, WHETHER OR NOT SHOWN. INSTALL WIRE SLEEVES ADJACENT TO PIPE SLEEVES AT PAVED CROSSINGS.
- 3) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ACQUAINT PER STANDARDS WHETHER OR NOT SHOWN.
- 4) LOCATE PUMP/VALVE SITES IN PLUMBER AREAS.
- 5) ALL VALVE SIZES FOR RECLAIMED SYSTEM SHALL BE FIFTEEN (15) POUNDS PER SQUARE INCH (PSI) RATED. ALL VALVES SHALL BE FIFTEEN (15) POUNDS PER SQUARE INCH (PSI) RATED. ALL VALVES SHALL ALSO BE FIFTEEN (15) POUNDS PER SQUARE INCH (PSI) RATED.
- 4) CONTRACTOR SHALL COMPLETE THE FOLLOWING PRIOR TO FINAL WALK-THROUGH:
  - A. CONSTRUCTION RECORD (AS-BUILT) DRAWINGS.
  - B. CONSTRUCTION DATA SHEET, INCLUDING IN DIGITAL FORMAT.
- 7) RECLAIMED WATER WARNING SIGNS SHALL BE LOCATED AT PERMANENT ENTRANCE / ACCESS POINTS AND SPACED NOT MORE THAN 100 YARDS APART ALONG FRONTAGE. THESE SIGNS WILL BE AT LEAST SIX INCHES SQUARE WITH BLACK LETTERING ON A WHITE BACKGROUND. THEY WILL BE LABELED "WARNING: RECLAIMED WATER - DO NOT DRINK."
- 8) THESE IRRIGATION CONSTRUCTION DOCUMENTS, INCLUDING ALL PLANS, NOTES, DETAILS, AND SPECIFICATIONS ARE INTENDED TO FACILITATE THE INSTALLATION. CONTRACTOR BY PROVIDING GENERAL CHANGES FOR DESIGN INTENT. THEREFORE, ALL IRRIGATION ELEMENTS GRAPHICALLY REPRESENTED IN THESE CONSTRUCTION DOCUMENTS ARE SCHEMATIC. FIELD MODIFICATIONS TO THE PLAN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL CONSULT WITH THE DESIGN IRRIGATION DESIGNER AND PREPARE AS-BUILT PLANS SHOULD FIELD MODIFICATIONS BE NECESSARY.

TODD & ASSOCIATES, INC.

ARCHITECTURE / PLANNING  
602.952.2700  
www.toddsai.com

San Joaquin County, New Mexico  
Preliminary/ Final Development Plan Submittal  
Project No. 14-2037-00 Date 12-5-2014



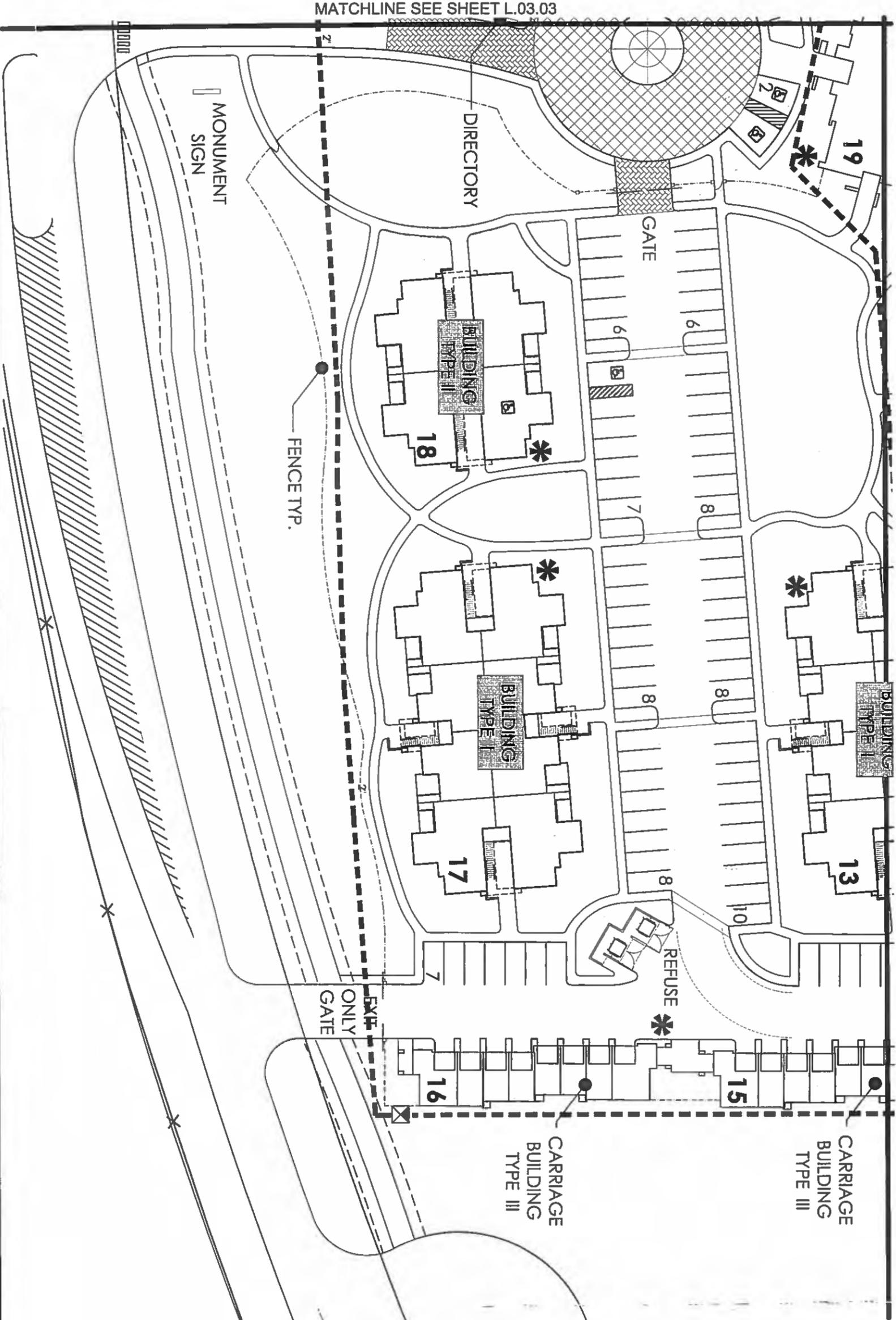
1425 N. First Street  
Second Floor  
Phoenix, AZ 85004

SCALE: 1" = 32'-0"

SHEET  
L.03.03  
OF #

NBD-32

MATCHLINE SEE SHEET L.03.03



MATCHLINE SEE SHEET L.03.03

IRRIGATION SCHEDULE

- 1C-10x2" CERRI 1/2" BELL VALVE
- 1-1/2" IRIGCO MAIN LINE SOLUTION GATE VALVE
- 8 100' CHAMPION MANUAL DRAIN VALVE
- 9 3/4" WATERS REDUCED PRESSURE BACKFLOW PREVENTER
- M BACKUP SUPPLY WATER METER
- P IRRIGATION PUMP STATION FROM STORAGE TANKS
- CLAS 200 PVC PRESSURE LINE, SOLVENT WELD.

NOTE:

- 1.) PUMP STATION TO SUPPLY TO GPM, AT 75 PSI DISCHARGE.
- 2.) ALL PIPE AND WORKING UNDER PAVED SURFACES SHALL BE IN SCHEDULE 40 PVC SLEEVES, WHETHER OR NOT SHOWN. INITIAL WORK SHALL BE ADJACENT TO PIPE SLEAVE AT PAVED CROSSINGS.
- 3.) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PER STANDARDS WHETHER OR NOT SHOWN.
- 4.) LOCATE NIPPLE VALVE BOXES IN PLANTER AREAS.
- 5.) ALL VALVE BOXES FOR RECLAIMED SYSTEM SHALL BE PIPER, ALL SPRINKLER CAPS, WATER METER, AND OTHER COVER COVERS SHALL ALSO BE FOR RECLAIMED WATER.
- 6.) CONTRACTOR SHALL COMPLETE THE FOLLOWING FROM TO FINAL WALK-THROUGH:
  - A. CONSTRUCTION RECORD (AS-BUILT DRAWINGS).
  - B. CONTRACTOR DATA SHEET, INCLUDING IN DIGITAL FORMAT.
- 7.) RECLAIMED WATER WARNING SIGNS SHALL BE LOCATED AT PERMANENT ENTRANCE / ACCESS POINT AND SPACED NOT MORE THAN 100 YARDS APART ALONG FRONTAGE. THESE SIGNS WILL BE AT LEAST 36 INCHES SQUARE WITH BLACK LETTERING ON A WHITE BACKGROUND. THEY WILL BE LABELED "WARNING: RECLAIMED WATER - DO NOT DRINK."
- 8.) THESE RECLAIMED CONTRIBUTION DOCUMENTS, INCLUDING ALL PLANT NOTES, DETAILS, AND SPECIFICATIONS ARE INTENDED TO FACILITATE THE INSTALLATION CONTRACTOR BY PROVIDING GENERAL GUIDELINES FOR DESIGN INTENT. THEREFORE, ALL GENERAL REVISIONS GRAPHICALLY REPRESENTED IN THESE CONSTRUCTION DOCUMENTS ARE TECHNICAL FIELD MODIFICATIONS THAT OCCUR IN ORDER TO FULLY IMPLEMENT THE DESIGN INTENT OF THE ARCHITECT AND PROVIDE AS-BUILT PLANS SHOULD FIELD MODIFICATIONS BE NECESSARY.

SITE LANDSCAPE PLAN

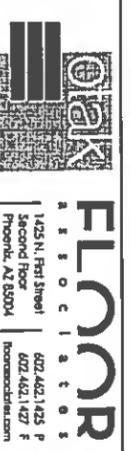
Elevation @ Rancho Viejo

N13D-33

TODD & ASSOCIATES, INC.

ARCHITECTURE / PLANNING  
402.532.2300  
www.toddaassoc.com

Santa Fe County, New Mexico  
Preliminary/ Final Development Plan Submittal  
Project No. 14-2037-00 Date 12-5-2014



1425 N. First Street  
Second Floor  
Florence, AL 35004  
602.462.1425 P  
602.462.1427 F  
flonor@santafecounty.com

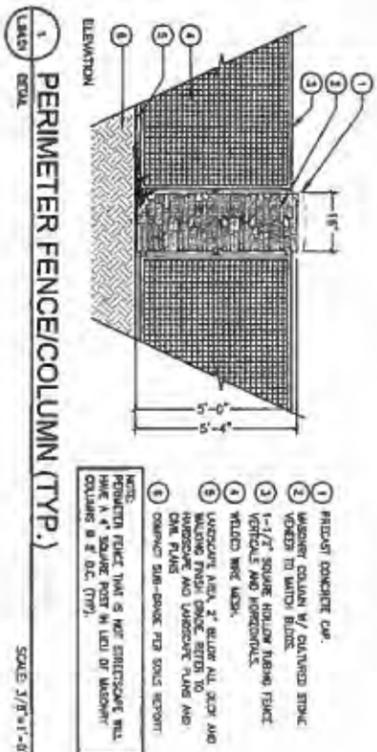
SHEET  
L.03.04  
OF #

SCALE 1" = 30' ±





2 ENTRY SIGNAGE (TYP.)



1 PERIMETER FENCE/COLUMN (TYP.)

- 1 FILLER CONCRETE CUR.
- 2 WOODEN COLUMN W/ DRAINAGE STRIKE WORKED TO MATCH FINISH.
- 3 1'-0" SQUARE HOLLOW TUBING FENCE VERTICALS AND HORIZONTALS.
- 4 WELDED WIRE MESH.
- 5 LANDSCAPE AREA, 2" RADIUS ALL SIDES AND WALKING FINISH CONCRETE SETTS TO ONE FLOOR AND UNDERCUT PLUMB AND CORNER FINISH.
- 6 CORNERED SUB-SOILS PER SOILS REPORT.

NOTE: PERIMETER FENCE SHALL BE INSTALLED WITH HANG A 4" SQUARE POST IN LEAD OF WALKWAY COLUMN & 8" O.C. (TYP.)

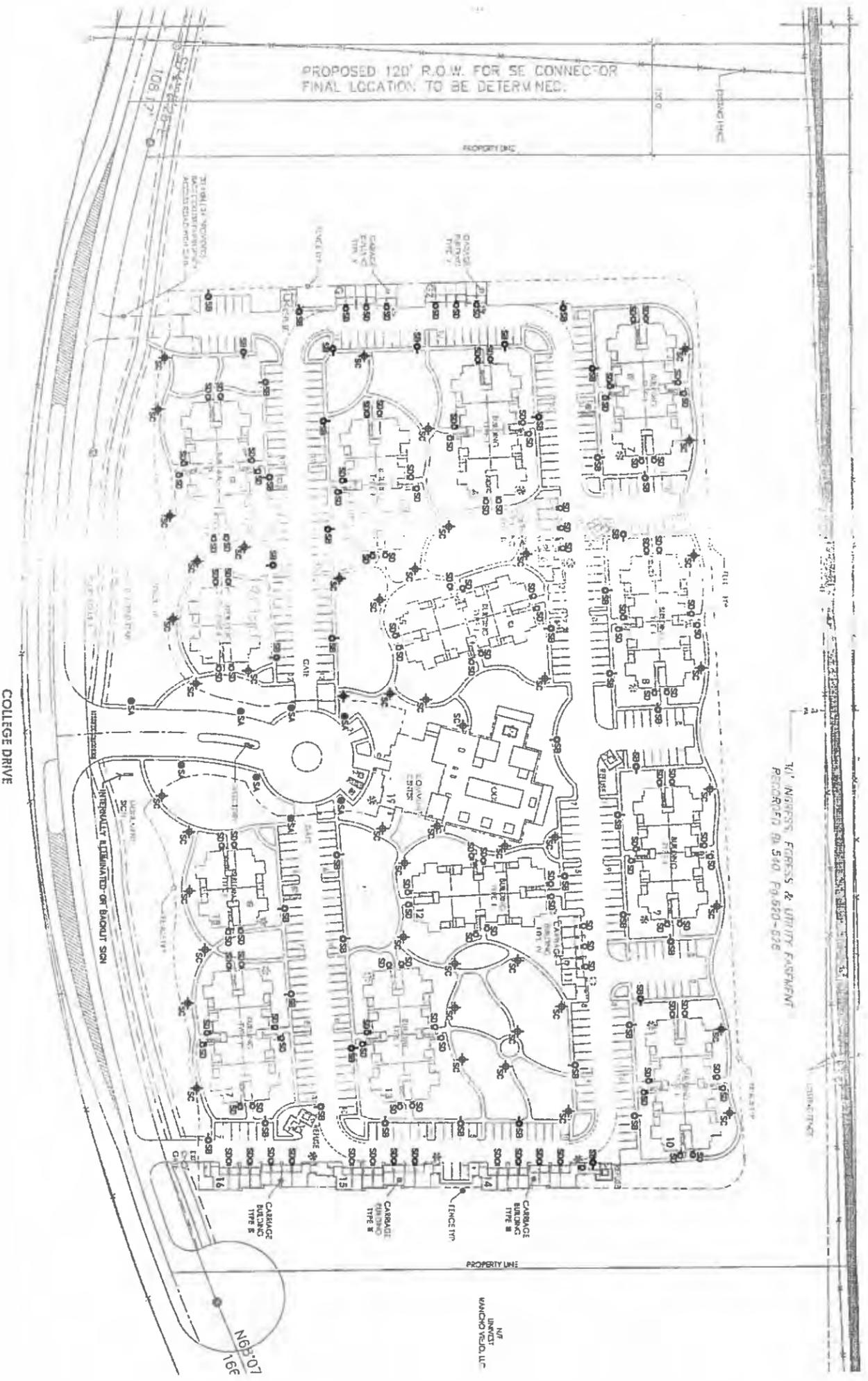
SCALE: 3/8"=1'-0"

# Elevation @ Rancho Viejo

NBD-34

LIGHTING FIXTURE SCHEDULE						
MARK	MANUFACTURER	CATALOG	LAMP NO.	VOLT	MOUNTING & HEIGHT	REMARKS
SA	PHILIPS-HADCO	CF1360-SRWA-R-12	80	LED	POLE	
SB	PHILIPS-HADCO	CF1360-SRWA-R-12	80	LED	POLE	
SC	LEDMAY	1929	1	PHILIPS 42W/8.4	POST	
SD	ARVA GROUP	812-A133	1	PHILIPS 42W/8.4	SURFACE	

LEGEND	
●	POLE MOUNTED OUT-OFF LIGHTING FIXTURE, TYPE "SA"
○	POLE MOUNTED OUT-OFF LIGHTING FIXTURE, TYPE "SB"
◆	POST MOUNTED OUT-OFF LIGHTING FIXTURE, TYPE "SC"
□	WALL MOUNTED OUT-OFF LIGHTING FIXTURE, TYPE "SD"



PRELIMINARY SITE LIGHTING PLAN



# Elevation @ Rancho Viejo

San Joaquin County, New Mexico  
 Preliminary/ Final Development Plan Submittal  
 Project No. 14-2037-00 Date 12-5-2014

**TODD & ASSOCIATES, INC.**  
 ARCHITECTURE / PLANNING  
 602.932.8200  
 www.toddsai.com

**NEB**  
 PROFESSIONAL ENGINEERING AND ARCHITECTURE  
 1118 N. 1ST AVENUE  
 SUITE 100  
 DENVER, CO 80202  
 PHONE: 303.733.1888  
 PRODUCT NO. 14-189

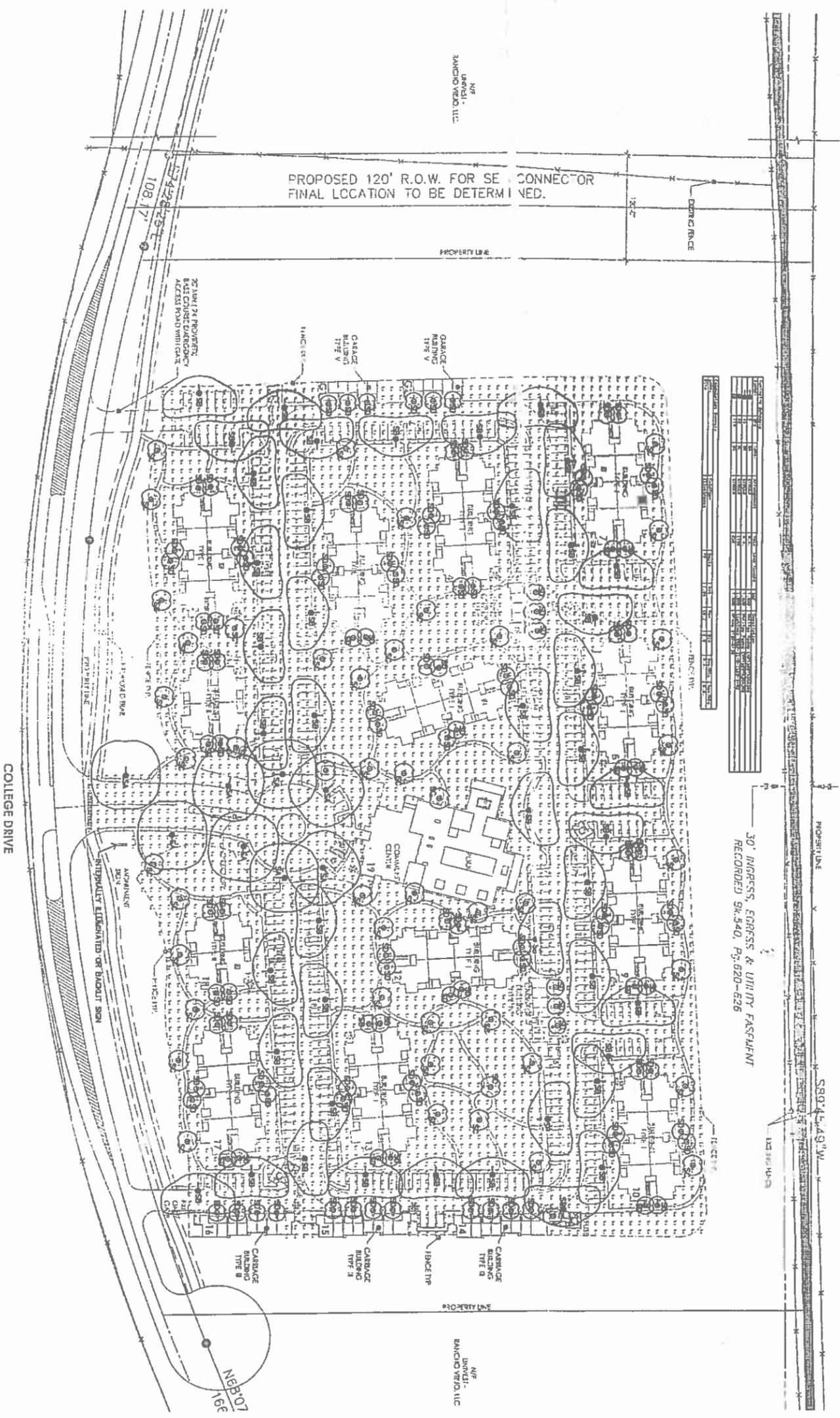


NB10-35

E1.1

NO.	DESCRIPTION	DATE	BY	CHKD.
1	ISSUED FOR PERMITTING	01/13/15		
2	REVISION			
3	REVISION			
4	REVISION			
5	REVISION			
6	REVISION			
7	REVISION			
8	REVISION			
9	REVISION			
10	REVISION			

30' INGRESS, EGRESS & UTILITY EASEMENT  
RECORDED 94-540, PG. 620-626



**SITE LIGHTING PHOTOMETRIC PLAN**

SCALE 1/8"=1'-0"



# Elevation @ Rancho Viejo

Santa Fe County, New Mexico  
Preliminary/ Final Development Plan Submittal  
Project No. 14-2037-00 Date 12-5-2014

**TODD & ASSOCIATES, INC.**  
ARCHITECTURE / PLANNING  
402.752.8200 www.toddsai.com

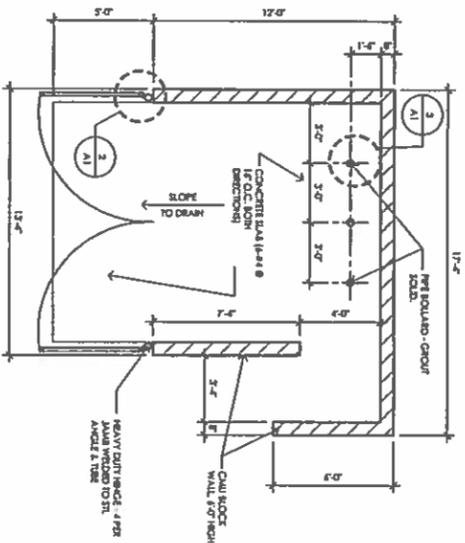
**N.B. ENGINEERING INC.**  
SITE PLAN REVIEW  
PROJECT NO. 14-189  
01/13/15



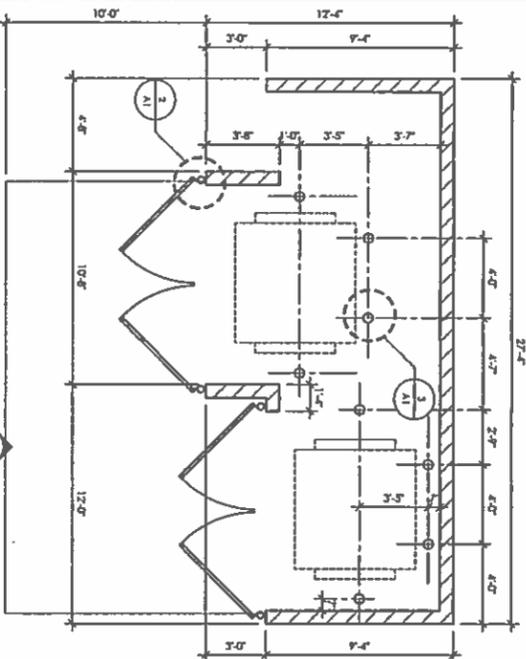
NR10-36

**E1.2**

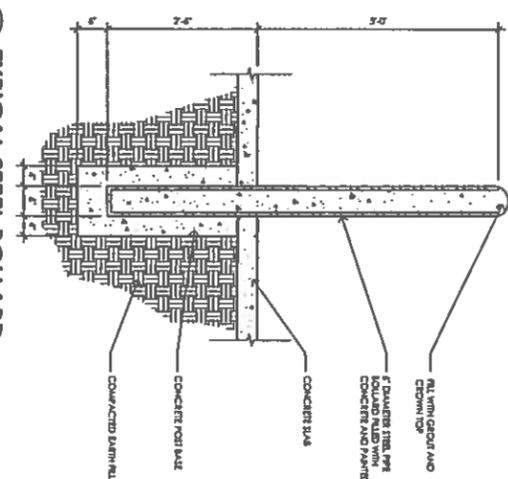




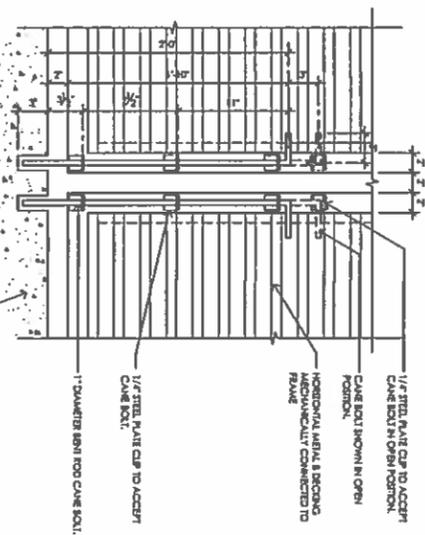
6A FLOOR PLAN



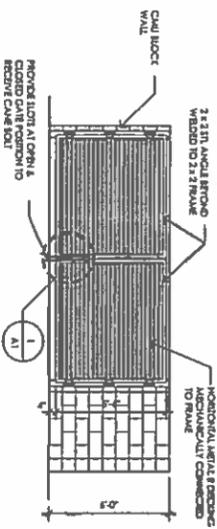
5A FLOOR PLAN



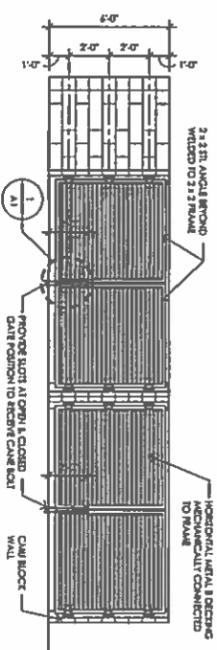
3 TYPICAL STEEL BOLARD



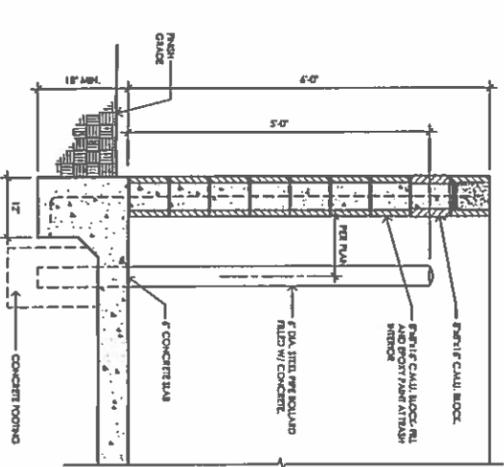
1 CANE BOLT DETAIL



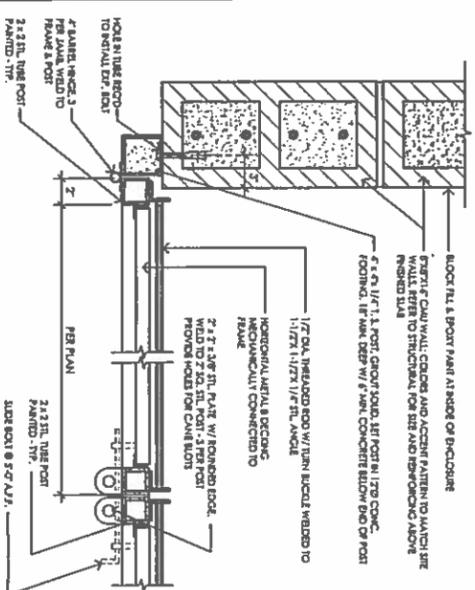
6B FRONT ELEVATION



5B FRONT ELEVATIONS



4 TRASH ENCLOSURE WALL



2 TRASH ENCLOSURE GATE DETAIL

6 TRASH ENCLOSURE PLAN (REVERSE)

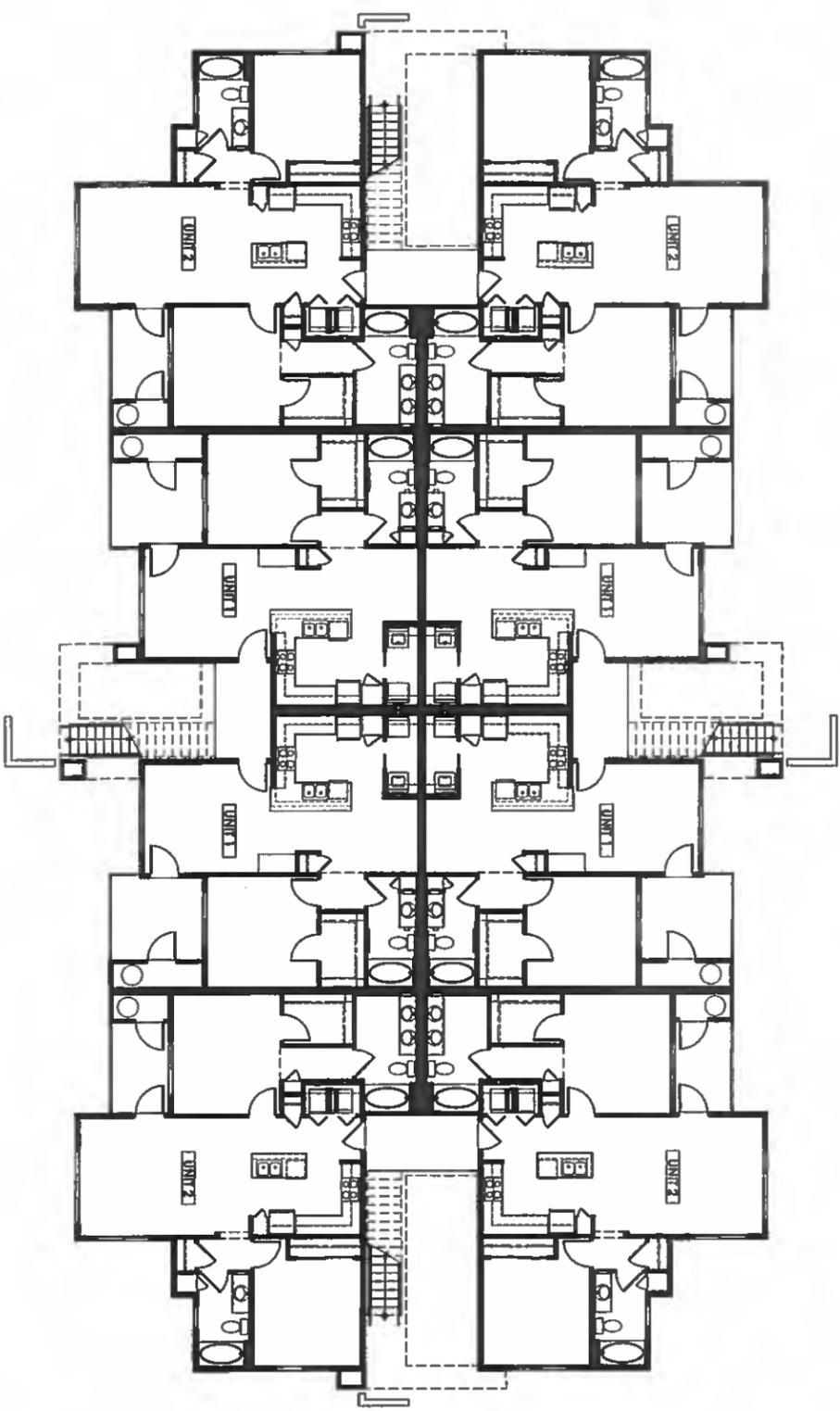
5 DOUBLE TRASH ENCLOSURE

# Elevation @ Rancho Viejo

Santa Fe County, New Mexico  
 Preliminary/ Final Development Plan Submittal  
 Project No. 14-2037-00 Date 12-5-2014



N131D-38



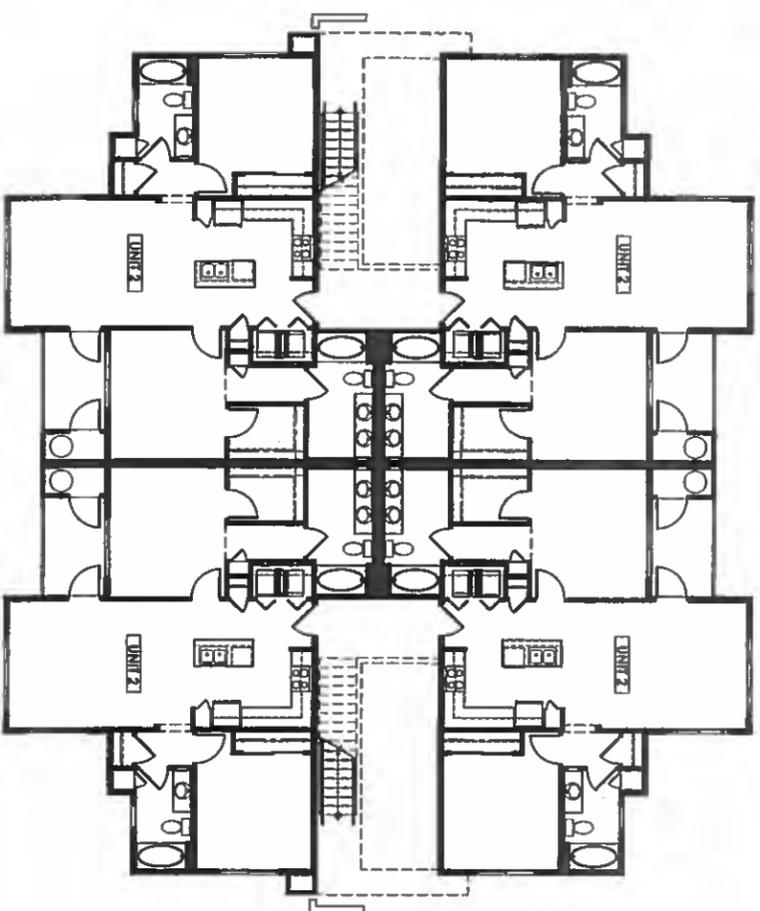
FIRST FLOOR PLAN - BUILDING TYPE I

SCALE: 1/8" = 1'-0"

Elevation @ Rancho Viejo

NRD-39





**FIRST FLOOR PLAN - BUILDING TYPE II**

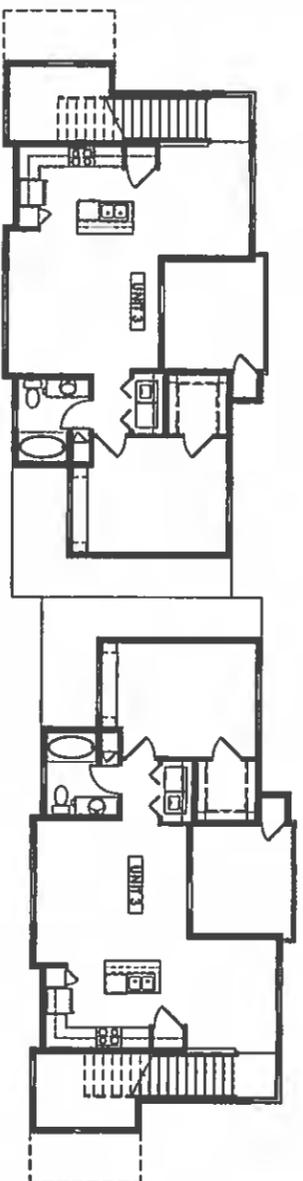


**Elevation @ Rancho Viejo**

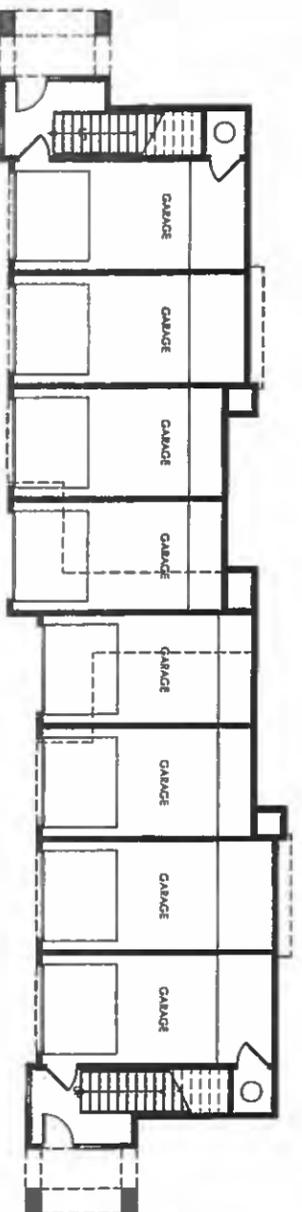
N131D-40



12.5.14



**SECOND FLOOR PLAN - BUILDING TYPE III**

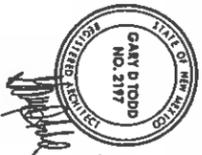


**FIRST FLOOR PLAN - BUILDING TYPE III**

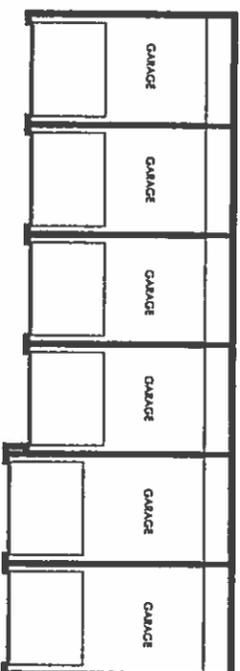


# Elevation @ Rancho Viejo

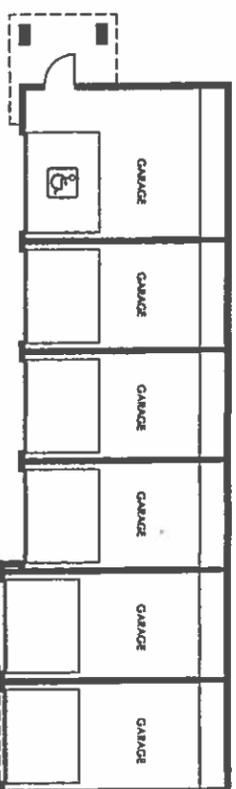
NR310-41



13514



**FIRST FLOOR PLAN - GARAGE - BUILDING TYPE V**



**FIRST FLOOR PLAN - GARAGE - BUILDING TYPE IV**

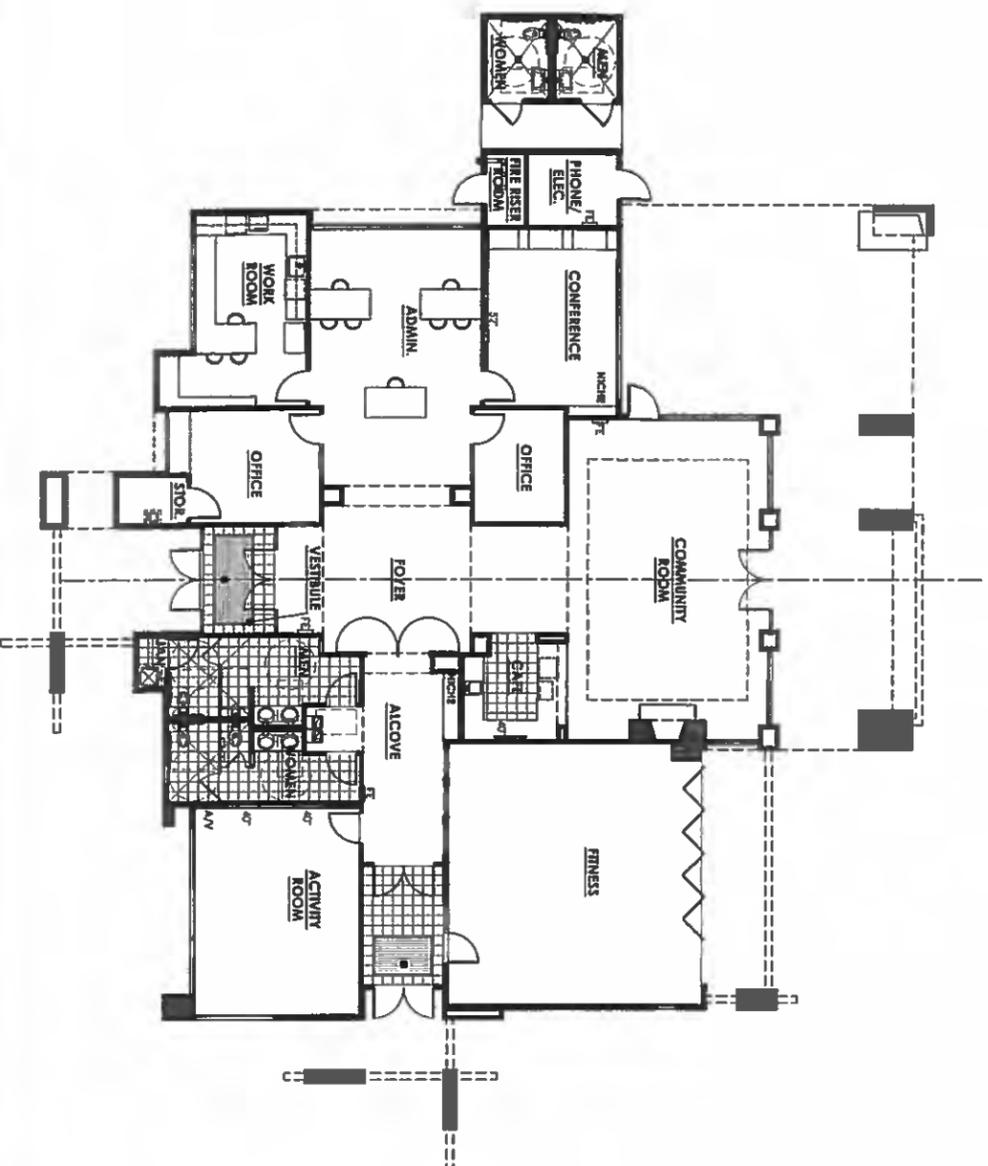


# Elevation @ Rancho Viejo



13-514

NRB10-42



**COMMUNITY CENTER PLAN**

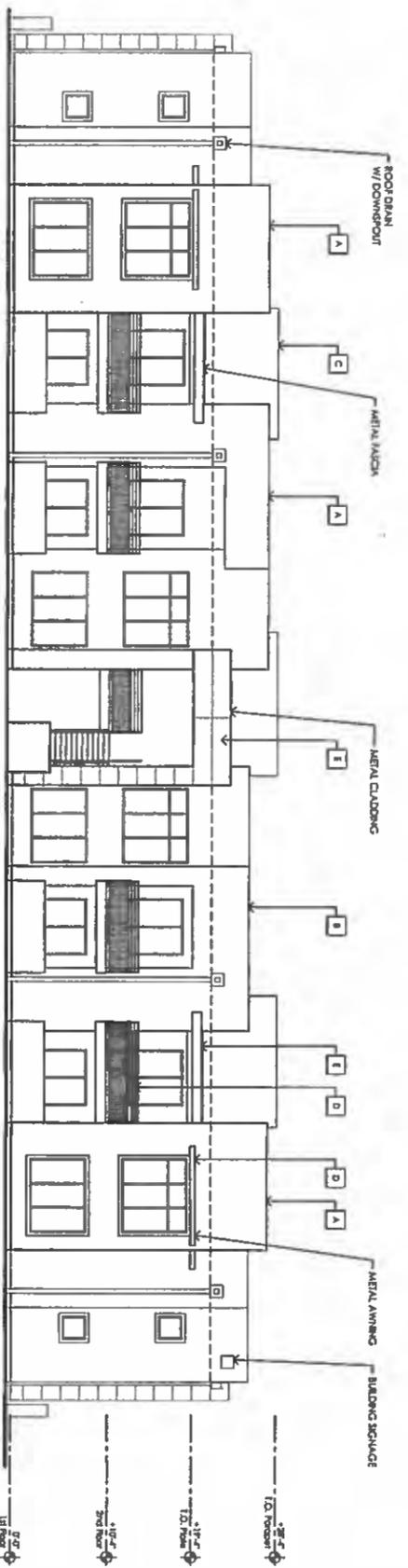


**Elevation @ Rancho Viejo**

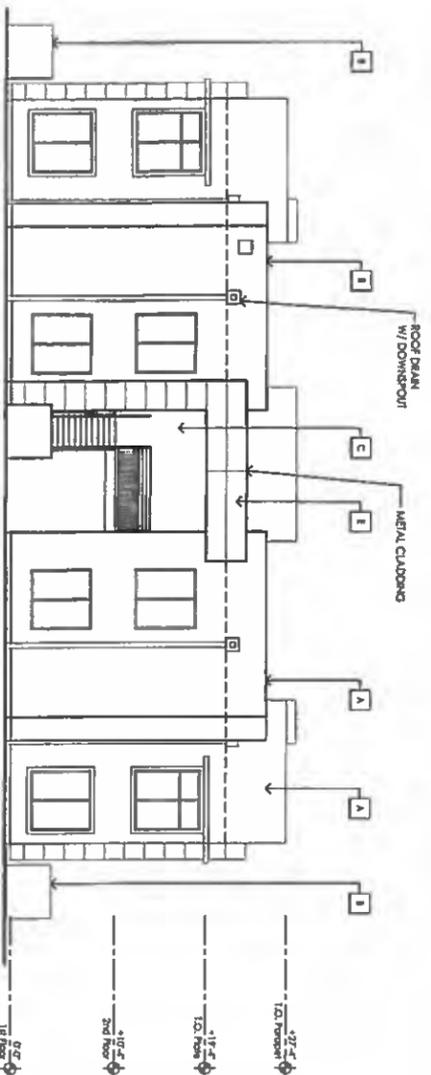
NB10-43



12-5-14



**FRONT ELEVATION**  
REAR ELEVATION SIMILAR



**RIGHT ELEVATION**  
LEFT ELEVATION SIMILAR

LOCATION	COLOR
PRIMARY STUCCO	MFG: RAZE C/C 12ND PAIGE
ACCENT 1	MFG: RAZE CIV 117N TOLK TALE
ACCENT 2	MFG: ROZE CL 320A
ACCENT 3	MFG: RAZE WHALE BACK
METAL AWNING & AWNING	MFG: ROZE CL 247N RIDGE
METAL CLADDING	MFG: RHP ROLVAS ARIZONA RUST
METAL CLADDING	MFG: ROLVAS (P-10) SILVER METALLIC

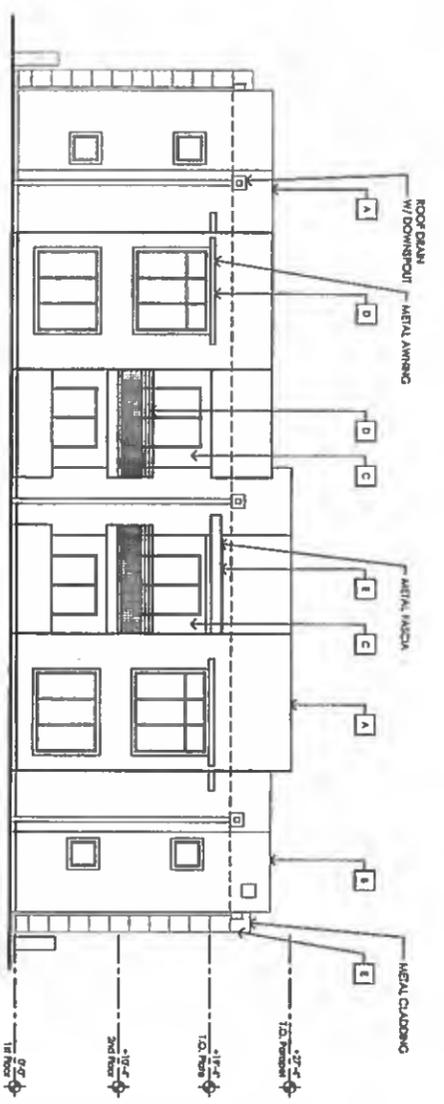
**CONCEPTUAL BUILDING ELEVATIONS - BUILDING TYPE I**



**Elevation @ Rancho Viejo**

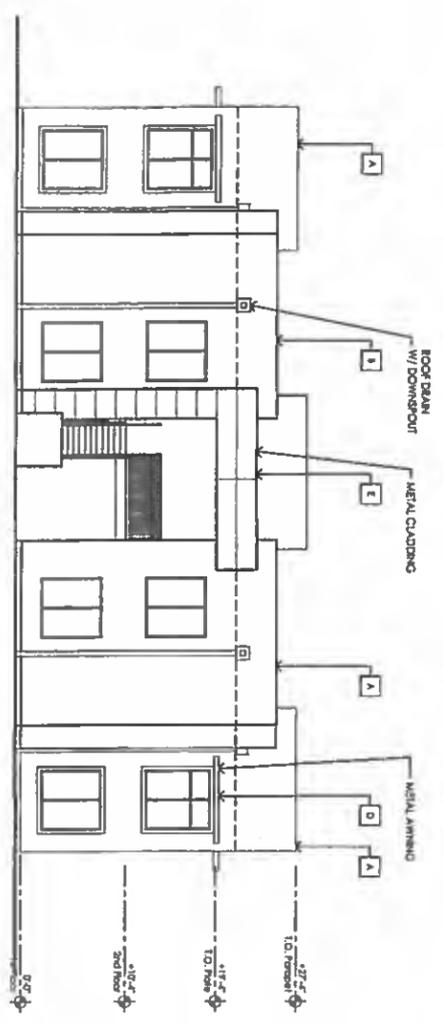
N1310-44





**FRONT ELEVATION**  
REAR ELEVATION SIMILAR

1/8"=1'-0"



**RIGHT ELEVATION**  
LEFT ELEVATION SIMILAR

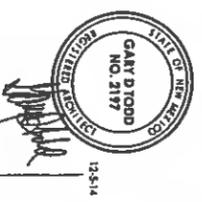
1/8"=1'-0"

LOCATION	COLOR
PRIMARY	MGR. PAZE
A STICCO	CLC 1280 7RACE
B ACCO 1	MGR. PAZE
C ACCO 2	CIV 117N TOLK TALE
D ACCO 3	MGR. PAZE
E ACCO 4	MGR. PAZE
F ACCO 5	MGR. PAZE
G ACCO 6	MGR. PAZE
H ACCO 7	MGR. PAZE
I ACCO 8	MGR. PAZE
J ACCO 9	MGR. PAZE
K ACCO 10	MGR. PAZE
L ACCO 11	MGR. PAZE
M ACCO 12	MGR. PAZE
N ACCO 13	MGR. PAZE
O ACCO 14	MGR. PAZE
P ACCO 15	MGR. PAZE
Q ACCO 16	MGR. PAZE
R ACCO 17	MGR. PAZE
S ACCO 18	MGR. PAZE
T ACCO 19	MGR. PAZE
U ACCO 20	MGR. PAZE
V ACCO 21	MGR. PAZE
W ACCO 22	MGR. PAZE
X ACCO 23	MGR. PAZE
Y ACCO 24	MGR. PAZE
Z ACCO 25	MGR. PAZE
AA ACCO 26	MGR. PAZE
AB ACCO 27	MGR. PAZE
AC ACCO 28	MGR. PAZE
AD ACCO 29	MGR. PAZE
AE ACCO 30	MGR. PAZE
AF ACCO 31	MGR. PAZE
AG ACCO 32	MGR. PAZE
AH ACCO 33	MGR. PAZE
AI ACCO 34	MGR. PAZE
AJ ACCO 35	MGR. PAZE
AK ACCO 36	MGR. PAZE
AL ACCO 37	MGR. PAZE
AM ACCO 38	MGR. PAZE
AN ACCO 39	MGR. PAZE
AO ACCO 40	MGR. PAZE
AP ACCO 41	MGR. PAZE
AQ ACCO 42	MGR. PAZE
AR ACCO 43	MGR. PAZE
AS ACCO 44	MGR. PAZE
AT ACCO 45	MGR. PAZE
AU ACCO 46	MGR. PAZE
AV ACCO 47	MGR. PAZE
AW ACCO 48	MGR. PAZE
AX ACCO 49	MGR. PAZE
AY ACCO 50	MGR. PAZE
AZ ACCO 51	MGR. PAZE
BA ACCO 52	MGR. PAZE
BB ACCO 53	MGR. PAZE
BC ACCO 54	MGR. PAZE
BD ACCO 55	MGR. PAZE
BE ACCO 56	MGR. PAZE
BF ACCO 57	MGR. PAZE
BG ACCO 58	MGR. PAZE
BH ACCO 59	MGR. PAZE
BI ACCO 60	MGR. PAZE
BJ ACCO 61	MGR. PAZE
BK ACCO 62	MGR. PAZE
BL ACCO 63	MGR. PAZE
BM ACCO 64	MGR. PAZE
BN ACCO 65	MGR. PAZE
BO ACCO 66	MGR. PAZE
BP ACCO 67	MGR. PAZE
BQ ACCO 68	MGR. PAZE
BR ACCO 69	MGR. PAZE
BS ACCO 70	MGR. PAZE
BT ACCO 71	MGR. PAZE
BU ACCO 72	MGR. PAZE
BV ACCO 73	MGR. PAZE
BW ACCO 74	MGR. PAZE
BX ACCO 75	MGR. PAZE
BY ACCO 76	MGR. PAZE
BZ ACCO 77	MGR. PAZE
CA ACCO 78	MGR. PAZE
CB ACCO 79	MGR. PAZE
CC ACCO 80	MGR. PAZE
CD ACCO 81	MGR. PAZE
CE ACCO 82	MGR. PAZE
CF ACCO 83	MGR. PAZE
CG ACCO 84	MGR. PAZE
CH ACCO 85	MGR. PAZE
CI ACCO 86	MGR. PAZE
CJ ACCO 87	MGR. PAZE
CK ACCO 88	MGR. PAZE
CL ACCO 89	MGR. PAZE
CM ACCO 90	MGR. PAZE
CN ACCO 91	MGR. PAZE
CO ACCO 92	MGR. PAZE
CP ACCO 93	MGR. PAZE
CQ ACCO 94	MGR. PAZE
CR ACCO 95	MGR. PAZE
CS ACCO 96	MGR. PAZE
CT ACCO 97	MGR. PAZE
CU ACCO 98	MGR. PAZE
CV ACCO 99	MGR. PAZE
CA ACCO 100	MGR. PAZE

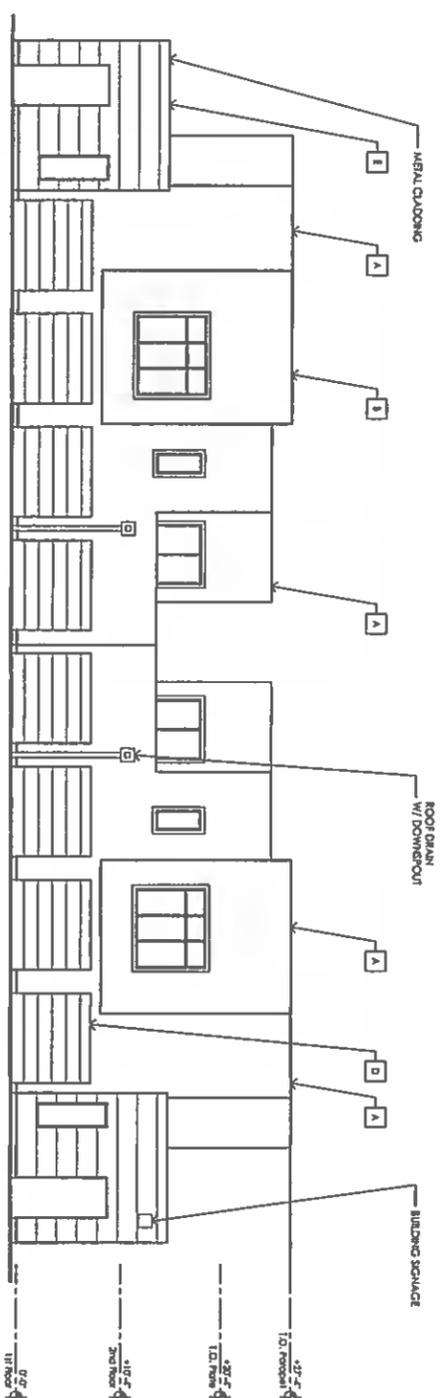
**CONCEPTUAL BUILDING ELEVATIONS - BUILDING TYPE II**



**Elevation @ Rancho Viejo**



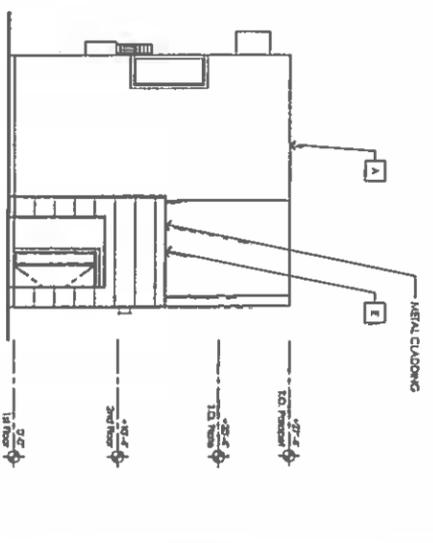
N1310-45



FRONT ELEVATION

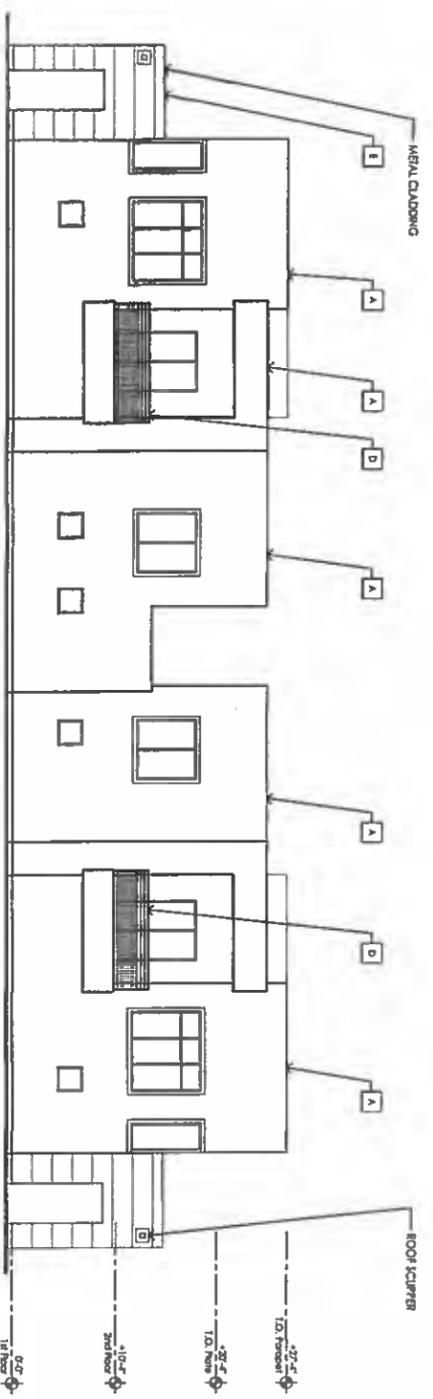
1/8"=1'-0"

LOCATION	COLOR
A PRIMARY STUCCO	MGR: FRAZE C.C. 1270 TRAF
B ACCENT 1	MGR: FRAZE C.V. 1177N FOLK PALE
C ACCENT 2	MGR: FRAZE C.L. 320LA
D COLOR 1 METAL BALING & AWNING	MGR: FRAZE WHALE BACK C.L. 2447N
E COLOR 3 METAL CLADDING	MGR: B&B POLYFAS WABONA RUST
F CLADDING	MGR: ROLIFAS (R-10) SILVER METALLIC



LEFT ELEVATION  
RIGHT ELEVATION SIMILAR

1/8"=1'-0"



REAR ELEVATION

1/8"=1'-0"

CONCEPTUAL BUILDING ELEVATIONS - BUILDING TYPE III

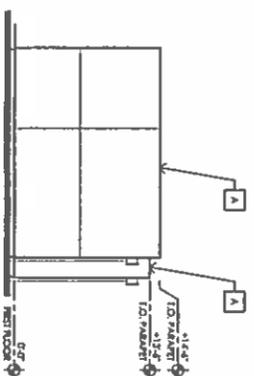


Elevation @ Rancho Viejo

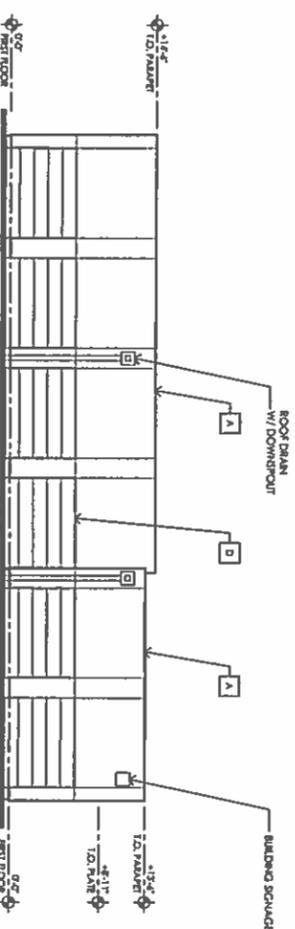


NRB-D-412

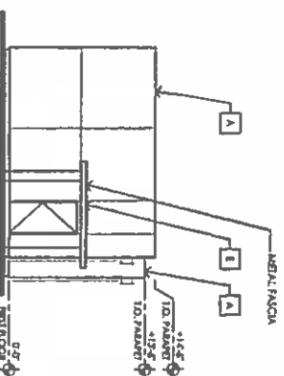
ITEM	LOCATION	COLOR
1	BRICKARY	MFGC-FLAKE
2	A	CLC 1290-7A3F
3	B	MFGC-FLAKE
4	B	CLV 1177N-TOLK-TALF
5	C	TARGET-ROUSE
6	C	CL 3204
7	D	MFGC-FLAKE
8	D	MFGC-FLAKE
9	E	MFGC-RIP-ROULE-8
10	E	MFGC-ROULE-8
11	F	MFGC-ROULE-8
12	F	SILVER-METALLIC



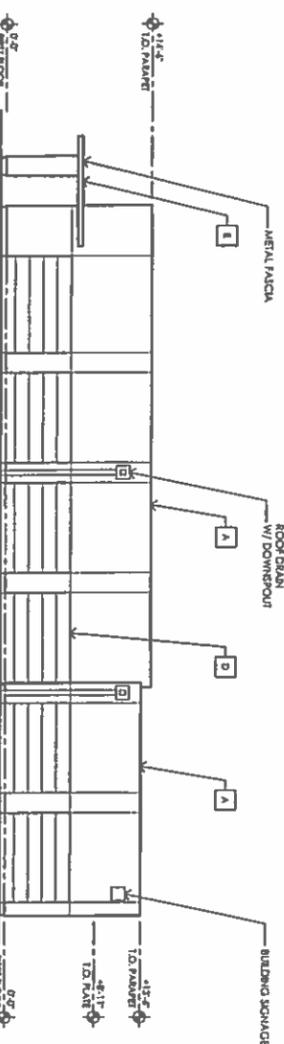
**LEFT ELEVATION**  
GARAGE BUILDING V - RIGHT ELEVATION SIMILAR  
1/8"=1'-0"



**FRONT ELEVATION**  
GARAGE BUILDING V  
1/8"=1'-0"



**LEFT ELEVATION**  
GARAGE BUILDING IV - RIGHT ELEVATION SIMILAR  
1/8"=1'-0"



**FRONT ELEVATION**  
GARAGE BUILDING IV  
1/8"=1'-0"

**CONCEPTUAL BUILDING ELEVATIONS - BUILDING TYPE IV & V**

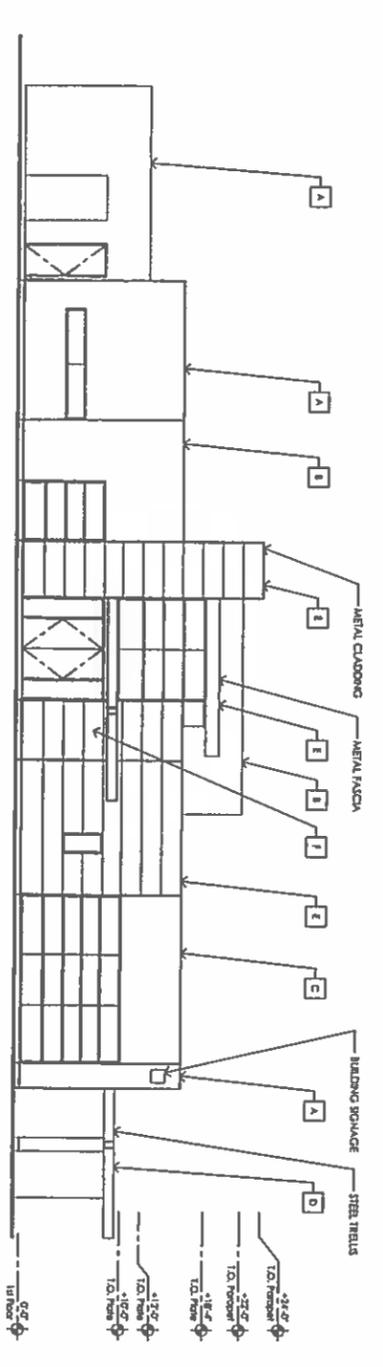


NBID-477

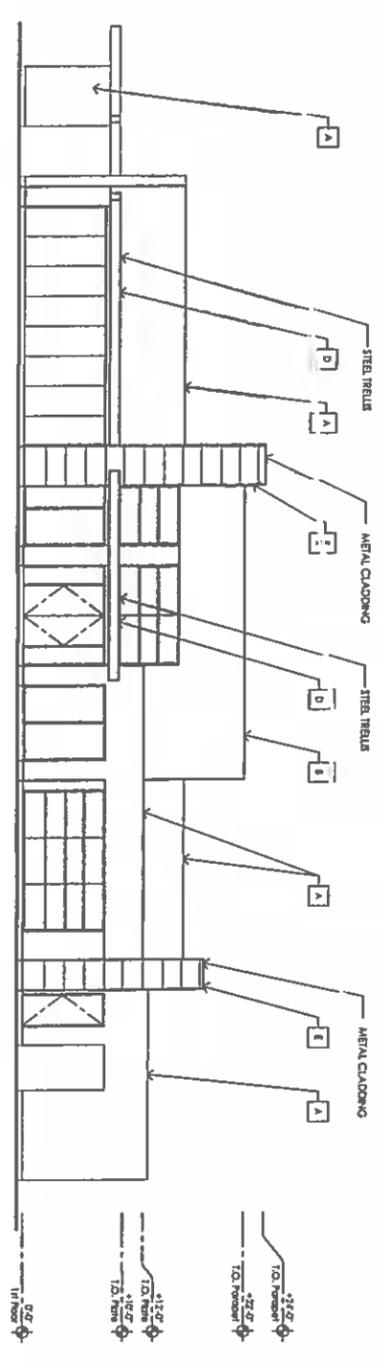
**Elevation @ Rancho Viejo**

Santa Fe County, New Mexico  
Preliminary/ Final Development Plan Submittal  
Project No. 14-2037-00 Date 12-5-2014

FIELD	LOCATION	COLOR
A	PRIMARY FINISH	MGR: RAISE C/C 1290 7/3/08
B	ACCENT 1	MGR: RAISE C/V 1177N TOLK TALE
C	ACCENT 2	MGR: RAISE C/L 329A
D	ACCENT 3	MGR: RAISE C/L 3447N
E	ACCENT 4	MGR: RAISE C/L 3447N
F	ACCENT 5	MGR: RAISE C/L 3447N
G	ACCENT 6	MGR: RAISE C/L 3447N
H	ACCENT 7	MGR: RAISE C/L 3447N
I	ACCENT 8	MGR: RAISE C/L 3447N
J	ACCENT 9	MGR: RAISE C/L 3447N
K	ACCENT 10	MGR: RAISE C/L 3447N
L	ACCENT 11	MGR: RAISE C/L 3447N
M	ACCENT 12	MGR: RAISE C/L 3447N
N	ACCENT 13	MGR: RAISE C/L 3447N
O	ACCENT 14	MGR: RAISE C/L 3447N
P	ACCENT 15	MGR: RAISE C/L 3447N
Q	ACCENT 16	MGR: RAISE C/L 3447N
R	ACCENT 17	MGR: RAISE C/L 3447N
S	ACCENT 18	MGR: RAISE C/L 3447N
T	ACCENT 19	MGR: RAISE C/L 3447N
U	ACCENT 20	MGR: RAISE C/L 3447N
V	ACCENT 21	MGR: RAISE C/L 3447N
W	ACCENT 22	MGR: RAISE C/L 3447N
X	ACCENT 23	MGR: RAISE C/L 3447N
Y	ACCENT 24	MGR: RAISE C/L 3447N
Z	ACCENT 25	MGR: RAISE C/L 3447N



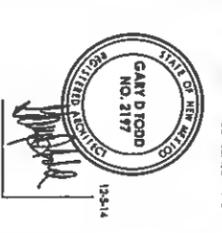
FRONT ELEVATION



REAR ELEVATION

CONCEPTUAL BUILDING ELEVATIONS - COMMUNITY CENTER

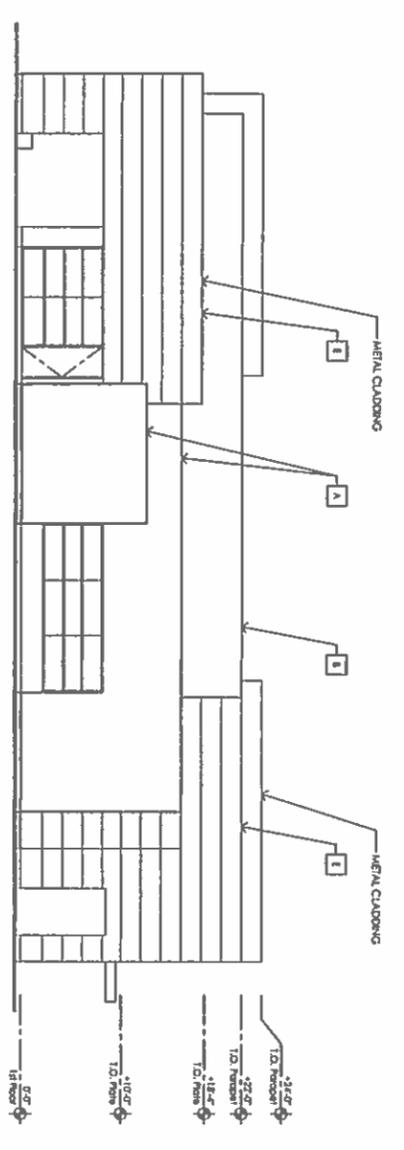
Elevation @ Rancho Viejo



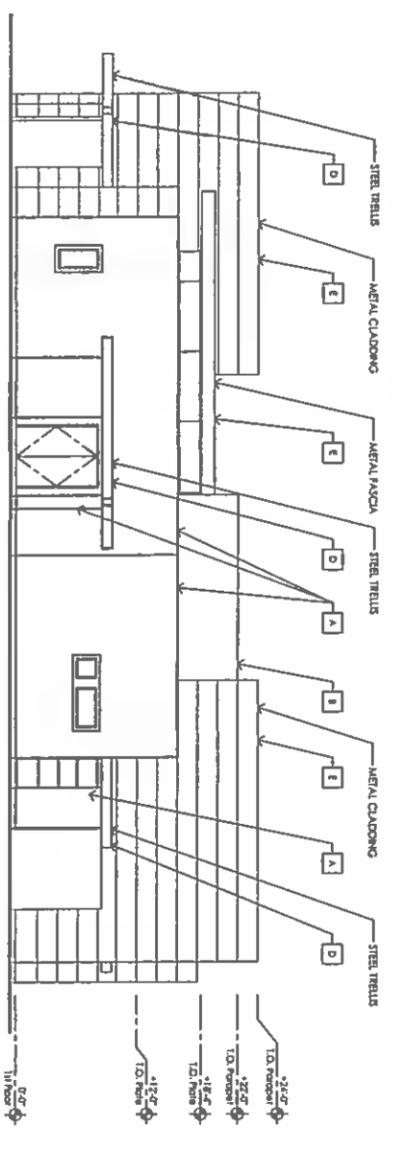
SCALE 1/8" = 1'-0"

N1310-48

SCHEDULE		LOCATION	COLOR
A	PRIMARY STUCCO	MFG: RAJE CLC 122ND PAGE	
B	ACCENT STUCCO 1	MFG: RAJE CIV 117N FOLK TALE	
C	ACCENT STUCCO 2	MFG: RENIE CL 300A	
D	METAL PAINTING & AWNING	MFG: RENIE CL 247N	
E	COLOR 3 METAL CLADDING	MFG: RMP ROLUAS *ANTONNA RST*	
F	COLOR 2 METAL CLADDING	MFG: ROLUAS (P-10) SILVER METALIC	



LEFT ELEVATION  
1/8"=1'-0"



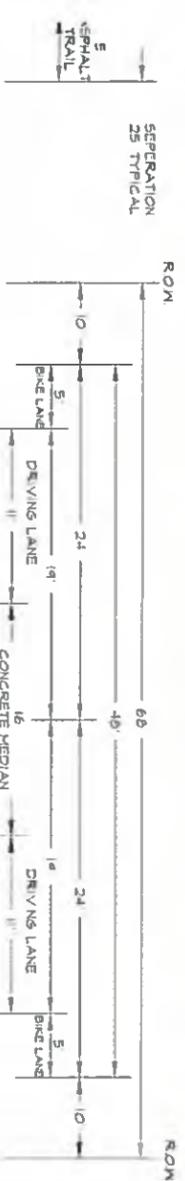
RIGHT ELEVATION  
1/8"=1'-0"

**CONCEPTUAL BUILDING ELEVATIONS - COMMUNITY CENTER**

**Elevation @ Rancho Viejo**

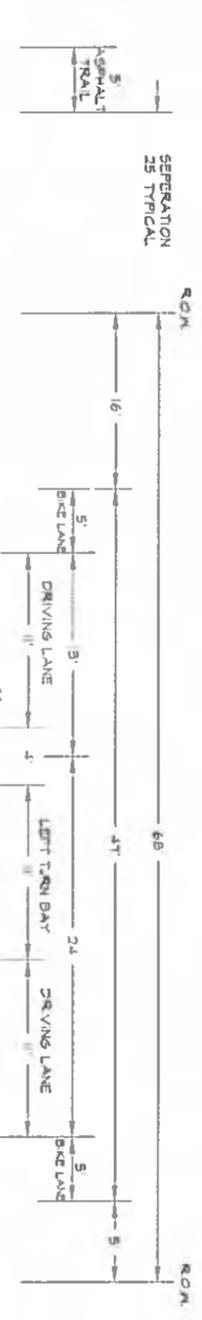


NR310-49



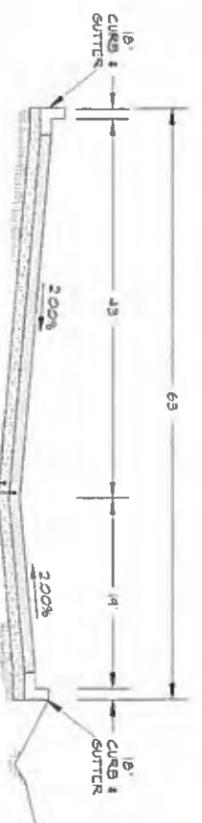
COLLEGE DRIVE  
NTS  
TYPICAL SECTION OF COLLEGE DRIVE  
STA. 32+80.53

- 1. 4" SPV ASPHALT (2 LIFTS)
- 2. 5" CRUSHED GRAVEL BASE COURSE (95% MAX. DENSITY)
- 3. 6" COMPACTED SUBGRADE PREP (95% MAX. DENSITY)



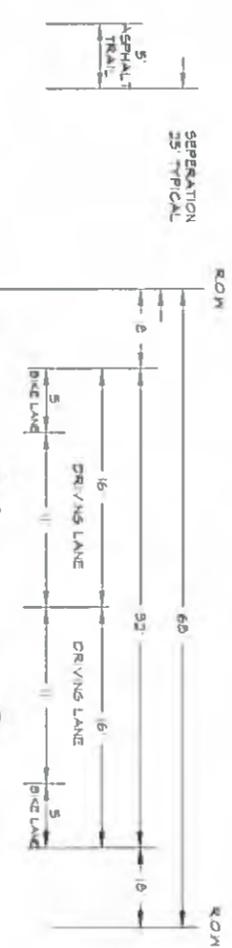
COLLEGE DRIVE  
NTS  
TYPICAL SECTION OF COLLEGE DRIVE  
STA. 31+80.53

- 1. 4" SPV ASPHALT (2 LIFTS)
- 2. 5" CRUSHED GRAVEL BASE COURSE (95% MAX. DENSITY)
- 3. 6" COMPACTED SUBGRADE PREP (95% MAX. DENSITY)



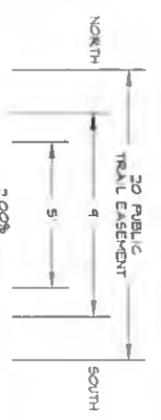
TYPICAL PARKING LOT SECTION  
NTS

- 1. 4" SPV ASPHALT (2 LIFTS)
- 2. 5" CRUSHED GRAVEL BASE COURSE (95% MAX. DENSITY)
- 3. 6" COMPACTED SUBGRADE PREP (95% MAX. DENSITY)



NEW COLLEGE DRIVE  
NTS  
TYPICAL SECTION OF COLLEGE DRIVE  
STA. 17+80.53 TO 44+66.34  
BURNT WATER ROAD TO EAST END OF ROAD

- 1. 4" SPV ASPHALT (2 LIFTS)
- 2. 5" CRUSHED GRAVEL BASE COURSE (95% MAX. DENSITY)
- 3. 6" COMPACTED SUBGRADE PREP (95% MAX. DENSITY)



TRAIL SECTION  
NTS

- 1. 2" SPV ASPHALT BASE COURSE
- 2. 4" COMPACTED SUBGRADE PREP

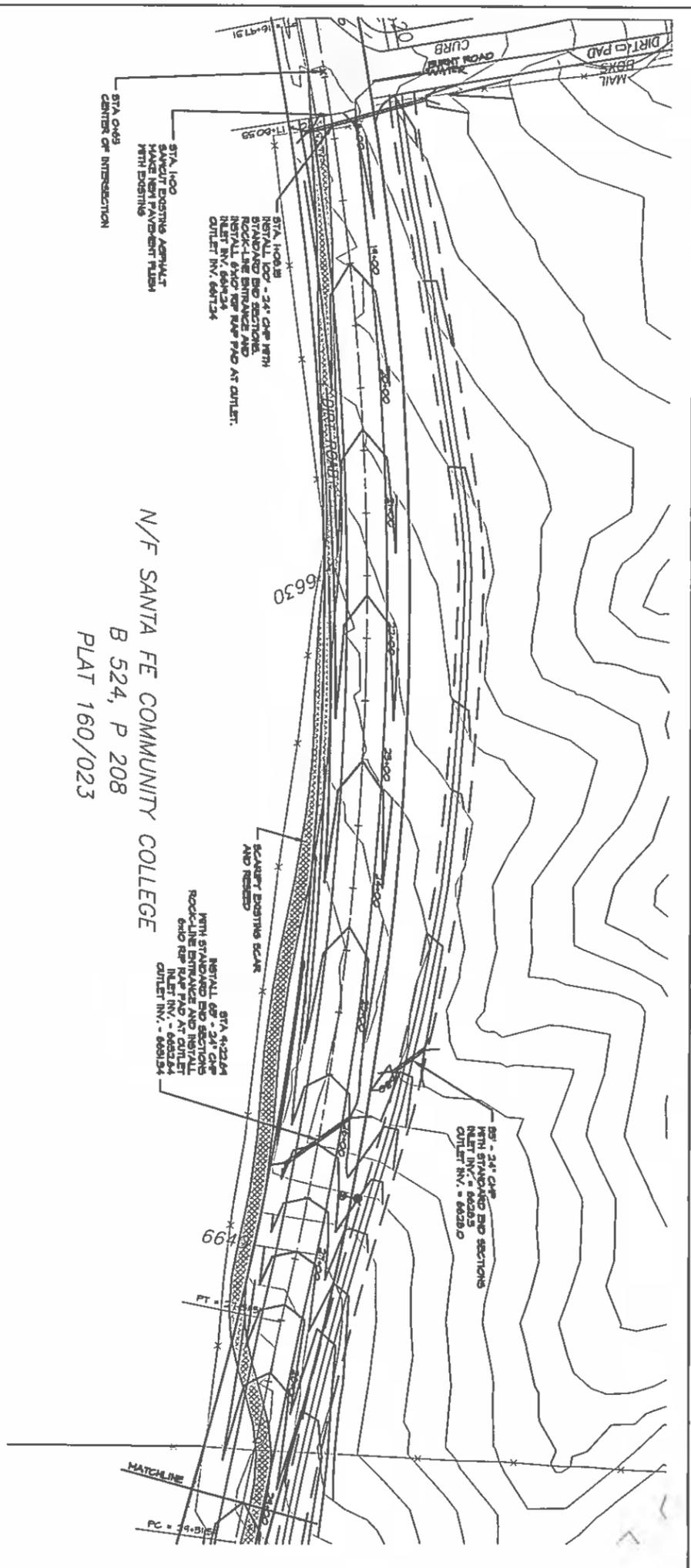
WBID-5D

DESIGN ENGINEER

1811 Laurel Street, Suite 2, South Fx, New Haven  
(203) 794-1951

ELEVATION  
FINAL DEVELOPMENT PLAN

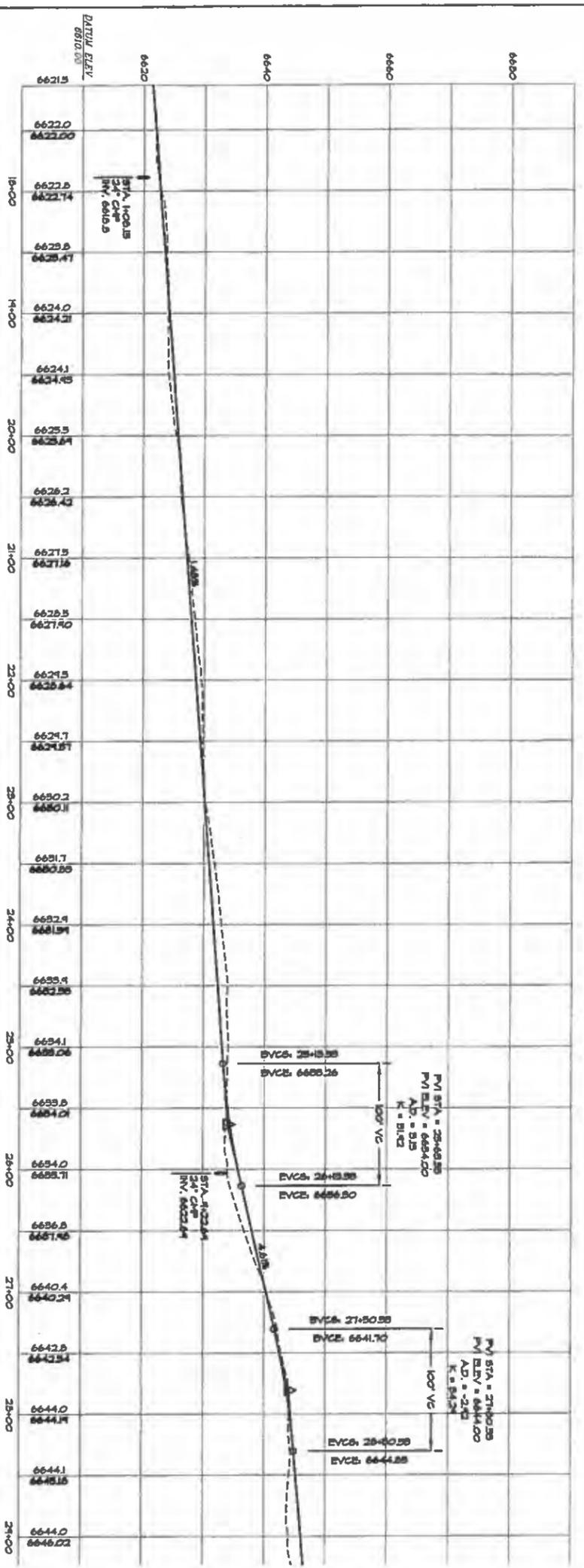
ROADWAY PLAN & TYPICAL SECTIONS



N/F SANTA FE COMMUNITY COLLEGE  
 B 524, P 208  
 PLAT 160/023

SCALE:  
 HORIZONTAL: 1" = 50'  
 VERTICAL: 1" = 10'

1. ALL CULVERTS SHALL HAVE DELINEATORS AT ALL INLETS AND OUTLETS.



WB10-51



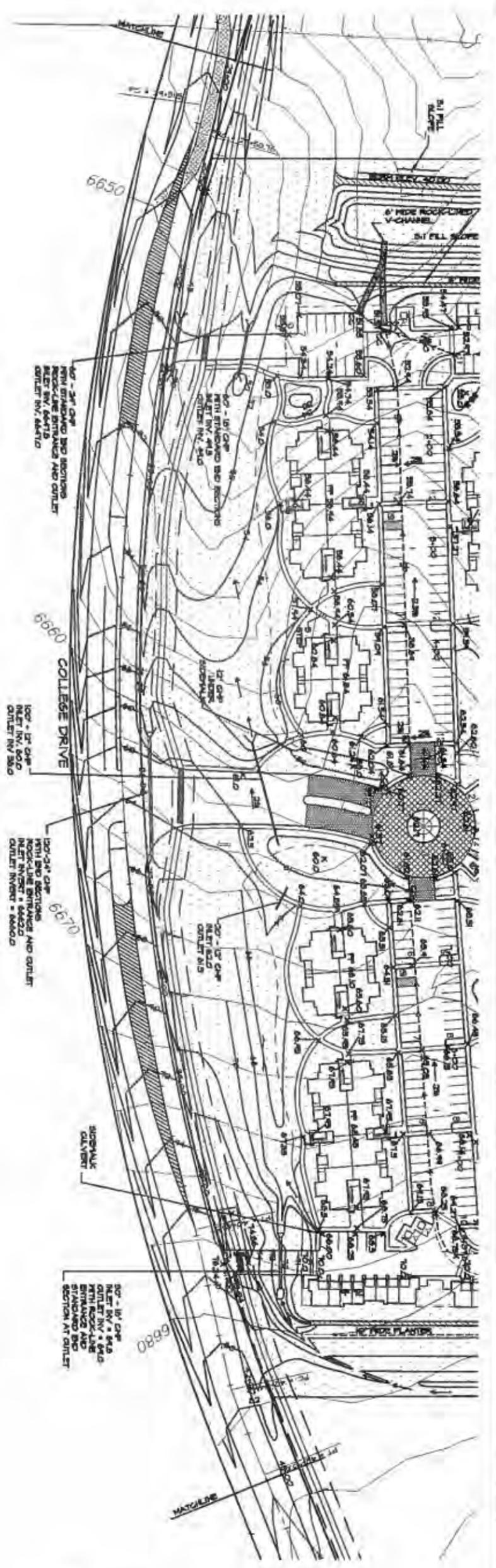
**DESIGN ENGINEER**

**ELEVATION FINAL DEVELOPMENT PLAN**

**COLLEGE DRIVE PLAN & PROFILE**

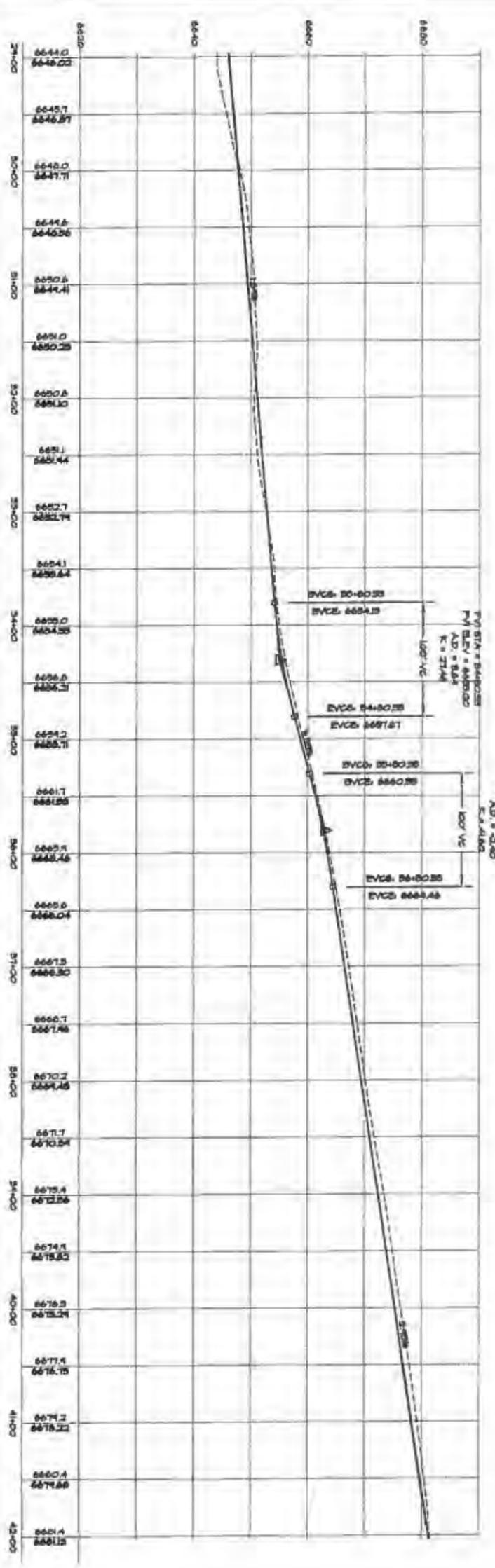
DATE: 01/13/2018

SHEET NO. C-2



1. ALL CULVERTS SHALL HAVE DELINEATORS AT ALL INLETS AND OUTLETS.

SCALE:  
HORIZONTAL, 1" = 30'  
VERTICAL, 1" = 10'



**DESIGN ENGINEER**

**NIRD-52**

**ELEVATION**

**FINAL DEVELOPMENT PLAN**

**COLLEGE DRIVE PLAN & PROFILE**

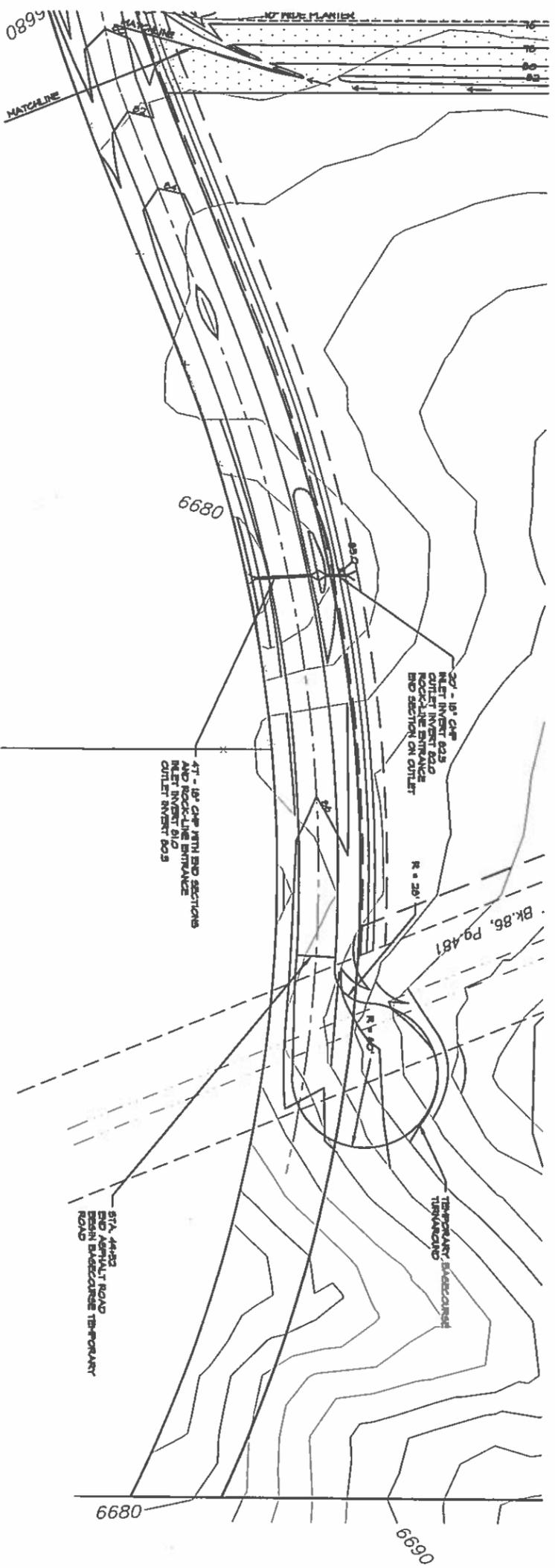
DATE: 01/18/2019

SCALE: 1" = 30'

PROJECT NO: 01/18/2019

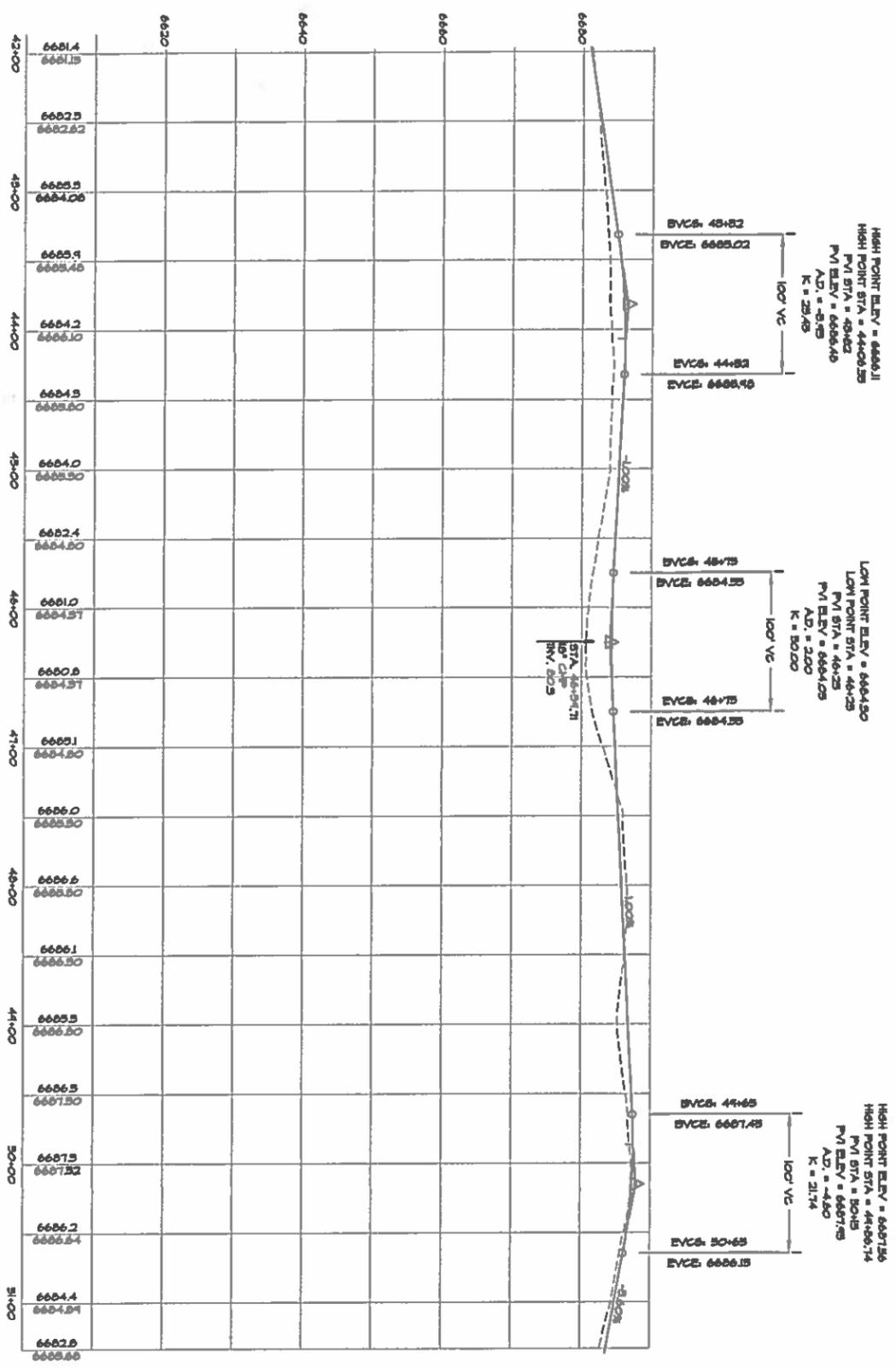
43





SCALE:  
HORIZONTAL: 1" = 50'  
VERTICAL: 1" = 10'

1. ALL CULVERTS SHALL HAVE DELINEATORS AT ALL INLETS AND OUTLETS.

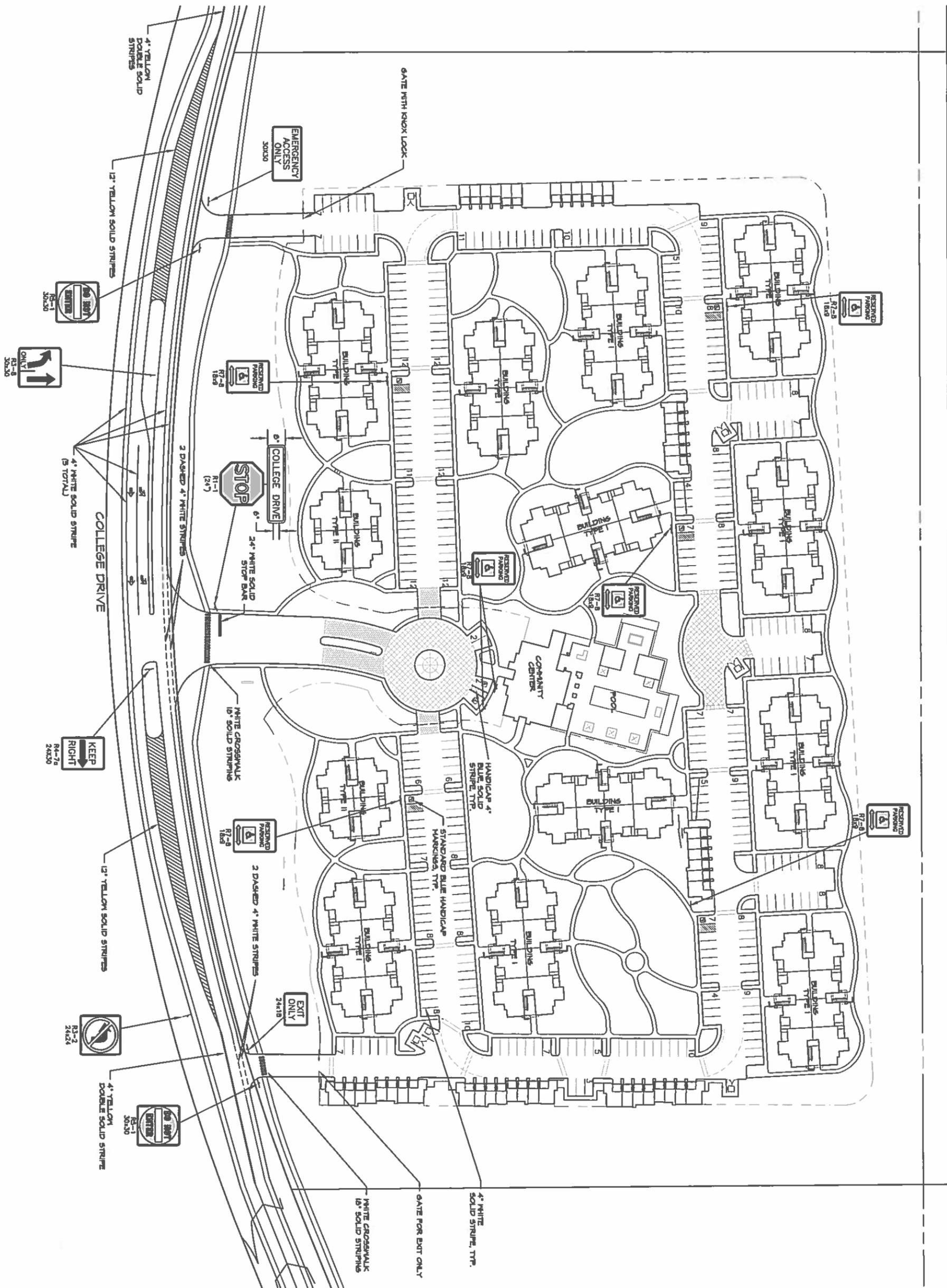


NBD-53  
DESIGN ENGINEER

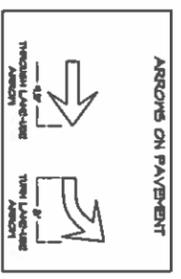
101 Lakes Drive, Suite G, Union, NJ, 07088  
908-681-9999

ELEVATION  
FINAL DEVELOPMENT PLAN  
COLLEGE DRIVE PLAN & PROFILE

SCALE	DATE
1" = 50'	01/13/2015
DESIGN BY / APPROVED BY	SHEET NO.
	41



1. CONTRACTOR SHALL PREPARE TRAFFIC CONTROL PLAN. TRAFFIC CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY SANTA FE COUNTY PUBLIC WORKS DIRECTOR BEFORE CONSTRUCTION PERMIT IS ISSUED.
2. STRIPING AND TRAFFIC SIGNAGE PLAN SHALL FOLLOW THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. ALL PAVEMENT MARKINGS SHALL BE APPROVED BY SANTA FE COUNTY PUBLIC WORKS DIRECTOR AND INSTALLED BY CONTRACTOR.
3. ALL STRIPES AND PAVEMENT MARKERS ON COLLEGE DRIVE AND RICHARDS AVENUE WILL BE A MINIMUM OF 550 MIL THERMOPLASTIC. CURB MARKINGS SHALL BE PAINT.
4. CURBS SHALL BE PAINTED RED 10-FEET EITHER SIDE OF FIRE HYDRANT.
5. TRAFFIC SIGNAGE SHALL USE TYPE IX PRISMATIC SHEETING ON ALL SIGN FACES.
6. ALL PANEL SIGNS MUST BE INSTALLED ON TOLPAR POST ASSEMBLIES USING APPROPRIATE RIVET ANCHOR HARDWARE.
7. ALL ARROWS, LEGENDS, MEDIAN WASH MARKS, CROSSWALKS AND STOP BARS SHALL BE 300 LBS BY 3M. NO SUBSTITUTIONS SHALL BE PERMITTED.
8. CONTRACTOR SHALL INSTALL DETECTABLE INSETS WITH MANUAL HARDWARE AT ALL PEDESTRIAN CROSSINGS.



NORTH

NB10-54

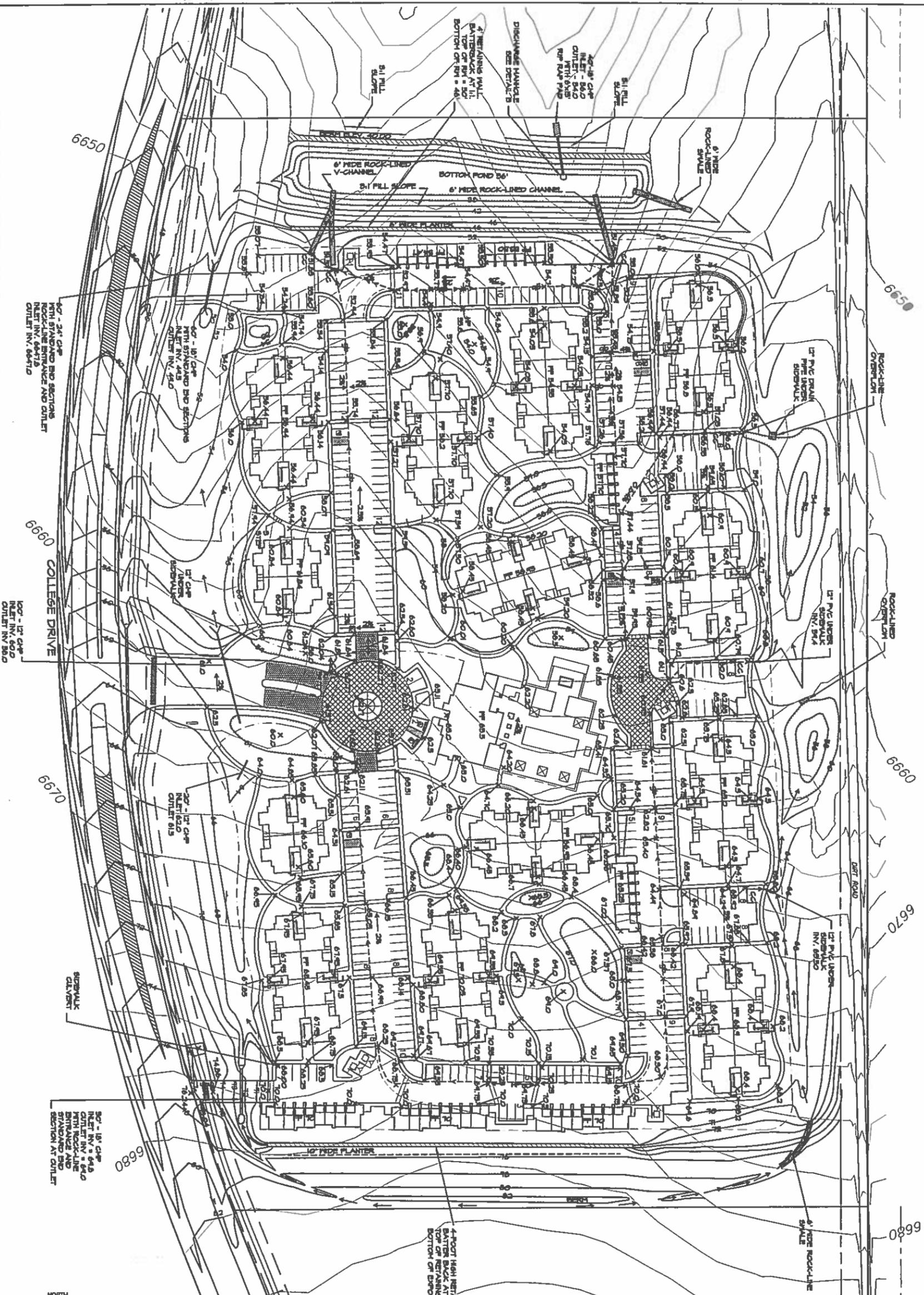
DESIGN ENGINEER

1431 Luna Street, Santa Fe, New Mexico  
505 981 1951

ELEVATION  
FINAL DEVELOPMENT PLAN

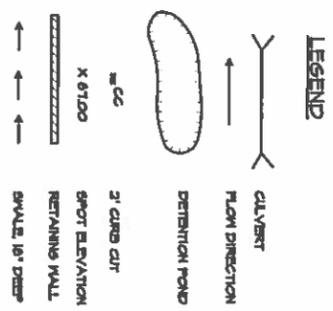
TRAFFIC SIGNAGE PLAN

SCALE: DRAW NO: DATE:



TOTAL POND VOLUME REQUIRED = 79,907 CU. FT.  
 TOTAL POND PROVIDED = 85,862 CU. FT.

- TERRAIN MANAGEMENT CONCERNS**
1. ALL PONDING SHALL BE A MINIMUM OF 5- FEET FROM BUILDINGS.
  2. HAZARDOUS CUT SLOPES SHALL BE PROTECTED.
  3. A SWEEP PLAN IS REQUIRED FOR PROJECT DEVELOPMENT.
  4. APARTMENT COMPLEX SHALL HAVE CENTRALIZED PONDING.
  5. THERE ARE NO FEMA DESIGNATED FLOOD ZONES, NOR ARE THERE ANY FLOOD HAZARD ZONES OF 25 CFS OR GREATER.
  6. ALL CURBS ARE 6-INCHES UNLESS OTHERWISE NOTED.
  7. ALL GEOTECH RECOMMENDATIONS SHALL BE FOLLOWED. SEE VARIOUS ENGINEERING U/2014 REPORTS.
  8. ALL SIDEWALKS, DRIVE LANE AND PARKING LOTS SHALL MEET ADA REQUIREMENTS. SLOPES SHALL NOT EXCEED 8%.
  9. ALL CULVERTS SHALL HAVE DELINEATORS AT ALL HEADS AND TAILS.
  10. ALL SIDEWALKS AND CROSSINGS SHALL MEET ADA REQUIREMENTS.
  11. TACTILE STRIPES SHALL BE INSTALLED AT ALL PEDESTRIAN CROSSINGS. SEE VARIOUS SW/FA PE CORRY FIELD WORKS REQUIREMENTS.



4-FOOT HIGH RETAINING WALL BATTERY BACK AT THE TOP OF RETAINING WALL TO BOTTOM OF EXPOSED RETAINING WALL TO



**NRPD-55**

**DESIGN ENGINEER**

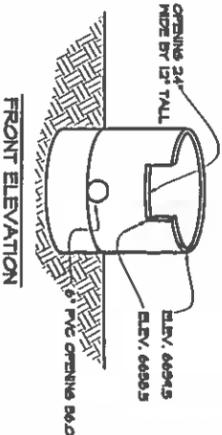
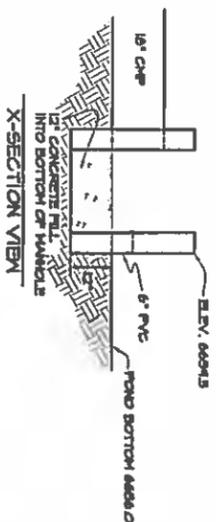
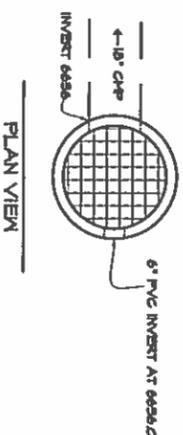
401 East Street, Suite 2, Larchmont, NY 10593  
 914-833-1234

**ELEVATION**  
**FINAL DEVELOPMENT PLAN**  
**TERRAIN MANAGEMENT PLAN**

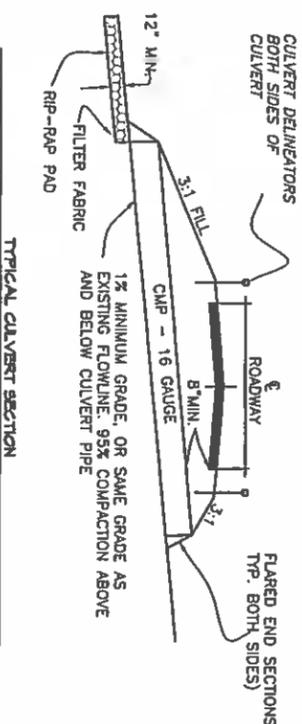
SCALE	DATE
1"=50'	01/19/2015
DESIGNED BY / APPROVED BY	DATE
	01/19/2015
DRAWN BY	SCALE
	1"=50'



### POND OUTLET 3' Ø/STORMDRAIN MANHOLE - 45' TALL



6" PIPE WITH 8" HEAD CAPACITY  
OR 24" ØSBH = 0.44 CFS (24097, BRATER & 1296 6TH ED)  
WITH 8" HEAD CAPACITY  
OR 240L-023H1 IS FRANKS FORMULA  
= 5.44 CFS  
WITH THE POND AT ELEV 6656, OUTLET CAPACITY  
IS 6.93 CFS & 1.0 CFS ALLOWABLE.



RIP-RAP PADS ARE TO BE CONSTRUCTED TO FIT FIELD CONDITIONS AND AS APPROVED BY THE ENGINEER. IF ROCK EXISTS AT OUTLET THEN AT THE DISCRETION OF THE ENGINEER THE PAD MAY BE ELIMINATED. GENERALLY PADS WILL HAVE A 8' WIDTH AND 8' LENGTH CONSTRUCTED OF ROCK 6" OR LARGER.

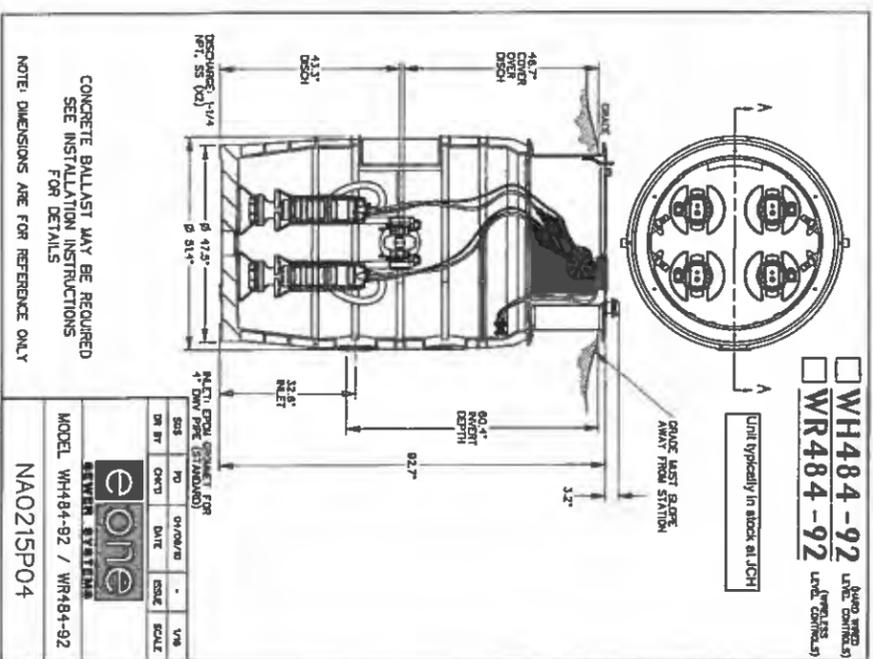
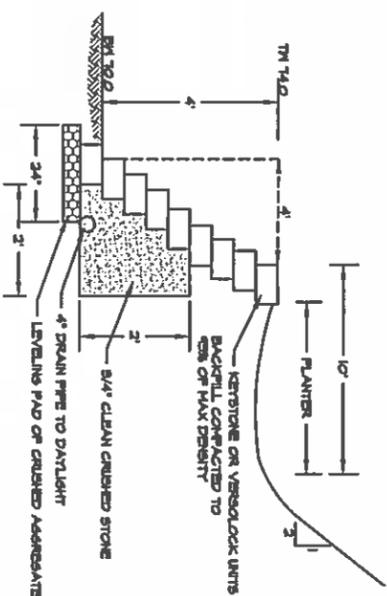
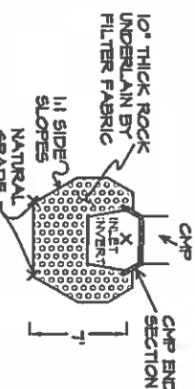
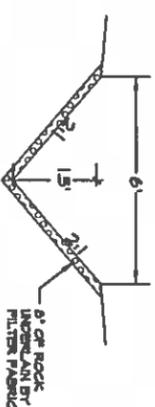
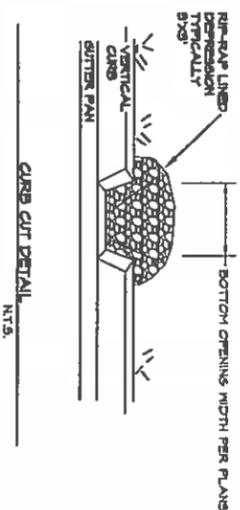
RIP-RAP PAD SIZES FOR ALL CULVERTS

PIPE SIZE	WIDTH	LENGTH
6"	2'	2'
24"	6'	8'
36"	7'	12'
12"	3'	4'
18"	5'	6'

- NOTES:
1. RIP-RAP SHALL BE WIRE ENCLOSED AND UNDERLAIN BY FILTER FABRIC.
  2. USE 6" RIVER ROCK MINIMUM.
  3. 2" MIN. SPACING BETWEEN ALL PAD SIZES.
  4. PAD SHALL BE CONSTRUCTED WITH 4" STEEL PIPE 5' LONG SET 4' O.C. LONGITUDINALLY ALTERNATELY.
  5. IF 9" - 10" RIVER ROCK AND 15" MINIMUM THICKNESS WIRE-WRAP MAY BE ELIMINATED.

#### NOTES:

1. ALL PONDING AREAS WILL BE 10 FEET FROM STRUCTURES MINIMUM BUILDINGS.
2. GRADES NEAR STRUCTURES SHALL BE A MINIMUM OF 4% AWAY FROM BUILDINGS.
3. ALL DISTURBED AREAS SHALL BE REVEGETATED WITH PLANTS OF THE SOUTHWEST DRYLAND BLEND.
4. ALL FILL MATERIALS SHALL MEET M4 DOT SPECIFICATIONS (DIVISION 200) AND COMPACTED PER M4 DOT SPECIFICATIONS OR ARCHITECTURAL SPECIFICATIONS, WHICHEVER IS STRICTER.
5. MAINTENANCE OF ALL PONDS, SWALES, DRAINAGE PIPES AND OTHER DRAINAGE FACILITIES IS THE RESPONSIBILITY OF THE OWNERS.
6. PRIOR TO BEGINNING GRADING OPERATIONS, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED.



CONCRETE BALLAST MAY BE REQUIRED SEE INSTALLATION INSTRUCTIONS FOR DETAILS

NOTE: DIMENSIONS ARE FOR REFERENCE ONLY

E-1 GRINDER PUMP (4 PUMP SYSTEM) DETAIL

N31D-ST1

DESIGN ENGINEER

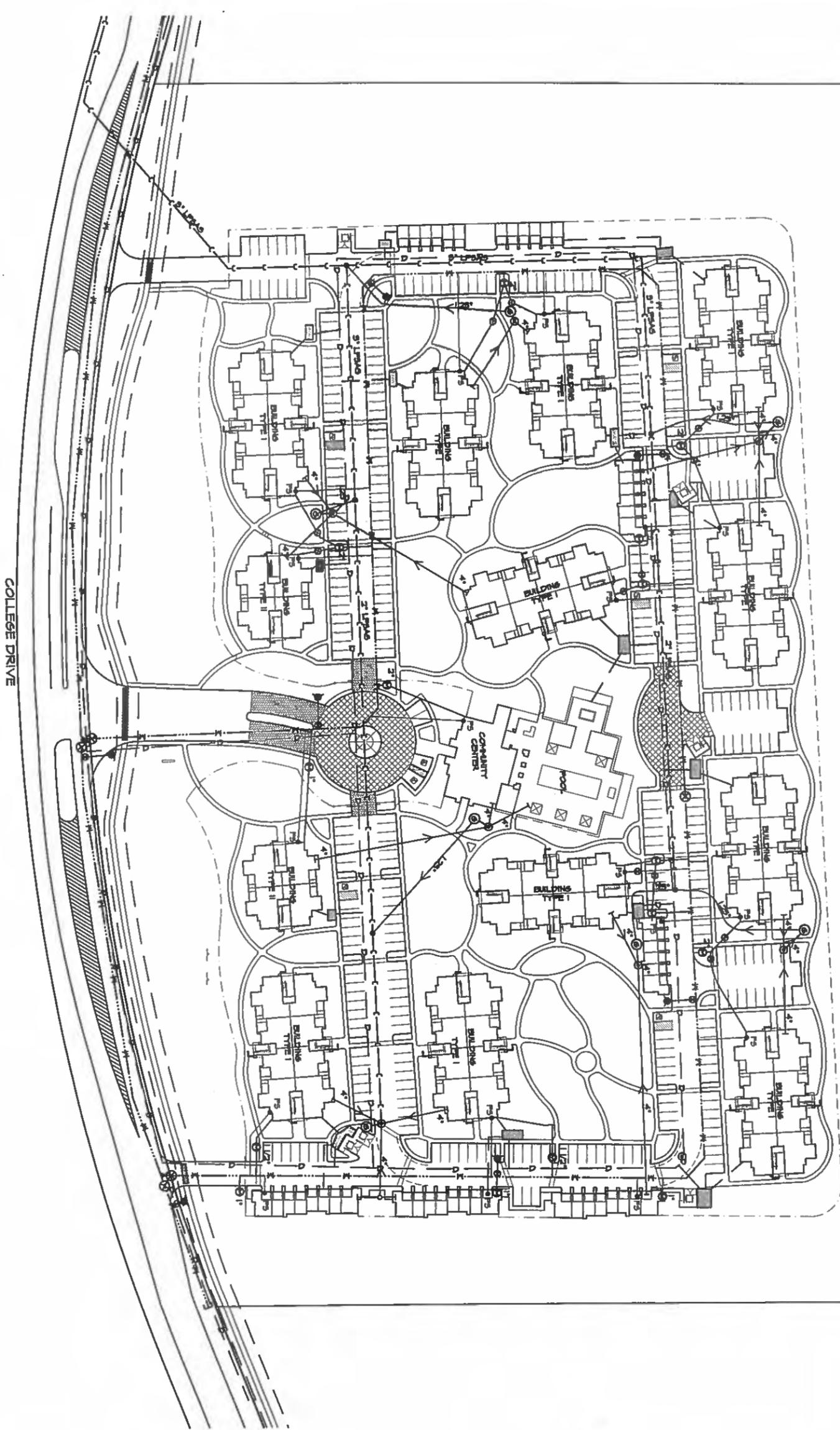
4444 Landa Street, Suite 5, Landa Park, Nevada  
(702) 941-9991

ELEVATION  
FINAL DEVELOPMENT PLAN

MISCELLANEOUS DETAILS

SCALE: N.T.S.  
DATE: 01/13/2018  
DRAWN BY / APPROVED BY: C6





COLLEGE DRIVE

- LEGEND**
- LOW PRESSURE SERVICE MAIN EXISTING
  - CONCRETE SERVER MANHOLE
  - IN-LINE FLUSHING STATION
  - SERVICE SERVICE, 4" PVC SCHEDULE 40 AT 20 GRADE MINIMUM
  - CLEANOUT PER UPC
  - ⊙ 8" 4 PUMP GRINDER PUMP (M404-12 OR M404-22)
  - ⊖ WATER AND SERVICE CONNECTION SIZE AS NOTED
  - FIRE SUPPRESSION LINE, 4" LINE UNLESS NOTED OTHERWISE
  - ⊖ FIRE HYDRANT
  - CAP & BLOCKING
  - ⊙ GATE VALVE
  - FIBER OPTIC WATERLINE, SIZE AS NOTED
  - BOOSTING DRY UTILITY SHARED TRENCH (GAS, TELEPHONE, ELECTRIC & CABLE)
  - PROPOSED DRY UTILITY SHARED TRENCH (GAS, TELEPHONE, ELECTRIC & CABLE)
  - DRY UTILITY EQUIPMENT PAD LOCATION
- NOTE:**  
ALL UTILITIES LINES SHALL BE UNDERGROUND.



N3D-58

DESIGN ENGINEER

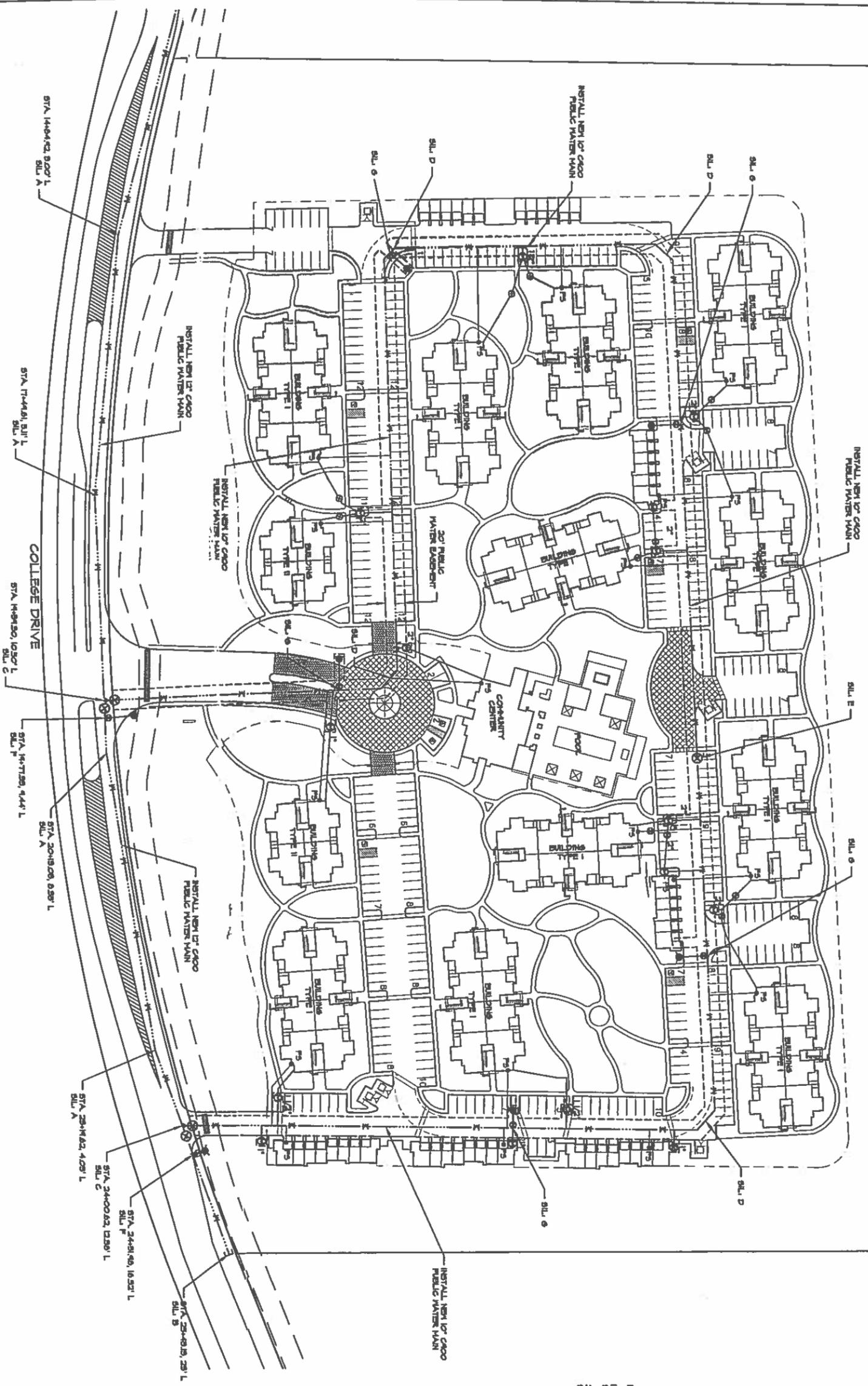
1401 LINDEN STREET, SUITE 6, SANTA FE, NEW MEXICO 87505 (505) 997-7979

ELEVATION FINAL DEVELOPMENT PLAN

MASTER UTILITY PLAN

SCALE	DATE
1" = 50'	01/15/2015
DESIGNED BY	DRAWN BY
APPROVED BY	C9





**STANDARD INSTALLATION LIST (SIL)**

- A. INSTALL 12" x 125 DSB HJ SIL  
RESTRAIN AS REQUIRED
- B. INSTALL 12" CAP  
RESTRAIN AS REQUIRED
- C. INSTALL 12" REDUCER  
RESTRAIN AS REQUIRED
- D. INSTALL TWO-OR-KNOS DSB HJ ELBOWS  
RESTRAIN AS REQUIRED
- E. INSTALL 12" GATE VALVE AND VALVE BOX  
RESTRAIN AS REQUIRED
- F. INSTALL 12" HJ Tee  
RESTRAIN AS REQUIRED
- G. INSTALL 12" HJ Tee  
RESTRAIN AS REQUIRED
- H. INSTALL 12" HJ Tee  
RESTRAIN AS REQUIRED
- I. INSTALL 12" HJ Tee  
RESTRAIN AS REQUIRED
- J. INSTALL 12" HJ Tee  
RESTRAIN AS REQUIRED

- LEGEND**
- 3" WATER AND SERVICE CONNECTION SIZE AS NOTED
  - 4" FIRE SUPPRESSION LINE
  - 4" LINE UNLESS NOTED OTHERWISE
  - 4" FIRE HYDRANT
  - 4" CAP & BLOCKING
  - 4" GATE VALVE
  - PUBLIC WATERLINE
  - SIZE AS NOTED
- NOTE:**
1. ALL APARTMENT BUILDINGS SHALL HAVE FIRE SUPPRESSION SYSTEMS APPROVED BY THE FIRE MARSHAL.
  2. EACH BUILDING'S SIDEWALK FIRE SUPPRESSION CONNECTION SHALL BE WITHIN 150' OF A FIRE HYDRANT.

**N131D-600**

**DESIGN ENGINEER**

**ELEVATION**

**FINAL DEVELOPMENT PLAN**

**WATER PLAN**

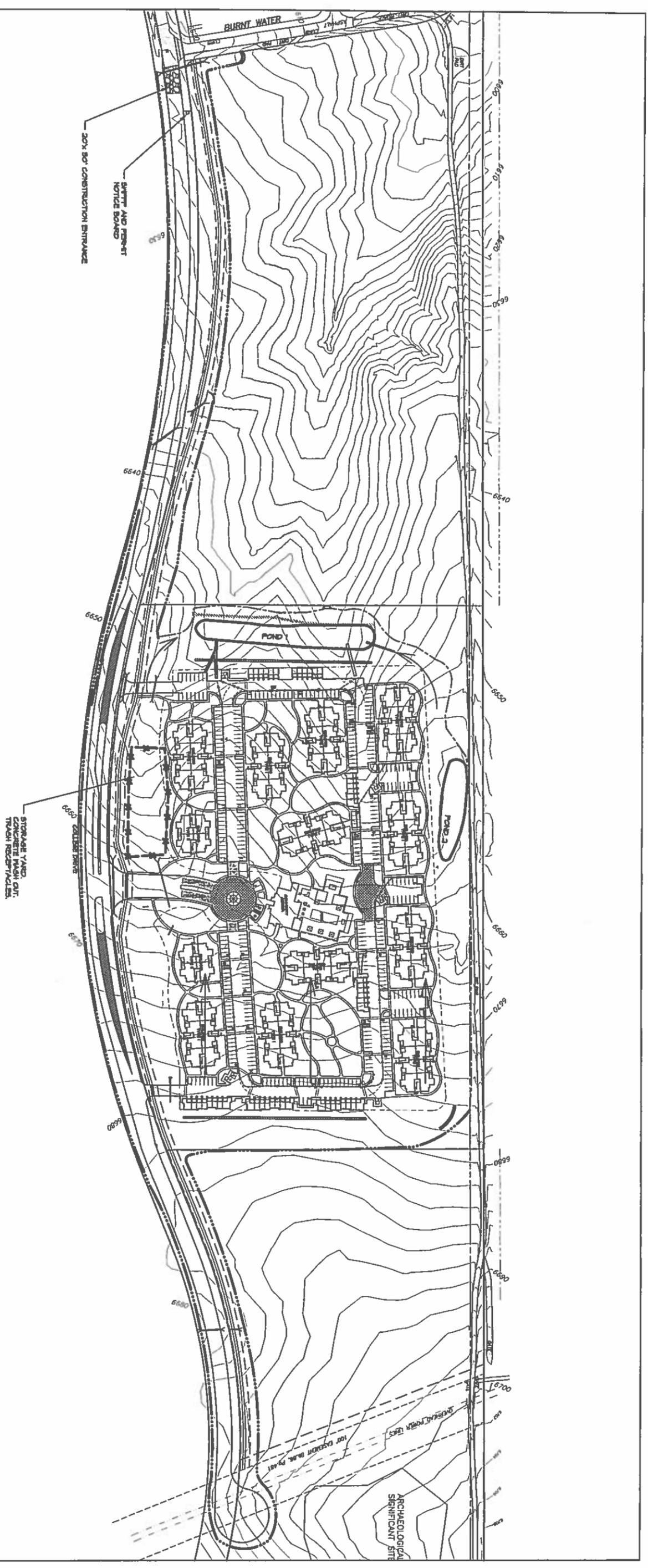
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BY	C11
SCALE	1"=50'
PROJECT	C11
DATE	01/23/2013
BY	C11





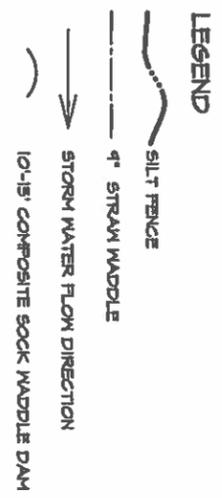






**NOTES:**

1. PONDS 1 AND 2 TO BE INSTALLED IMMEDIATELY AFTER SILT FENCING AND BEFORE SITE ROUGH GRADING.
2. A STORMWATER NOTES PERMIT IS REQUIRED FOR THIS PROJECT. THE NOTICE OF INTENT BY OWNER AND CONTRACTOR SHALL BE FILED WITH THE EPA AT LEAST 10 DAYS PRIOR TO ANY SITE WORK. THE SWPPP PERMIT SHALL BE CLEARLY POSTED ON THE PROJECT SITE. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL BEST MANAGEMENT PRACTICES AND SWPPP REQUIRED PAPERWORK.
3. INSTALL ALL TEMPORARY EROSION CONTROL FACILITIES AS SHOWN ON THIS SHEET. BEFORE ANY SITE DEMOLITION, GRADING OR CLEARING, THESE TEMPORARY EROSION CONTROL FACILITIES SHALL BE MAINTAINED AND USED UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED.
4. DISTURBED AREAS SHALL BE PROTECTED FROM EROSION DURING CONSTRUCTION TO RETAIN SOIL ON-SITE. BLOWING DUST SHALL BE CONTROLLED BY WATERING OF EXPOSED SOILS.
5. SILT FENCING TO BE ON EITHER SIDE OF OFFSITE ROADWAY TRAIL.
6. MADDOLE DAMS ACROSS DRAINAGE WAYS WILL REQUIRE MAINTENANCE AFTER EVERY RAINFALL EVENT.



NBD-64



DESIGN ENGINEER

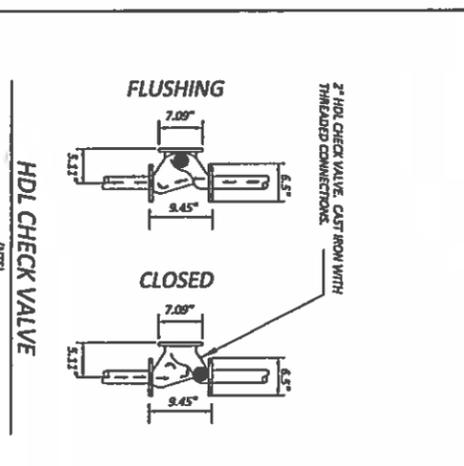
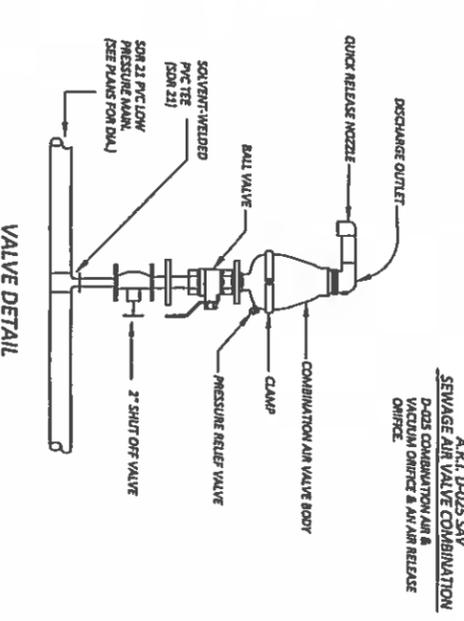
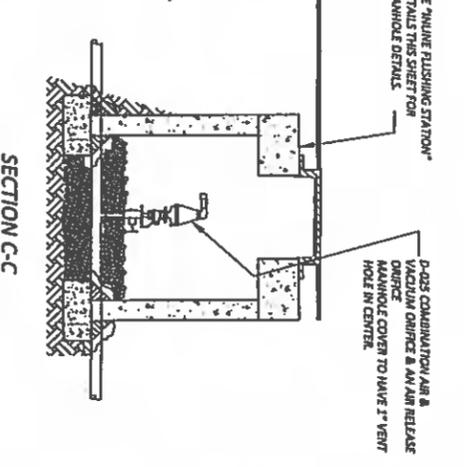
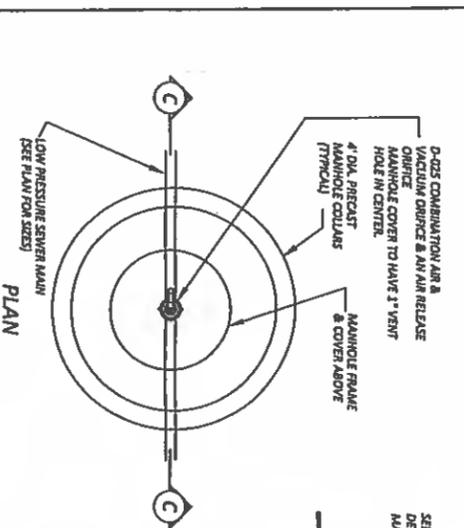
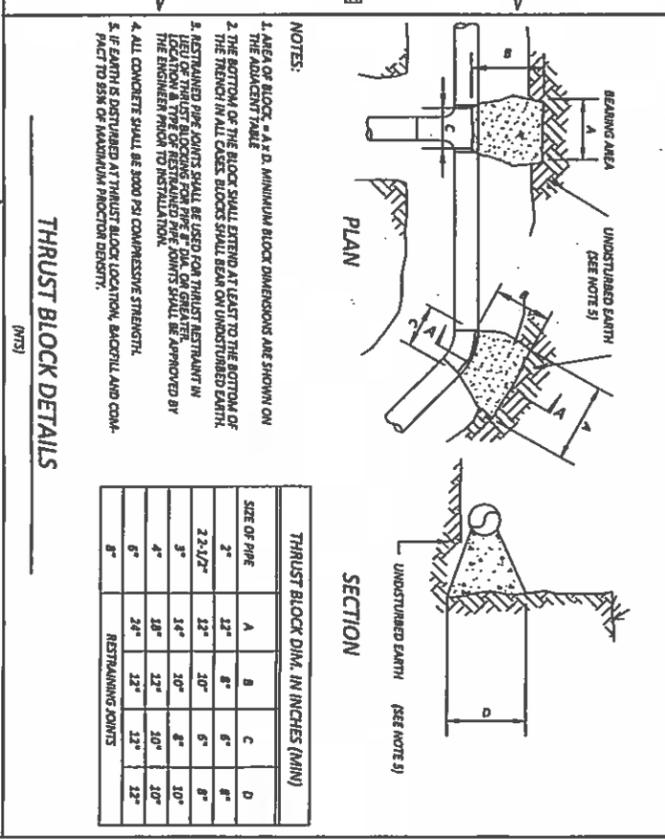
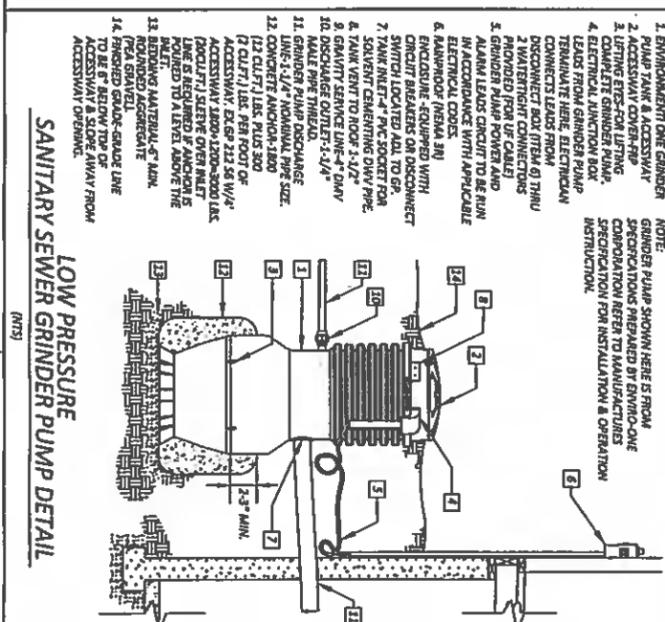
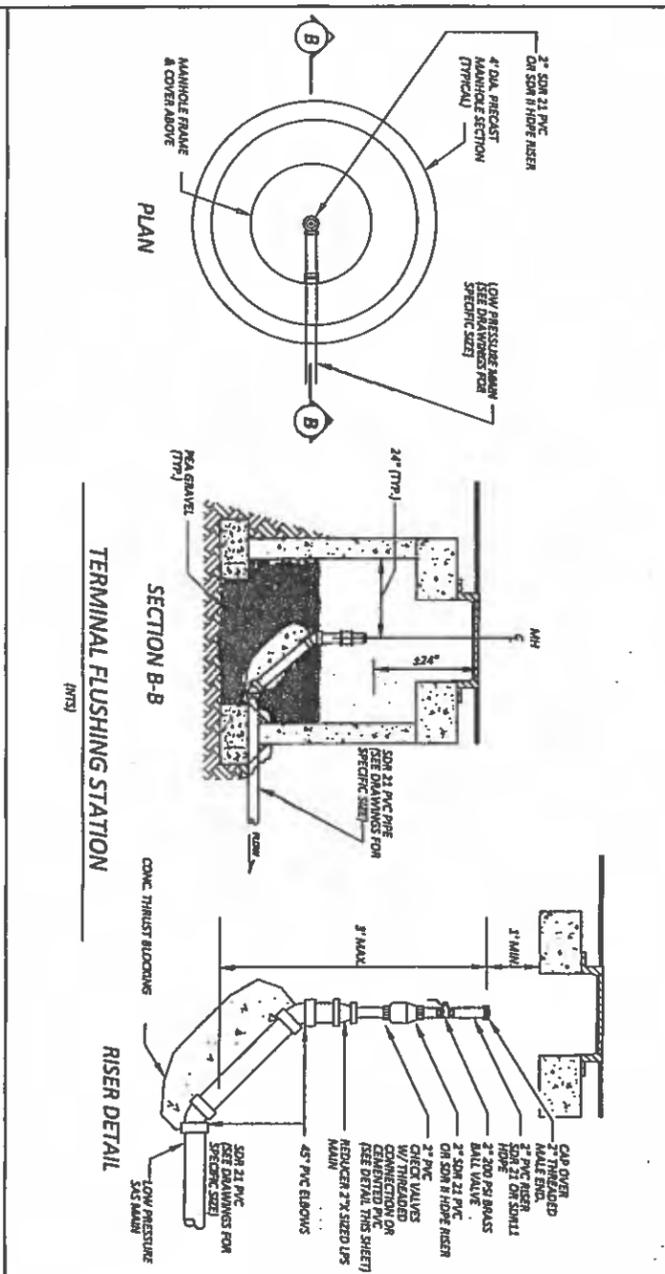
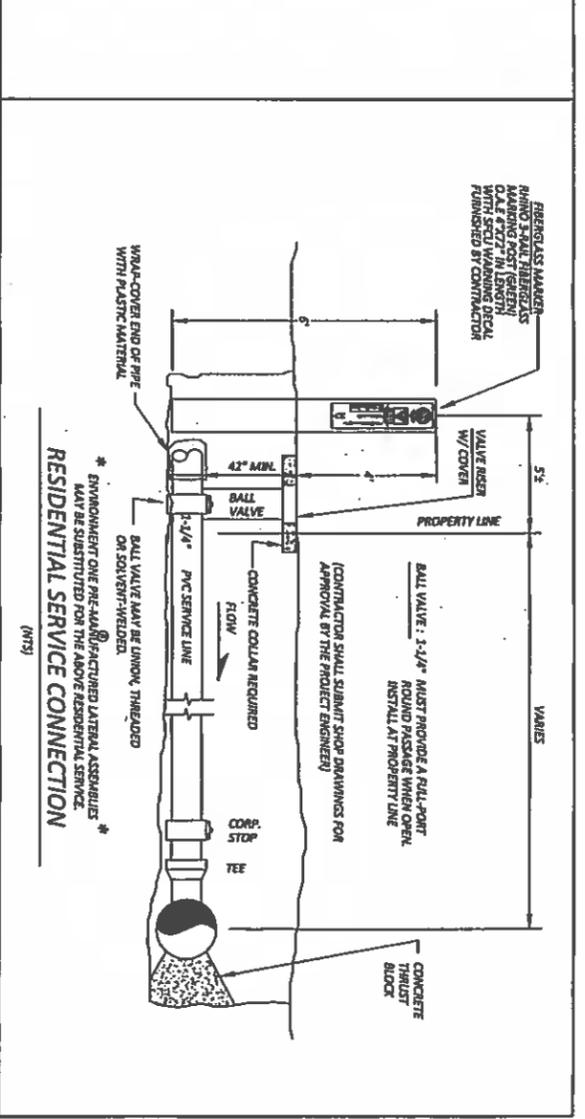
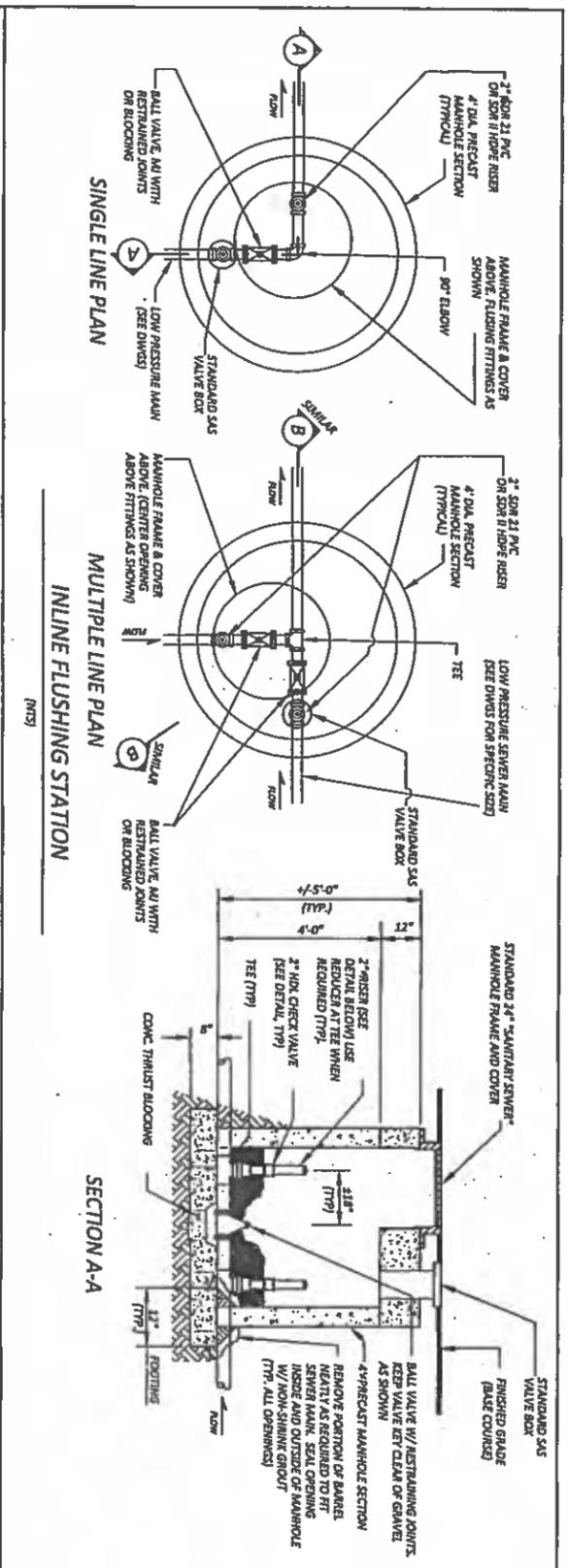
ELEVATION  
FINAL DEVELOPMENT PLAN

SWPPP PLAN

SCALE	DATE
1"=100'	01/13/2015
DESIGN BY / APPROVED BY	SHEET NO.
	C/15







**GENERAL NOTES**

- FOR DETAILS OF MANHOLE FRAMES, COVERS AND GENERAL CONSTRUCTION NOTES, SEE DETAIL/DWG # SAS & MANHOLES SHALL HAVE 1" VENT HOLE IN CENTER.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS ON CATALOG CUTS OF VALVES TO ENGINEER PRIOR TO INSTALLATION.
- PROVIDE MATERIALS TO BE USED FOR LOW PRESSURE SEWER MAIN LINE. LOCATION & TYPE OF RESTRAINED JOINTS SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
- ALL CONCRETE SHALL BE 3000 PSI COMPRESSIVE STRENGTH.
- IF PUMP IS OBTAINED AT THRUST BLOCK LOCATION, BALL VALVE AND COMBINATION AIR VALVE SHALL BE INSTALLED AT THRUST BLOCK LOCATION.

**SANTA FE COUNTY**  
WATER UTILITIES DIVISION 424 NM 599,  
SANTA FE, NM 87507

PROJECT NAME: N18D-107

REVISION: \_\_\_\_\_

DATE: \_\_\_\_\_

BY: \_\_\_\_\_

APPROVED BY: \_\_\_\_\_

DATE: 06/12/2012

SCALE: 1/4" = 1'-0"

SHEET NO: 18

**SANTA FE COUNTY SANITARY SEWER STANDARD CONSTRUCTION DETAIL FOR LOW PRESSURE SEWER**

APPROVED BY: J. GUERRERO, PE

DATE: 06/12/2012

SCALE: 1/4" = 1'-0"

SHEET NO: 18







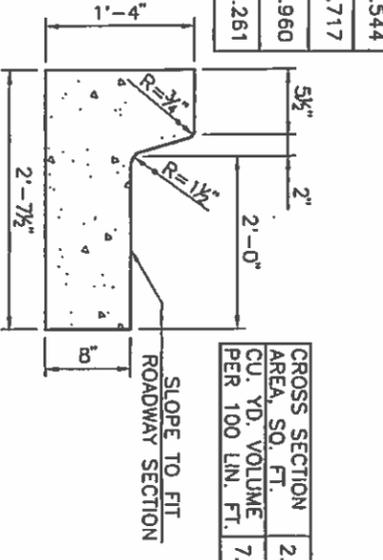
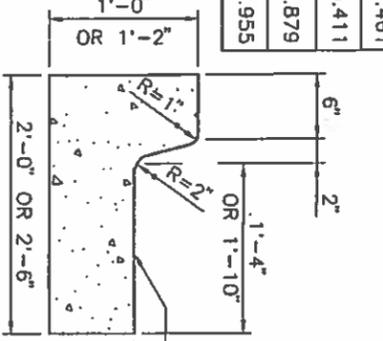
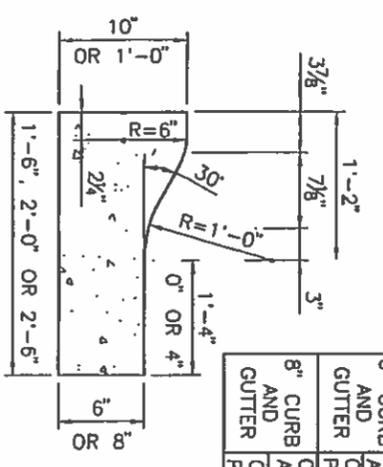




6" CURB AND GUTTER	1'-6" 2'-0" 2'-6"		
	CROSS SECTION AREA, SQ. FT.	CROSS SECTION CU. YD. VOLUME PER 100 LIN. FT.	CROSS SECTION AREA, SQ. FT.
6" CURB AND GUTTER	0.961	1.211	1.461
8" CURB AND GUTTER	3.559	4.485	5.411
6" CURB AND GUTTER	1.211	1.544	1.879
8" CURB AND GUTTER	4.485	5.719	6.955

6" CURB AND GUTTER	2'-0" 2'-6"		
	CROSS SECTION AREA, SQ. FT.	CROSS SECTION CU. YD. VOLUME PER 100 LIN. FT.	CROSS SECTION AREA, SQ. FT.
6" CURB AND GUTTER	1.294	1.544	1.960
8" CURB AND GUTTER	4.791	5.717	7.261
6" CURB AND GUTTER	1.627	1.960	2.261
8" CURB AND GUTTER	6.026	7.261	

6" CURB AND GUTTER	2'-0" 2'-6"		
	CROSS SECTION AREA, SQ. FT.	CROSS SECTION CU. YD. VOLUME PER 100 LIN. FT.	CROSS SECTION AREA, SQ. FT.
6" CURB AND GUTTER	1.500	1.500	2.113
8" CURB AND GUTTER	5.556	7.824	



CONCRETE MOUNTABLE CURB AND GUTTER TYPE "A"

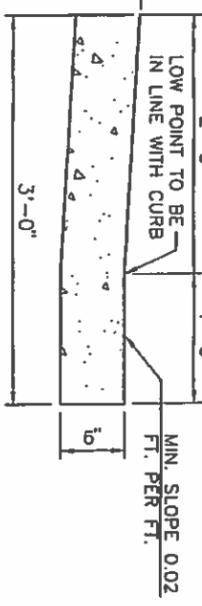
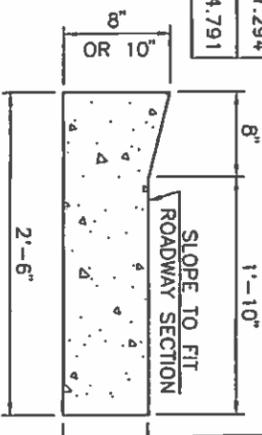
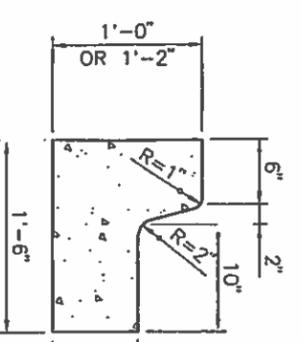
CONCRETE BARRIER CURB AND GUTTER TYPE "B"

CONCRETE BARRIER CURB AND GUTTER TYPE "C"

6" CURB AND GUTTER	30'-0"	
	CROSS SECTION AREA, SQ. FT.	CROSS SECTION CU. YD. VOLUME PER 100 LIN. FT.
6" CURB AND GUTTER	1.044	3.866
8" CURB AND GUTTER	1.294	4.791

6" CURB AND GUTTER	30'-0"	
	CROSS SECTION AREA, SQ. FT.	CROSS SECTION CU. YD. VOLUME PER 100 LIN. FT.
6" CURB AND GUTTER	1.306	4.835
8" CURB AND GUTTER	1.722	6.379

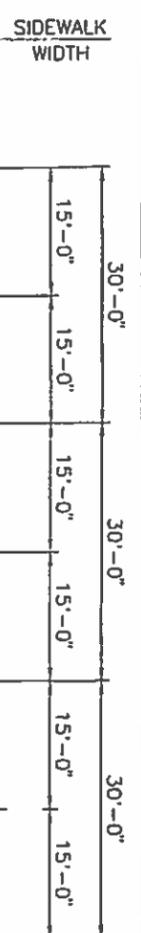
6" CURB AND GUTTER	30'-0"	
	CROSS SECTION AREA, SQ. FT.	CROSS SECTION CU. YD. VOLUME PER 100 LIN. FT.
6" CURB AND GUTTER	1.500	5.556



CONCRETE BARRIER CURB AND GUTTER TYPE "D"

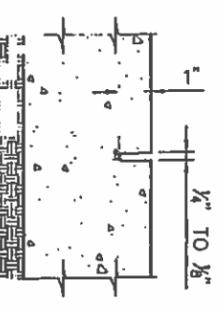
CONCRETE LAYDOWN CURB TYPE "E"

CONCRETE VALLEY GUTTER



NOTE: NON-SLIP FORMED & SIDEWALKS (SEE NOTE 8)

NOTE: SLIP-FORMED (SEE NOTE 7)



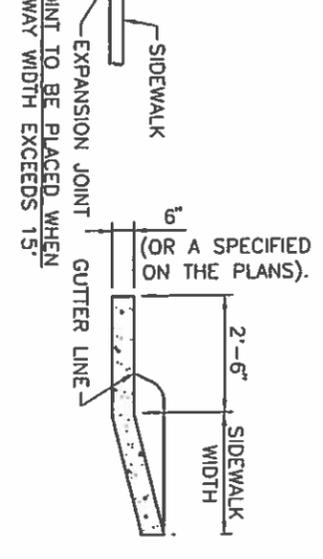
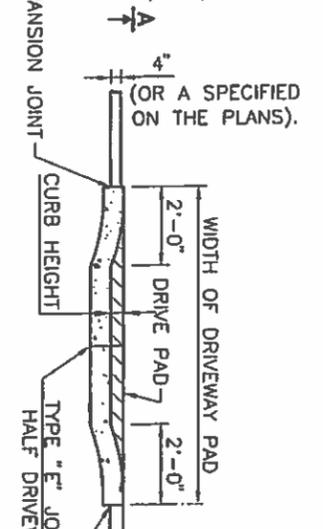
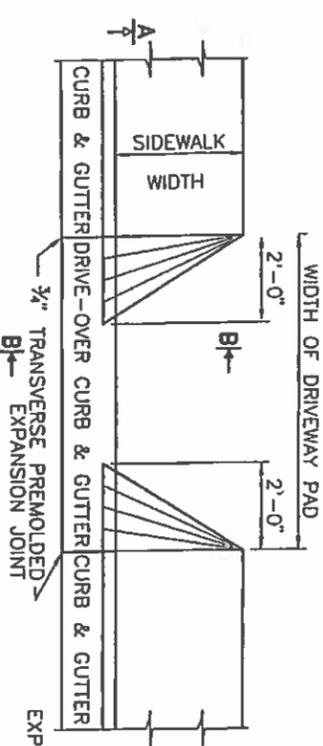
TRANSVERSE CONTRACTION JOINT

TRANSVERSE CONTRACTION JOINTS AT 5' INTERVALS IN SIDEWALK, AND AT 5' INTERVALS IN CURB AND GUTTER (SEE DETAIL).



SEALED EXPANSION JOINT

PLAN CURB AND GUTTER AND SIDEWALK



PLAN DRIVE PAD

SECTION A-A

SECTION B-B



GENERAL NOTES

- CONCRETE SHALL BE STRUCTURAL CONCRETE CLASS "A".
- END OF DAYS POUR, 30 MINUTE INTERRUPTIONS, COLD JOINTS AND DROP INLETS SHALL DETERMINE THE LOCATION OF A BITUMINOUS JOINT AND A 3/4" PREMOLDED BITUMINOUS JOINT IS REQUIRED.
- PLACE TRANSVERSE CONTRACTION JOINTS AT 5'-0" INTERVALS AND AT THE END OF RADIIUS POINTS OR ISLAND NOSES.
- BED COURSE MATERIAL ON WHICH SIDEWALK IS TO BE PLACED SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASHTO T 99, METHOD C.
- EXCAVATION AND PREMOLDED BITUMINOUS EXPANSION JOINTS TO BE INCLUDED IN THE UNIT PRICE BID FOR SIDEWALKS.
- THE SILICONE SEALED JOINTS SHALL BE SEALED IN ACCORDANCE WITH SECTION 452 OF THE STANDARD SPECIFICATIONS.
- FOR SLIP-FORMED CURB AND GUTTER, FURNISH 1" SEALED EXPANSION JOINTS AT 90' INTERVALS, AND TRANSVERSE CONTRACTION JOINTS AT 5' INTERVALS.
- FOR SIDEWALKS AND NON-SLIP FORMED CURB AND GUTTER, FURNISH 3/4" SEALED EXPANSION JOINTS AT 30' INTERVALS, AND TRANSVERSE CONTRACTION JOINTS AT 5' INTERVALS.

NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD DRAWING

SIDEWALK CURB AND GUTTER

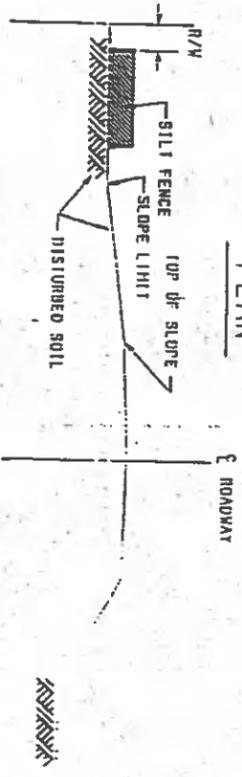
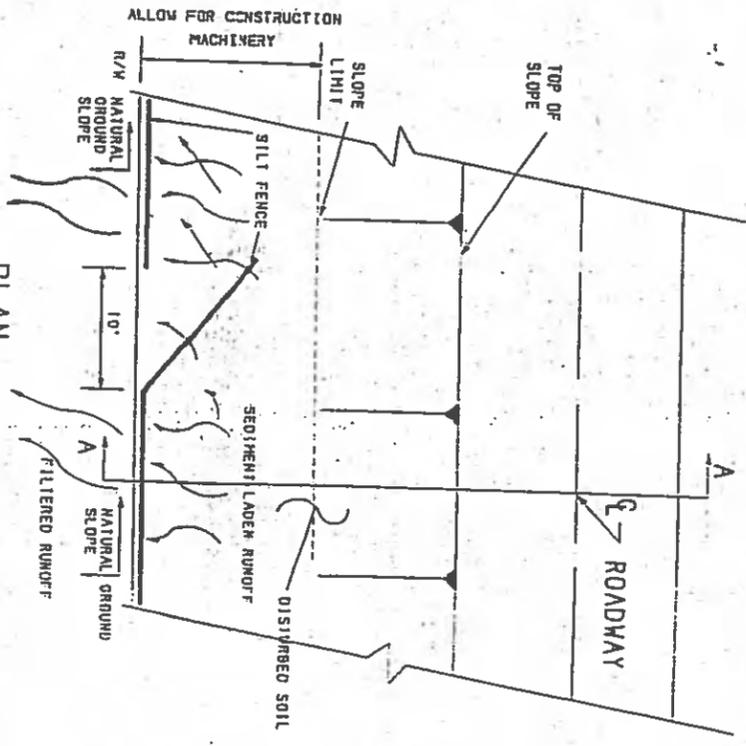
N&D-73

DESIGNED BY \_\_\_\_\_ DRAWN BY SKL CHECKED BY YML  
609-01-1/1

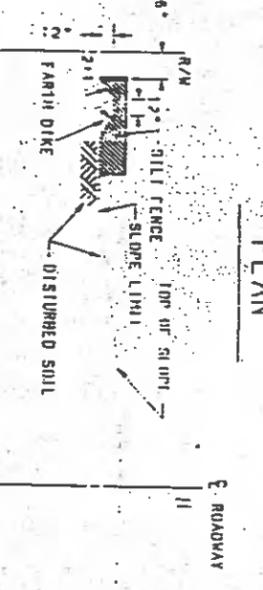
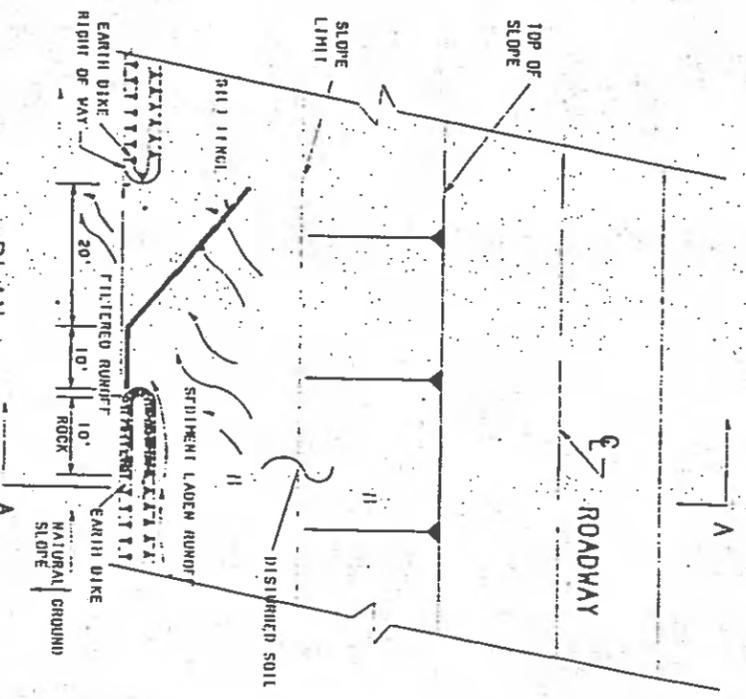


**GUIDELINES FOR CONTRACTOR'S USE:**

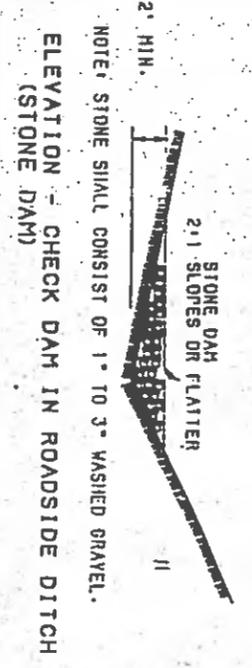
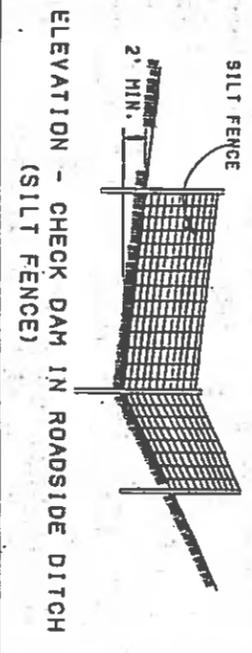
- THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE THE POST SPACING FOR SILT FENCE TO MINIMIZE MAINTENANCE.
1. POST SPACING SHALL BE 4' MAXIMUM W/O SUPPORTING FENCE. 10' MAXIMUM WITH SUPPORTING FENCE.
  2. POSTS FOR 4' MAXIMUM POST SPACING SHALL BE 2" SQUARE OR HEAVIER WOOD POSTS OR STANDARD T OR U SECTION STEEL POSTS WEIGHING NOT LESS THAN 1.0 LB. PER LINEAR FOOT. POSTS FOR 10' MAXIMUM POST SPACING SHALL BE 4" SQUARE OR HEAVIER WOOD POSTS OR STEEL POSTS AS SPECIFIED ABOVE.
  3. SUPPORTING FENCE SHALL BE WIRE MESH (14 GA. MIN., 6" MAX. MESH OPENINGS) OR SNOW FENCE.
  4. SUPPORTING FENCE SHALL BE FASTENED SECURELY TO POSTS WITH STAPLES OR WIRE TIES. FILTER FABRIC SHALL BE FASTENED SECURELY TO SUPPORTING FENCE WITH WIRE TIES SPACED AT 24" CENTERS ALONG THE TOP AND MID-SECTION. WHEN A SUPPORTING FENCE IS NOT USED, FILTER FABRIC SHALL BE SECURELY FASTENED TO POSTS WITH STAPLES OR WIRE TIES.
  5. WHEN SILT FENCE IS USED FOR CHECK DAM INSTALLED IN DITCHES A SUPPORTING FENCE SHALL BE PROVIDED AND THE POST SPACING SHALL BE 10' MAXIMUM.



**TYPICAL INSTALLATION FOR SILT FENCE AT THE BOTTOM OF FILL SLOPE**

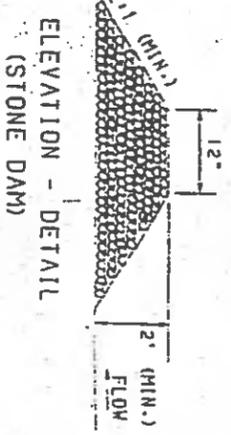


**TYPICAL INSTALLATION FOR EARTH DIKE AT THE BOTTOM OF FILL SLOPE**

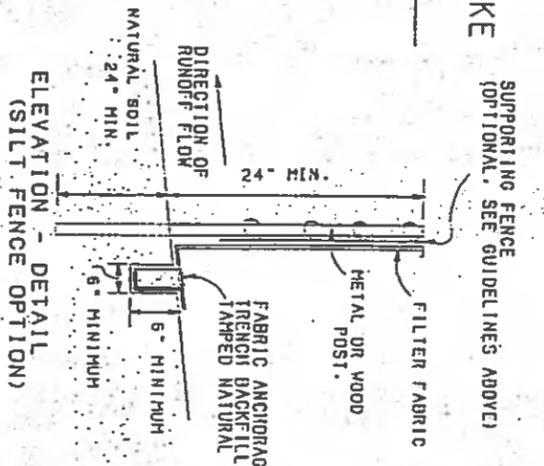


TYPE I

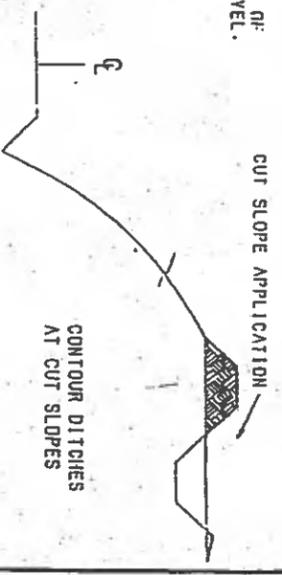
TYPE II



**ELEVATION - DETAIL (STONE DAM)**



**ELEVATION - DETAIL (SILT FENCE OPTION)**



NO.	DESCRIPTION	DATE	BY
1	REVISIONS (OR CHANGE NOTICES)		
2			
3			

NEW MEXICO STATE  
HIGHWAY AND TRANSPORTATION  
DEPARTMENT  
T.E.S.C.M.  
SILT FENCE INSTALLATION  
AND CHECK DAMS

LAYOUT BY: [Name]  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
APPROVED BY: [Name]  
DESIGN BUREAU CHIEF: [Name]

DRAWING-050 SHEET 2 OF 4

Sheet 2 of 4  
MSD-75



New Mexico DEPARTMENT OF TRANSPORTATION

December 21, 2014

Mr. Jose E. Larranaga  
Development Review Team Leader  
102 Grant Avenue  
Santa Fe, NM 87501

Re: CRDC Case # DP 13-5381 Elevation Preliminary and Final Development Plan

Dear Mr. Larranaga:

The New Mexico Department of Transportation (NMDOT) District 5 Traffic Section has reviewed the subject Traffic Impact Study and final Plan. After cursory review it was found that this sub-division Elevation at Rancho Viejo and north of College Drive is not a part of the NM Highway System and this improvement is not impacting any State Transportation System, therefore no further analysis is required for this development from NMDOT.

Please feel free to contact me at 505 995 7802 if you have any question.

Sincerely,

*M S Jawadi*  
12/21/2014

M S JAWADI, P.E

Asst. Traffic Engineer

District 5

NMDOT

Santa Fe, NM 87502

Susana Martinez  
Governor

Tom Church  
Cabinet Secretary

Commissioners

Pete K. Rahn  
Chairman  
District 3

Ronald Schmeits  
Vice Chairman  
District 4

Dr. Kenneth White  
Secretary  
District 1

David Sepich  
Commissioner  
District 2

Butch Mathews  
Commissioner  
District 5

Jackson Gibson  
Commissioner  
District 6



NBD-76



STATE OF NEW MEXICO  
OFFICE OF THE STATE ENGINEER  
CONCHA ORTIZ Y PINO BUILDING, 130 SOUTH CAPITOL, SANTA FE, NM 87501  
TELEPHONE: (505) 827-6091 FAX: (505) 827-3806

TOM BLAINE, P.E.  
STATE ENGINEER

January 5, 2015

Mailing Address:  
P.O. Box 25102  
Santa Fe, NM 87504-5102

Jose E. Larrañaga  
Development Review Team Leader  
Santa Fe County  
P.O. Box 276  
Santa Fe, NM 87504-0276

**CERTIFIED MAIL**  
**RETURN RECEIPT**  
**REQUESTED**

**Reference: Elevation Multi-Family Community Preliminary/ Final Development Plan**

Dear Mr. Larrañaga:

On December 12, 2014, the Office of the State Engineer (OSE) received a request to provide comments for the Elevation Multi-Family Community Preliminary and Final Development Plan.

The submittal provides a proposal for the development of a 214 multi-family unit apartment community on 22 acres, including one and two bedroom units dispersed among 17 two story buildings, along with two single story garage buildings on the west side of the property. The property is located at 63 College Dr, east of Burnt Water Road in a New Community Center Village Zone of the Community College District located in Sections 16 and 21, Township 16N and Range 9E. Water supply will be provided by the County Water Utility.

This proposal was reviewed pursuant to the Santa Fe County Land Development Code (Code) and the New Mexico Subdivision Act.

The developer has quantified the subdivision's annual water requirements as 34.24 acre-feet per year, in accordance with the City of Santa Fe Resolution 2009-116.

When a development/subdivision proposal is received by the OSE, the developer's water demand analysis is reviewed (pursuant to the Code) to determine if it is technically correct and reasonable. The OSE also verifies that the appropriate conservation measures are reflected in the analysis. Further, data in the water demand analysis is compared with the data and statements included in the application for Preliminary and Final Development Plan to make sure that they are consistent with each other.

N130-77

Section 47-6-11.F (1) of the New Mexico Subdivision Act requires that the developer provide documents demonstrating that water sufficient in quantity to fulfill the maximum annual water requirements of the subdivision is available. Therefore, the OSE reviews the water rights and the physical water availability.

The developer did not provide a letter of intent from the water provider, therefore a review of the County's water rights was not completed. The proposal refers to "attached plans" that provide more detailed information, however this attachment was not included.

Article VII, Section 6.1 of the Code allows the Santa Fe County Land Use staff to refer development plans to state agencies for review "*if, in the opinion of the County Hydrologist and the Code Administrator, such referrals will provide information necessary to the determination of whether or not a proposed development is in conformance with provisions of this Code.*" The OSE recognizes the proactive actions on behalf of the County to solicit the technical opinion of the OSE on this development plan. However, because the proposed development is not formally covered under the New Mexico Subdivision Act, the OSE declines to provide an opinion at this time. We appreciate the opportunity to review the Elevation Multi-Family Community Preliminary and Final Development Plan.

If you have any questions, please call Emily Geery at (505) 827-6664.

Sincerely,



Molly Magnuson, P.E.  
Acting Bureau Chief, Water Use and Conservation Bureau

cc: OSE Water Rights Division, Santa Fe Office

NBD-78

**Henry P. Roybal**  
Commissioner, District 1

**Miguel M. Chavez**  
Commissioner, District 2

**Robert A. Anaya**  
Commissioner, District 3



**Kathy Holian**  
Commissioner, District 4

**Liz Stefanics**  
Commissioner, District 5

**Katherine Miller**  
County Manager

**Date:** April 22, 2015

**To:** Jose Larranaga, Land Use Department

**From:** Paul Kavanaugh, Engineering Associate Public Works *R*  
Johnny P. Baca, Traffic Manager Public Works *JB*

**Re:** CDRC CASE # DP 13-5381 Elevations at Rancho Viejo Preliminary and Final Development Plan.

---

The referenced project has been reviewed for compliance of the Land Development Code, and shall conform to roads and driveway requirements of Article V (Subdivision Design Standards) and Section 8.1 (General Policy on Roads). The referenced project is located within the Community College District located within Santa Fe County Zoning Jurisdiction and is situated east of Richards Avenue, northeast of College Drive/Burnt Water Road intersection, approximately one mile south of Interstate 25. The applicant is requesting a variance on no outlet roads in excess of 300 feet, a variance of dead end roads serving 30 or more dwelling units, and Preliminary and Final Development Plan approval to allow a 200 unit multi-family residential community on approximately a 22 acre tract.

**Access:**

The applicant is proposing to access the proposed development from College Drive via Richards Avenue. At present Richards Avenue is a two lane, paved roadway 24 feet in width, with two driving lanes and shoulders. The posted speed limit is 35 MPH north of College Drive and 25 MPH south of College Drive. Richards Avenue was constructed in the early 1980's to collector road standards with an estimated Average Daily Traffic of 1000 - 1999 vehicles per day. Richards Avenue's current Average Daily Traffic is 10,959 vehicles per day, which means it is operating as a major Arterial/Highway. Elevations at Rancho Viejo, is proposing three new driveways off College Drive, the most western access is proposed as a EMERGENCY ACCESS ONLY, a main entrance to the project is being proposed and a most eastern access is being proposed as an EXIT ONLY. The applicant provided Santa Fe County with a Traffic Impact Analysis prepared by Bohannon Huston, dated December 4, 2014. The purpose of this study is to assess the traffic impacts the proposed project may have on essential intersections within the area and identify any necessary street improvements to these intersections. The applicant also provided Santa Fe County with a second supplemental traffic evaluation impact taking into account of the NE/SE Connector build-out, from Bohannon Huston dated April 16, 2015. The intersections evaluated were Richards/Dinosaur Trail, Richards/Willowback, Richards/ College Drive and Richards/Avenida del Sur. The original Analysis states that the intersections of Richards/Dinosaur Trail and Richards/Avenida del Sur will operate at acceptable levels of service. Richards/Willowback intersection currently operates at a Level of Service of D and experiences some A.M., cueing; however, a Level of Service of D is an acceptable Level of Service as per the Highway Capacity Manual. This intersection as stated in the second revised TIA is shown to improve to a Level of Service of C for the 2016 full build scenario.

The TIA states that the Richards/College Drive intersection is operating at a Level of Service E and currently has operating deficiencies for the AM peak hours on the northbound lane. The secondary TIA states this intersection is shown to improve to a Level of Service of C for the 2016 full build scenario.

These improved Levels of Service will not take place until the NE/SE Connector is full constructed. Richards Avenue will continue to operate as an over burdened collector road until the full build out of the NE/SE Collectors roads.

**Conclusion:**

Public Works has reviewed the applicant's submittal, and feels that they **cannot** support the above mentioned project as per **Article II, Section 3.2, Variation or Modification** which states "*In no case shall any variation or modification be more than a minimum easing of the requirements*" for Preliminary Development Plan and Plat approval and Final Development approval.

- Applicant is proposing to extend College Drive to an extent of 2,600 feet. Article XV, Section 6.E.3.c of the Community College District code states *No-outlet roadways shall exceed three hundred feet (300') in length.*
- The applicant is proposing a two hundred (200) unit multi-family community terminating with an emergency turnaround. Article V, Section 8.1.4, states *Deadend roads may not serve more than thirty (30) dwelling units, except that the Code Administrator with the concurrence of the Fire Marshal may approve the development of more than thirty (30) lots on a dead end road.*
- At present Richards Avenue is at full capacity with the existing traffic, the applicant shall delay commencement of building construction until the contract for construction of the SE Connector has been awarded, approximately August 2017.

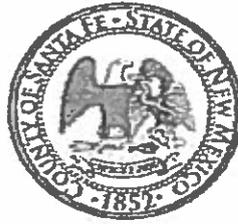
**If approved the applicant shall comply with the following;**

- The applicant shall delay commencement of building construction until August 2017.
- Applicant shall construct College Drive from its current terminus at Burnt Water to the western boundary of the future Southeast Connector Right-Of-Way to a standard of *Village Connector Highway/Traffic Priority* as per the Community College District Ordinance.
- Applicant shall install a gate at the western access with a Knox Lock and signed as "Emergency Access Only"
- The applicant shall install a gate at the eastern access to ensure that it remains an EXIT ONLY.

Henry P. Roybal  
Commissioner, District 1

Miguel Chavez  
Commissioner, District 2

Robert A. Anaya  
Commissioner, District 3



Kathy Holian  
Commissioner, District 4

Liz Stefanics  
Commissioner, District 5

Katherine Miller  
County Manager

## Santa Fe County Fire Department Fire Prevention Division

### Official Submittal Review

Date	03-11-2015		
Project Name	Elevation – Vedura Residential LLC – Univest Rancho Viejo		
Project Location	63 College Drive, Santa Fe, New Mexico 87508		
Description	Preliminary/Final Development plan & Variance Application	Case Manager	Jose Larranaga
Applicant Name	Agent: Jenkins/Gavin	County Case #	
Applicant Address	130 Grant Ave. Suite 101 Santa Fe, New Mexico 87501	Fire District	La Cienega
Applicant Phone	505-931-6149		
Review Type	Commercial <input checked="" type="checkbox"/>	Residential <input checked="" type="checkbox"/>	Sprinklers <input checked="" type="checkbox"/>
	Master Plan <input type="checkbox"/>	Preliminary <input checked="" type="checkbox"/>	Final <input checked="" type="checkbox"/>
	Wildland <input type="checkbox"/>	Variance <input checked="" type="checkbox"/>	Hydrant Acceptance <input checked="" type="checkbox"/>
		Inspection <input checked="" type="checkbox"/>	Lot Split <input type="checkbox"/>
Project Status	Approved <input type="checkbox"/>	Approved with Conditions <input checked="" type="checkbox"/>	Denial <input type="checkbox"/>

The Fire Prevention Division/Code Enforcement Bureau of the Santa Fe County Fire Department has reviewed the above submittal and requires compliance with applicable Santa Fe County fire and life safety codes, ordinances and resolutions as indicated: (Note underlined items)

#### Summary of Review

- Automatic Fire Protection Sprinkler systems shall be required in all buildings as per 1997 Uniform Fire, Article 10 Section 1003.2 in accordance with the Building Code as adopted by the State of New Mexico and/or the County of Santa Fe.
- The requirement for fire protection sprinkler systems shall be recorded on the plat and in the covenants at the time of filing or as otherwise directed by the County Fire or Land Use Department.
- All fire hydrants shall be spaced so that the furthest buildable portion of a parcel shall be within five hundred feet (500') as measured along the access route. All buildings with automatic fire protection systems there fire department connections shall be within 150' of a fire hydrant.
- Additional hydrants and/or relocation of existing fire hydrants shown within the submittal packet may be required.
- Cul-de-sacs shall be a minimum 50' radius. SFC Land Use Code, Article V, Section 8.2.1d, (cul-de sacs over 250' in length).

- Maximum size for an island in a cul-de-sac shall be 20' diameter with a minimum of a 40' driving surface.
- Roads shall meet the minimum County standards for fire apparatus access roads of 26' wide within this type of proposed development.

#### Fire Department Access

*Shall comply with Article 9 - Fire Department Access and Water Supply of the 1997 Uniform Fire Code inclusive to all sub-sections and current standards, practice and rulings of the Santa Fe County Fire Marshal*

- **Fire Access Lanes**

Section 901.4.2 Fire Apparatus Access Roads. (1997 UFC) *When required by the Chief, approved signs or other approved notices shall be provided and maintained for fire apparatus access roads to identify such roads and prohibit the obstruction thereof or both.*

No off-site parking shall be allowed and shall be marked accordingly as approved by the Fire Marshal.

Curbs adjacent to the, fire hydrants, landscape medians in traffic flow areas and in designated no parking areas shall be appropriately marked in red with 6" white lettering reading "FIRE LANE - NO PARKING" as determined by the Fire Marshal prior to final approval. Assistance in details and information are available through the Fire Prevention Division. The Home Owner's and/or the Home Owner's Association will maintain said markings following the final approval and for the duration of the subdivision.

#### Roadways/Driveways

*Shall comply with Article 9, Section 902 - Fire Department Access of the 1997 Uniform Fire Code inclusive to all sub-sections and current standards, practice and rulings of the Santa Fe County Fire Marshal.*

Roads shall meet the minimum County standards for fire apparatus access roads within this type of proposed development. Final acceptance based upon the Fire Marshal's approval.

Cul-de-sacs shall be a minimum 50' radius. SFC Land Use Code, Article V, Section 8.2.1d, (cul-de sacs over 250' in length).

Maximum size for an island in a cul-de-sac shall be 20' diameter with a minimum of a 40' driving surface.

Roads shall meet the minimum County standards for fire apparatus access roads of 26' wide within this type of proposed development per the 2003 International Fire Code D103.1. Roads shall meet the County standards of all-weather driving surface and an unobstructed vertical clearance of 13' 6" within this type of proposed development. Driveway and turnarounds shall be County approved all-weather

driving surface of minimum 6" compacted basecourse or equivalent. Minimum gate width shall be 20' and an unobstructed vertical clearance of 13'6".

### Street Signs/Rural Address

Section 901.4.4 Premises Identification (1997 UFC) *Approved numbers or addresses shall be provided for all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property.*

Section 901.4.5 Street or Road Signs. (1997 UFC) *When required by the Chief, streets and roads shall be identified with approved signs.*

All access roadway identification signs leading to the approved development area(s) shall be in place prior to the required fire hydrant acceptance testing. Said signs shall remain in place in visible and viable working order for the duration of the project to facilitate emergency response for the construction phase and beyond.

Properly assigned legible rural addresses shall be posted and maintained at the entrance(s) to each individual lot or building site within 72 hours of the commencement of the development process for each building.

Buildings within a commercial complex shall be assigned, post and maintain a proper and legible numbering and/or lettering systems to facilitate rapid identification for emergency responding personnel as approved by the Santa Fe County Fire Marshal.

### Slope/Road Grade

Section 902.2.2.6 Grade (1997 UFC) *The gradient for a fire apparatus access road shall not exceed the maximum approved.*

The maximum approved slope of the driveway access/egress shall not exceed 11%.

This driveway/fire access does not exceed 11% slope and shall have a minimum 28' inside radius on curves.

### Restricted Access/Gates/Security Systems

Section 902.4 Key Boxes. (1997 UFC) *When access to or within a structure or an area is unduly difficult because of secured openings or where immediate access is necessary for life-saving or firefighting purposes, the chief is authorized to require a key box to be installed in an accessible location. The key box shall be of an approved type and shall contain keys to gain necessary access as required by the chief.*

Commercial buildings shall be required to install a Knox Cabinet or applicable Knox device as determined by this office for Fire Department access and pre-fire planning information and for access to fire protection control rooms (automatic fire sprinklers, fire alarm panels, etc...).

All gates on a public way shall be operable by means of a key or switch, which is located in a Knox Lock entry system, keyed to the Santa Fe County system. Details, information and forms are available from the Fire Prevention Division.

All gates shall be operable by means of a key or key switch, which is keyed to the Santa Fe County Emergency Access System (Knox Rapid Entry System).

A final inspection by this office will be necessary to determine the applicability of the installation of the Knox lock access system in regards to emergency entrance into the fenced area. Should it be found suitable for such, the developer shall install the system.

### **Fire Protection Systems**

The design of the system shall be accordingly sized and constructed to accommodate for the required application of commercial/residential fire suppression sprinkler systems, on both the public utility side of the meter as well as the private property yard lines.

Water supply line sizes, which are connected to supply approved fire hydrants, shall be a minimum of eight inches in diameter.

The Developer, Homeowners and/or the Homeowners Association shall be responsible to maintain, in an approved working order, the water system for the duration of the subdivision/development. The responsible party, as indicated above, shall be responsible to call for and submit to the Santa Fe County Fire Department for an annual testing of the fire protection system and the subsequent repairs ordered and costs associated with the testing.

### **Hydrants**

Shall comply with Article 9, Section 903 - Water Supplies and Fire Hydrants of the 1997 Uniform Fire Code, inclusive to all sub-sections and current standards, practice and rulings of the Santa Fe County Fire Marshal.

Section 903.4.2 Required Installations. (1997 UFC) *The location, number and type of the fire hydrants connected to a water supply capable of delivering the required fire flow shall be provided on the public street or on the site of the premises or both to be protected as required and approved.*

Fire hydrants subject to possible vehicular damage shall be adequately protected with guard posts in accordance with Section 8001.11.3 of the 1997 UFC.

All fire hydrants shall be spaced so that the furthest buildable portion of a parcel shall be within five hundred feet (500') as measured along the access route. All buildings with automatic fire protection systems there fire department connections shall be within 150' of a fire hydrant.

Additional hydrants and/or relocation of existing fire hydrants shown within the submittal packet may be required.

Fire hydrant locations shall be no further than 10 feet from the edge of the approved access roadways with the steamer connections facing towards the driving surface. Final placement of the fire hydrants shall be coordinated and approved by the Santa Fe County Fire Department prior to installation. Final fire hydrant locations shall be located in full view for incoming emergency responders. Landscape vegetation, utility pedestals, walls, fences, poles and the like shall not be located within a three foot radius of the hydrant per Article 10, Sections 1001.7.1 and 1001.7.2 of the 1997 UFC.

Supply lines shall be capable of delivering a minimum of 1,000 gpm with a 20-psi residual pressure to the attached hydrants. The design of the system shall be accordingly sized and constructed to accommodate for the associated demands placed on such a system through drafting procedures by fire apparatus while producing fire flows. The system shall accommodate the operation of two pumping apparatus simultaneously from separate locations on the system. Final design shall be approved by the Fire Marshal.

All hydrants shall have NST ports.

No building permits shall be granted until such time as the fire hydrants have been tested and approved by the Santa Fe County Fire Marshal.

All hydrants shall comply with Santa Fe County Resolution 2000-55, Hydrant color-coding, marking and testing. Note: Please have the installing contractor contact this office prior to the installation of the fire hydrant, so that we may assist you in the final location placement and avoid delays in your projects' final approval.

### **Automatic Fire Protection/Suppression**

Automatic Fire Protection Sprinkler systems shall be required as per 1997 Uniform Fire, Article 10 Section 1003.2 in accordance with the Building Code as adopted by the State of New Mexico and/or the County of Santa Fe.

All Automatic Fire Protection systems shall be developed by a firm certified to perform and design such systems. Copies of sprinkler system design shall be submitted to the Fire Prevention Division for review and acceptance prior to construction. Systems will not be approved unless final inspection test is witnessed by the Santa Fe County Fire Department. Fire sprinklers systems shall meet all requirements of NFPA 13 Standard for the Installation of Sprinkler Systems. The required system riser shall meet the requirements of the NFPA 13 1996.

Locations of all Fire Department Connections (FDC's) shall be determined and approved prior to the start of construction on the system. All FDC's shall have ports in National standard thread. All FDC's shall be located within 150' of a fire hydrant location.

All type III construction buildings classified as Carriage houses shall install automatic fire protection in the garage areas.

All sprinkler and alarm systems as required shall have a test witnessed and approved by the Santa Fe County Fire Department, prior to allowing any occupancy to take place. It shall be the responsibility of the installer and/or developer to notify the Fire Prevention Division when the system is ready for testing.

The requirement for fire protection sprinkler systems shall be recorded on the plat and in the covenants at the time of filing or as otherwise directed by the County Fire or Land Use Department.

The developer shall notify the water utility company or Co-op supplying this project of the requirements for the installation of automatic fire suppression sprinkler system(s).

### **Fire Alarm/Notification Systems**

Automatic Fire Protection Alarm systems may be required as per 1997 Uniform Fire Code, Article 10 Section 1007.2.1.1 and the Building Code as adopted by the State of New Mexico and/or the County of Santa Fe. Required Fire Alarm systems shall be in accordance with NFPA 72, National Fire Alarm Code, for given type of structure and/or occupancy use. Said requirements will be applied as necessary as more project information becomes available to this office during the following approval process.

Unless the building is occupied on a continual 24-hour basis, the sprinkler system shall be electrically monitored by an approved central station, remote station or proprietary monitoring station.

All Fire Alarm systems shall be developed by a firm certified to perform and design such systems. Copies of the fire alarm system design shall be submitted to the Fire Prevention Division for review and acceptance prior to installation. Systems will not be approved unless tested by the Santa Fe County Fire Department. Fire Alarm systems shall be in accordance with NFPA 72, National Fire Alarm Code for given type of structure and/or occupancy use.

### **Fire Extinguishers**

*Article 10, Section 1002.1 General (1997 UFC) Portable fire extinguishers shall be installed in occupancies and locations as set forth in this code and as required by the chief. Portable fire extinguishers shall be in accordance with UFC Standard 10-1.*

Portable fire extinguishers shall be installed in occupancies and locations as set forth in the 1997 Uniform Fire Code. Portable fire extinguishers shall be in accordance with UFC Standard 10-1.

### **Life Safety**

Fire Protection requirements listed for this development have taken into consideration the hazard factors of potential occupancies as presented in the developer's proposed use list. Each and every individual structure of a commercial or public occupancy designation will be reviewed and must meet compliance with the Santa Fe County Fire Code (1997 Uniform Fire Code and applicable NFPA standards) and the 1997 NFPA 101, Life Safety Code, which have been adopted by the State of New Mexico and/or the County of Santa Fe.

## General Requirements/Comments

### Inspections/Acceptance Tests

Shall comply with Article 1, Section 103.3.2 - New Construction and Alterations of the 1997 Uniform Fire Code, inclusive to all sub-sections and current standards, practice and rulings of the Santa Fe County Fire Marshal.

The developer shall call for and submit to a final inspection by this office prior to the approval of the Certificate of Occupancy to ensure compliance to the requirements of the Santa Fe County Fire Code (1997 UFC and applicable NFPA standards) and the 1997 NFPA 101, Life Safety Code.

### Permits

As required

### Final Status

Recommendation for Final Development Plan approval with the above conditions applied.

*Renee Nix, Inspector*

*Renee Nix*  
Code Enforcement Official

3-11-15  
Date

Through: David Sperling, Chief

File: Elevation-UnivestRanchoViejo/VeduraResidential LLC/031115/LC

Cy: Buster Patty, Fire Marshal  
Case Manager, Jose Larranaga  
Applicant  
District Chief La Cienega  
File

## MEMORANDUM

DATE: January 5, 2015

TO: Jose Larranaga, Commercial Development Case Manager

FROM: Miguel "Mike" Romero, Development Review Spec. Sr.

VIA: Penny Ellis-Green, Land Use Administrator  
Vicki Lucero, Building and Development Services Manager  
Wayne Dalton, Building and Development Services Supervisor

FILE REF: Case # PDP/FDP/13-5381 Elevation at Rancho Viejo

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### REVIEW SUMMARY:

The Applicant requests approval of Preliminary/Final Development Plan for a 214 unit multi-family community on 22.00 acres +/- . The Water Harvesting and Landscape Plan for this project have been reviewed for compliance with Ordinance 2000-12 (**Community College District**), Ordinance 2008-4 (**Water Harvesting**), and Article III Section 4.4.4 f.4, 4.4.4f.11 (**Landscaping Plan**) of the Land Development Code. The subject property is located at 63 College Drive, east of Burnt Water Road, in the Community College Center Village Zone of the Community College District.

### Landscaping

The Applicant proposes to plant native, drought tolerant grasses, shrubs, evergreens, deciduous trees and seasonal flowering plants. The Applicant has proposed to reseed all disturbed areas with native grass seed. The Applicant has also provided a landscape detail providing a planting schedule. Therefor the Applicant has provided a general description for all landscape concepts for this project and meets all pertinent code requirements. **However, the landscape requirements for large parking lots 100 spaces or more require interior landscape 1 deciduous tree and 2 shrubs for every five parking spaces. This element of the code does not comply with the "Code".**

### Water Harvesting

The Applicant proposes to construct a 214 unit apartment complex on 22.00 +/- acres. The Applicant is proposing to install four (4) forty-thousand (40,000) gallon cisterns which will be connected to an irrigation pump station which will accommodate 144,800 gallons of irrigation monthly demand. The Applicant has provided a water budget along with the Water Harvesting Plan. **The Applicant will need to provide a cistern detail and pump detail with the Water**

N1310-88

## MEMORANDUM

**DATE:** February 25, 2015

**TO:** Jose Larranaga, Development Review Team Leader

**FROM:** John Lovato, Terrain Management

**VIA:** Penny Ellis-Green, Land Use Administrator  
Vicki Lucero, Building and Development Services Manager  
Wayne Dalton, Building and Development Services Supervisor

**FILE REF:** CDRC CASE MP 13-5381 Elevation

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### REVIEW SUMMARY

The referenced project has been reviewed for compliance with the Santa Fe County Land Development Code, Ordinance No. 2000-12 Community College District, and Ordinance 2008-10 Flood Damage Prevention and Stormwater Management Ordinance. The request is for Preliminary and Final Development Plan, to allow the creation of a 214 unit apartment complex on 22 acres.

### Terrain Management

The site has 0-20% percent slopes with minor 15%-30% isolated occurrences. The property is not located within a designated FEMA 100 Year flood zone and is located in Firm Panel 35049c0526E dated December 4, 2012 and located in Zone X.

### Storm Drainage and Erosion Control:

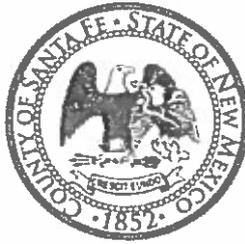
The Applicant's proposal illustrates existing topography, natural drainage, and proposed locations for ponds, as indicated on sheet C8 Ponding Plan. The application indicates 13 total pond locations. The total ponding required for the project is 79,907 cubic feet of ponding. The amount of ponding provided is 88,362 cubic feet of pond area. The proposed project is in conformance of Ordinance No. 2000-12 Community College District and Ordinance 2008-10 Flood Damage Prevention and Stormwater Management.

NB0-89

**Daniel "Danny" Mayfield**  
*Commissioner, District 1*

**Miguel M. Chavez**  
*Commissioner, District 2*

**Robert A. Anaya**  
*Commissioner, District 3*



**Kathy Holian**  
*Commissioner, District 4*

**Liz Stefanics**  
*Commissioner, District 5*

**Katherine Miller**  
*County Manager*

## MEMORANDUM

DATE: December 23, 2014

TO: Jose Larranaga, Development Review Team Leader

FROM: Mathew Martinez, Development Review Specialist

VIA: Vicki Lucero, Building and Development Services Manager  
Wayne Dalton, Building and Development Services Supervisor

FILE REF.: CDRC CASE # PDP/FDP/13-5381 Elevation Multi-Family Community  
Preliminary/Final Development Plan

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### REVIEW SUMMARY

#### ARCHITECTURAL, PARKING, LIGHTING, AND SIGNAGE:

The Referenced Project has been reviewed for compliance with the Santa Fe County Land Development Code and Ordinance # 2000-12 (Regulations for the Community College District). The request for a Multi-Family Community Preliminary/Final Development Plan approval for a 214-unit multi-family community on 22.0 acres. The subject property is located at 63 Collage Drive east of Burnt Water Road.

#### PARKING:

The Applicant has not provided a Parking Plan. The Applicant proposes to utilize 364 parking spaces with 7 Handicap parking spaces. Additional information and submittals are required. The Applicant shall comply with all parking requirements within Ordinance # 2000-12 Section C., and Article III, Section 9 (Parking Requirements). Staff has determined that the Parking element of this Application does not comply with Article III, Section 9 (Parking Requirements).

**ARCHITECTURAL:**

The Applicant has submitted Building Elevations. Which range from 13' 6" to 28' 4" .The Applicant shall comply with the height requirements set fourth within the New Community Center which is 36 feet for up to 25% of the building footprint int. Staff has determined that the Architectural element of the Application is complete.

**SIGNAGE:**

The Applicant has submitted a Signage Plan illustrating a Monument Sign at the entrance of the Development. As per Article VIII, Section 7.13, one permanent Identification sign shall be permitted and sign area shall not exceed 20 square feet in size, the proposed sign is less than 20 square feet in size. The Applicant shall comply with all signage requirements within Article VIII, (Sign Regulations). Staff has determined that the Signage element of this Application does comply with Article VIII, Section 7.13 (Sign Regulations).

**LIGHTING:**

The Applicant has submitted a Lighting Plan illustrating 20 foot pole mounted lights along the driveways and in the parking areas, 8 foot post top lights along the pedestrian walkways, and building mounted scones. All pole mounted lighting shall not exceed 24 feet in height. All lighting shall be shielded. Staff has determined that the lighting element of the Application meets the requirement set forth in VIII, Section 4.4.4 h. of the Code.

**Due to the nature of the comments contained herein, additional comments may be forthcoming upon receipt of the required information.**

NB10-91



**MEMORANDUM**

**DATE:** December 15, 2014

**TO:** Jose Larrañaga, Development Review Team Leader

**FROM:** Maria Lohmann, Open Space and Trails Planner  
Planning Division, Growth Management Department

**VIA:** Robert Griego, Planning Division Manager, Growth Management Department

**RE:** CDRC CASE #DP 13-5381 Elevation Preliminary and Final Development Plan

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I have reviewed the case submittal for technical accuracy and for compliance with the Land Development Code and Ordinance 2000-12 (Community College District), as well as the Community College District Plan and I have determined that the proposal meets all County requirements for Open Space and Trails.

- The minimum 50% open space requirement has been exceeded with 15.1337 acres of open space, totaling 61% of the lot.
- Trail connections to the existing district have been accommodated within lot 1B. An additional connection in lot 1C will need to be accommodated in future developments.

N1310-92

**SANTA FE COUNTY  
RESOLUTION NO. 2015 - 44**

**A RESOLUTION ADOPTING JANUARY – JUNE 2015 SCHEDULE  
OF NEW WATER DELIVERIES**

**WHEREAS**, pursuant to the Santa Fe County Water Department Line Extension and Water Service Policy (Water Service Policy), adopted by Resolution No. 2006-57, the County must approve a schedule of New Water Deliveries; and

**WHEREAS**, as of July 2010, the Board of County Commissioners (BCC) had approved approximately 820.45 acre-feet of water allocations; and

**WHEREAS**, for the period from July to December 2010, the BCC adopted Resolution No. 2010-159 approving 3.25 acre-feet of new Water Deliveries; and

**WHEREAS**, for the period from September 2010 to December 2014, the BCC pursuant to several agreements allocated approximately 1,800 acre-feet of additional water to various communities and projects; and

**WHEREAS**, Vedula Residential Operating, LLC, submitted an application for Preliminary and Final Development Plan approval for a 200-unit multi-family community (referred to as "Elevations") in a New Community Center Village Zone of the Community College District; and

**WHEREAS**, Elevations has requested a New Water Delivery of 32.0 acre-feet; and

**WHEREAS**, pursuant to paragraph IV.B.2 of the Water Service Policy, an additional five percent or 1.6 acre-feet must be set aside "for County purposes"; and

**WHEREAS**, pursuant to paragraph X.A of the Water Service Policy, Elevations must provide water rights or the "cash equivalent" to support the delivery of a total of 33.6 acre-feet to Elevations "plus 20%" or 6.7 acre-feet; and

**NOW, THEREFORE, BE IT RESOLVED** by the BCC as follows:

- 1) The schedule for all New Water Deliveries for the period January through June 2015 is 40.3 acre-feet.
- 2) The New Water Delivery for Elevations shall be 38.4 acre-feet.
- 3) The set-aside of water for Santa Fe County priorities shall be 1.9 acre-feet.



4) This New Water Delivery schedule shall be in effect for one year from the resolution approval date.

**PASSED, APPROVED, AND ADOPTED THIS 24<sup>th</sup> DAY OF MARCH, 2015.  
BOARD OF COUNTY COMMISSIONERS**

  
Robert A. Anaya, Chair  
ATTEST:

  
Geraldine Salazar, Santa Fe County Clerk



**APPROVED AS TO FORM:**

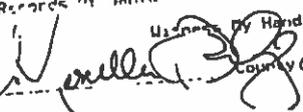
  
Gregory S. Shaffer, Santa Fe County Attorney

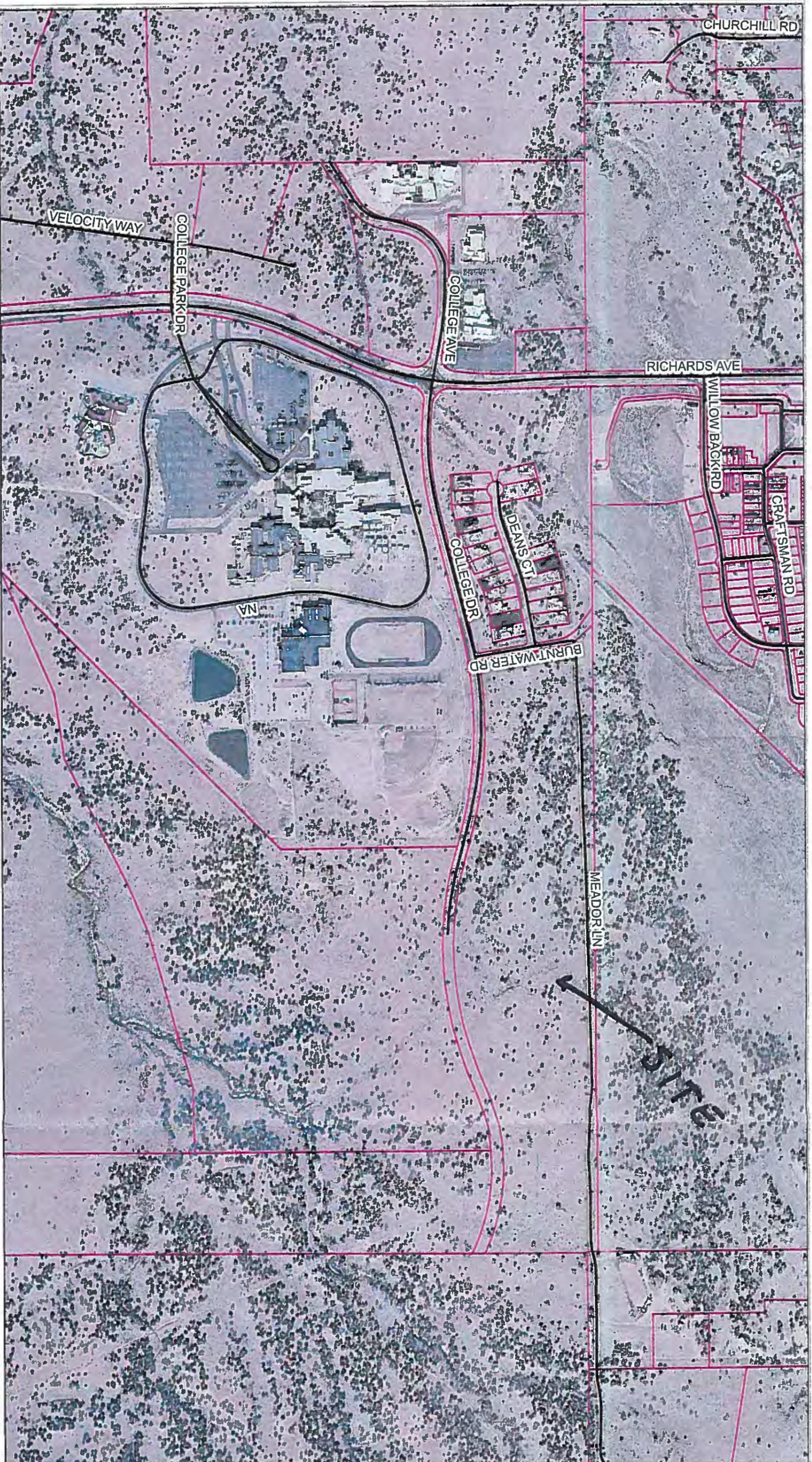
BCC CLERK RECORDED 03 26 2015



COUNTY OF SANTA FE )  
STATE OF NEW MEXICO ) ss  
BCC RESOLUTIONS  
PAGES 2

I Hereshy Certify That This Instrument Was Filed for  
Record On The 25TH Day Of March, 2015 at 03 08 19 PM  
And Was Duly Recorded as Instrument # 1760354  
Of The Records of Santa Fe County

Deputy  Witness By Hand And Seal Of Office  
Geraldine Salazar  
County Clerk, Santa Fe, NM



**Legend**

ROADS

Parcels



1:6,600  
1 inch represents 550 feet



2008 Orthophotography  
2 FOOT CONTOURS

This information is for reference only.  
Santa Fe County assumes no liability for  
errors associated with the use of these data.  
User are solely responsible for  
confirming data accuracy.

N3D-95

March 4, 2014



Henry P. Roybal  
Commissioner, District 1

Miguel M. Chavez  
Commissioner, District 2

Robert A. Anaya  
Commissioner, District 3



Kathy Holian  
Commissioner, District 4

Liz Stefanics  
Commissioner, District 5

Katherine Miller  
County Manager

**CDRC CASE # Z 13-5380 ELEVATION  
VEDURA RESIDENTIAL OPERATING, LLC, APPLICANT**

**ORDER**

**THIS MATTER** came before the Board of County Commissioners (BCC) of Santa Fe County (sometimes, "County") for hearing on July 8, 2014, and September 9, 2014, on the Application of Vedula Residential Operating, LLC (Applicant) for Master Plan Zoning approval in accordance with Santa Fe County Ordinance 1996-10, the Santa Fe County Land Development Code (Code), as amended by the Santa Fe County Ordinance 2000-12, the Community College District Ordinance (CCDO), to allow a multi-family residential apartment community consisting of 214 residential units on 22 ± acres. The BCC, having reviewed the Application, supplemental materials, staff reports, and having conducted a public hearing on the request, finds that the Application is well-taken and should be granted, subject to conditions, and makes the following findings of fact and conclusions of law:

**I. Background**

1. The Applicant requests Master Plan Zoning approval for a 214 unit multifamily residential apartment community, referred to as Elevation, on a 22± acre site (the Property).



NB10-96

2. The Property is located on the north side of College Drive and east of Burnt Water Road in the Community College District, within Section 21, Township 16 North, Range 9 East.

3. "All development within th[e] Community College District is required to submit a Master Plan . . ." Code, Article XV, Section 4.

4. Uninvest-Rancho Viejo, LLC acquired the Property by warranty deed, recorded on December 23, 2010, as instrument 1621125 in the Santa Fe County Clerk's records. At the time of the hearing, the Applicant was in the process of purchasing the Property.

5. The property owner and Applicant authorized Jenkins/Gavin Design & Development, Inc. to act on their behalf in making application for the proposed development, as evidenced by the written authorization contained in the record.

6. The Applicant is proposing approximately 9.7 dwelling units per acre, a density which complies with the CCDO. The development will include one, two, and three bedroom units, for a total of 214 units. There will be approximately 480 parking spaces on site. College Drive will be the access road to the development. The development is proposed to receive water service from the Santa Fe County water utility, and will connect to and receive wastewater treatment services from Ranchland Utility Company, Inc. (Ranchland Utility). The development will have a series of dumpsters that will be screened and gated. Weekly collection of waste will be contracted with a local waste collection company. Amenities of the development are anticipated to include a community pool, and a community work-out facility.

## **II. History of Zoning and Master Planning of the Property**

7. In 1989, the Rancho Viejo de Santa Fe Master Plan was adopted, a master plan which included 570 multi-family units on 55 acres, or approximately 10 dwelling units per acre. That Master Plan specifically identified an area in close proximity to the Property, at the corner of College Drive and Richards Avenue, for high-density multi-family development. The Property was within that portion of the Rancho Viejo de Santa Fe Master Plan that was never developed and expired.

8. The Property was next included in the 1997 College North Master Plan, which proposed single family dwelling units on the Property. Although portions of the College North Master Plan were developed and are now referred to as College Heights, the portion of the Master Plan applicable to the Property expired and has not been developed.

9. The CCDO was adopted on December 11, 2000. The CCDO establishes comprehensive zoning for and governs development in the Community College District, which is Santa Fe County's designated growth area and includes the Property. The Community College District is the only area within Santa Fe County that encourages high density through zoning, and is therefore the only area in the County where development of apartments is feasible without seeking a density variance.<sup>1</sup> The CCDO is intended to ensure a variety of housing types for County residents, including multifamily development.

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<sup>1</sup> Article III, Section 10, of the Code, establishes permissible densities outside of the Community College District. As explained by the County Land Use Administrator at the public hearing, densities available outside of the Community College District Ordinance are too low to make multifamily apartment complexes feasible.

10. The CCDO Land Use Zoning Map, adopted in 2000, designated the Property as part of a Village Zone. The uses permitted in the Village Zone include multifamily residential developments such as that described in the Application. Density within a Village Zone *is a minimum of 3.5* dwelling units per acre. Community Development Plan, adopted by Resolution No. 2000-136, § E(1)(c)(1).

**III. The Public Hearing Process and Evidence of Compliance with the Code**

11. The Applicant complied with the notice requirements of Article II, Section 2.4.2 of the Code. In advance of a hearing on the Application, the Applicant provided a certification of posting of notice of the hearing and confirmed that public notice posting regarding the Application was made for twenty one days on the property, beginning on June 17, 2014. Additionally, notice of the hearing was published in the legal notice section of the Santa Fe New Mexican on June 17, 2014, as evidenced by a copy of that legal notice contained in the record. Receipts for certified mailing of notices of the hearing were also contained in the record for all adjacent property owners and Home Owners Associations. Additionally, the Applicant held multiple community meetings to inform the community about the contemplated development and, after learning of the desire of the community to have the development moved east of its proposed location; the Applicant accommodated that request in the Application.

12. The Applicant undertook a market study to determine if multifamily housing was needed in the area. That study confirmed a significant demand for multifamily rental properties.

13. Elevation will be accessible from College Drive. The County Public Works Department supported the project subject to specific conditions.

14. The Applicant provided a traffic study which confirmed the need to evaluate the level of service at adjacent intersections prior to development plan approval in order to determine what road improvements would be necessary to attain adequate traffic flow. If the project develops without the benefit of an anticipated road project called the Southeast Connector, a traffic analysis will be required to evaluate necessary improvements on Richards Avenue, such as a slip lane, and how much development Richards Avenue, with or without improvements, can support. The Applicant confirmed that off-site road improvements provided by the Applicant could be required as part of the preliminary and final development plan approval process for the project.

15. In accordance with the Code, on May 15, 2014, the County Development Review Committee (CDRC) held a public hearing on the Application and recommended denial of the Application.

16. On July 8, 2014, the BCC held a public hearing on the Application. A staff report was presented to the BCC, the Applicant's agent made a presentation in support of the Application, and 22 members of the public provided testimony in opposition to the Application. The staff report recommending conditional approval of the Application included materials and plans submitted by the Applicant, Code requirements, reviewing agency comments and letters of concern from the public, among other material.

17. Following the extensive public hearing, the BCC went into closed executive session to deliberate on the application as allowed by NMSA 1978, § 10-15-1-H(3). Following executive session, the BCC tabled the case until the September 9, 2014 BCC meeting. The BCC identified three specific issues to be addressed at the September

9 meeting. Specifically, the BCC directed staff to obtain additional information regarding:

a. The basis for the concerns of the New Mexico Environmental Department (NMED) regarding the proposed wastewater treatment provider, Ranchland Utility, as reflected in NMED's report of a compliance evaluation inspection conducted on or about February 25, 2014;

b. The availability of water for the project; and

c. The status of the design, survey, easements and construction timeline associated with the Southeast Connector.

18. On September 9, 2014, the BCC continued the public hearing with respect to the three items, and then acted to approve the Application for Master Plan zoning approval.

19. The following was established during the continued public hearing on September 9, 2014:

a. As confirmed by NMED, a compliance evaluation inspection of the Ranchland Utility wastewater facility was conducted on February 25, 2014. The facility is regulated under the United States Environmental Protection Agency (USEPA), National Pollutant Discharge Elimination System (NPDES) permit program. NMED's Surface Water Quality Bureau conducts compliance evaluation inspections on behalf of the USEPA. The purpose of the inspections is to provide the USEPA with information to evaluate compliance with the NPDES permit. According to NMED, as of the time of hearing, all findings from the inspection report were addressed sufficiently by Ranchland Utility.

b. The Santa Fe County Utilities staff reviewed the Ranchland Utility NPDES inspection report dated March 6, 2014. Based on the information provided, the wastewater facility has capacity to serve the proposed multifamily development.

c. In response to the inquiry regarding availability of water for the project, it was noted that Santa Fe County Utilities had issued a "ready, willing, and able" letter to the Applicant, which provide that water right acquisition costs will be recovered from projects at time of meter installation. Santa Fe County Resolution 2006-57, Resolution Adopting A Santa Fe County Water Resources Dept. Line Extension And Water Service Policy, states that new water service applicants "may be required to deposit or dedicate water rights with the County to match against expected deliveries, pay the County to acquire water rights to match against deliveries that are sought, pay a significant initial service fee, or pay other fees to the County to assist the County to provide a permanent and perpetual water supply." Since water rights and water allocations have been dedicated to the County under the original Rancho Viejo Master Plan Applicants may be able to take credit for those contributions for this development. The Applicants may need to pay a water right acquisition fee at the time of meter installation. These water rights issues are to be resolved prior to preliminary and final development plan approval pursuant to Resolution 2006-57. To address concerns regarding the water budget and water availability for the development, the Utilities Department suggested and the Applicant agreed to certain conditions on master plan approval.

d. The Southeast Connector is currently at the stage of an alignment study. This study evaluates the best alignment for the proposed road. Once the alignment

study is complete, the County may need to acquire rights-of-way for the road project. The road will then need to be designed, and constructed. Based on the best information available at this time, the estimated schedule for this road project is: alignment study completed – February 2015; Right-of-Way acquired – November 2015; design completed – November 2016; and, construction completed – July 2017.

20. Affordable housing requirements set forth in County ordinances only apply to single family dwelling units on individual lots, and thus do not govern development of the proposed multi-family apartment development.

21. The archaeological review presented no obstacles to granting Master Plan Approval, and the Applicants will note a non-disturbance easement on the Development Plan submittal or survey.

22. The Property is not located within a FEMA designated 100 year flood zone. Floodplain and terrain management were adequately addressed by the Application.

23. The Application proposed two monument signs at the entrance to the development, which was not in conformance with the Code. The Preliminary Development Plan will have to reflect a single sign. Similarly, the 25 foot lighting proposal will have to be reduced to a maximum of 24 feet in height for the Preliminary Development Plan. Neither defect is sufficient to serve as a basis for denial of the Application, which is simply for approval of the Master Plan.

24. Fire protection was sufficient as proposed.

25. The Master Plan contained the mandatory 50% minimum open space and accommodates planned district trails.

26. No objection to the Application was identified by the Office of the State Engineer, New Mexico Environment Department, New Mexico Department of Transportation, and Santa Fe Public Schools.

27. Santa Fe Community College, one of the largest employers in New Mexico, is located adjacent to the proposed development, and across the street from the development is the College Park. Also in the area are: Amy Biehl School, the ATC Charter School, the Institute of American Indian Arts (IAIA), and La Entrada Commerce Park, which is currently home to Bicycle Technologies International (BTI). The proximity of these employers to the Property illustrates the potential customer base for the development. Not all residents seek home ownership, and the multi-family development will offer residents an alternative to home ownership. A housing needs assessment conducted by Santa Fe County confirmed that employers felt that access to housing was one of the most important needs to address in the community; a need which is partially addressed by development of multi-family housing.<sup>2</sup>

28. Elevation includes a community pool, which is permitted under the CCDO Land Use Table and Santa Fe County Ordinance No. 2007-1.

29. The water budget for the project is estimated as 30-34 acre feet per year, which will be equivalent to approximately .14 to .16 acre feet per dwelling unit. The Applicants confirmed that at the time of preliminary and final development plan approval they would either prove entitlement to utilize water rights already dedicated to the County, acquire sufficient water rights for transfer to the County, or pay the County for

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<sup>2</sup> The conclusion of the Housing Needs Assessment was the subject of testimony at the public hearing. In addition, the BCC may properly take administrative notice of the County's own Housing Needs Assessment.

any water rights required for the development. The determination of how water rights will be provided by the developer to the County is governed by Resolution 2006-57 and is not required for master plan approval.

30. The Applicants' engineer testified in support of the Application in regards to the sewer line and waste water treatment facility proposed for the development. Her expert opinion was that the sewer line and waste water treatment facility, components of which are to be installed and components of which already exist, would be adequate to accommodate the demands of Elevation. She described a three inch low pressure sewer line that runs from College Hills Drive to Richards Avenue, down Richards Avenue to Avenida del Sur and into a manhole that flows to the Rancho Viejo treatment plant. The three inch line has capacity for more than 400 units. NMED also reviewed the Application and did not indicate any basis for rejecting the Application as a result of the Rancho Viejo wastewater treatment facility. NMED Ground Water Quality Bureau determined that the proposal fit within the current conditions of Rancho Viejo's Ground Water Discharge Permit and no further permitting would be required.

#### **IV. Opposition to the Application**

31. Twenty-two members of the public, including those representing homeowners associations and groups of area residents, testified against the Application.

32. The basis for opposition to the project presented from members of the public can generally be characterized as follows:

a. Concern over the adequacy of the existing wastewater infrastructure which would serve the development;

b. Concern that renters living in Elevation would not be compatible with the home owners in the community and that Elevation may bring an increase in crime to the area;

c. Frustration that what was once master-planned as 73 single-family residences had been partially built out with 22 single-family residences and that the Property was now being master planned for multifamily development;

d. Concern about the increased traffic generated by the development;

e. Concern regarding the visual impact of a multifamily development;

f. The impact of multifamily development on property values;

g. Failure to include all property in the village zone owned by Uninvest-Rancho Viejo, LLC in the Application;

h. Failure to ensure a transitional buffer between the multifamily development proposed and the existing single-family development to the east;

i. Concerns that the Property had been de-annexed from the private covenants governing property within the Rancho Viejo development, which means the Property does not have to pay dues into the homeowners association or support the trails and open space in Rancho Viejo.

33. With regard to generalized concerns regarding compatibility between renters living in Elevation and home owners in the community, crime allegedly associated with apartment complexes, the impact of Elevation on property values, and concerns about the visual impact of Elevation, the BCC specifically finds that these

general concerns were unsupported by substantial evidence, in the form of testimony from individuals qualified to render an expert opinion or other competent evidence.<sup>3</sup>

34. The Southeast Connector is intended to provide an improved traffic network within the Community College District, thereby relieving traffic congestion on Richards Avenue. The Southeast Connector, if constructed, will be a Santa Fe County road. The road, if installed as described during the public hearing on this matter, would run between the existing single family residential area known as College Heights and the Property. Applicant has confirmed that the location of the apartment buildings on the subject property may be moved once the final alignment of the Southeast Connector is determined.

35. Reviewing agencies and County staff confirmed that the Application was in compliance with all relevant requirements contained in the Code and the CCDO.

36. The information provided at the September 9, 2014 public hearing confirmed, and the BCC hereby finds, as follows:

- a. The wastewater requirements for the proposed development can be adequately met by Ranchland Utilities and existing and proposed infrastructure;
- b. The Applicant has met the Master Plan requirements of the Code and the CCDO pertaining to water; and
- c. That traffic concerns are appropriately addressed at the time of preliminary and final development plan approval.

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<sup>3</sup> For example, some opponents to the Application, area residents not qualified as expert witnesses, speculated about the demographics of potential residents of Elevation apartments and made assumptions about the likely behavior of those residents based upon those assumed demographics.

## V. Conclusions of Law

37. Any finding or conclusion set forth above that may be construed to constitute a conclusion of law is hereby incorporated as such to the same extent as if it was expressly denominated as a conclusion of law.

38. The Application is comprehensive in establishing the scope of the project.

39. The Master Plan conforms to the eligible use and density allowed under the CCDO and the Community College District Plan.

40. The Application satisfied the relevant submittal requirements.

41. The Application does not request a rezoning of the Property. Rather, the CCDO establishes comprehensive zoning for the entire Community College District, including the Property. Allowable uses for the Property include multifamily residential developments of over four units, since the Property is within a Village Zone. CCDO, Community College District Land Use Zoning Map and Exhibit 2. In other words, the Property is already zoned for multifamily residential developments of over four units (as well as other uses). *E.g.*, Code, Article XV, Section 4(B)(1)(b) (“All lands within the Community College District are zoned for the uses allowed in the Land Use Table.”). Consequently, the change or mistake rule established by the New Mexico Supreme Court in such cases as *Miller v. City of Albuquerque*, 1976 -NMSC- 052, 89 N.M. 503 (N.M. 1976) does not apply to the Application.

42. There is no specific buffer requirement in the Code or CCDO between single family developments and multifamily developments. The Application complies with all applicable buffering and open space requirements.

43. With regard to general principles, the Sustainable Growth Management Plan (SGMP), adopted by Resolution Nos. 2010-210 and 2010-225, recognizes that “that when a use is authorized in a base or planned district zone, the use itself is deemed compatible with the adjoining area.” SGMP, § 2.2.4.5. As indicated above, the Property is zoned for multifamily residential development of over four units, meaning that the BCC has previously determined that multifamily residential development is compatible with the adjoining area. This general compatibility is demonstrated when College Heights and the Property are put in context: They are both in close proximity to large scale, mixed uses (e.g., the Community College, Santa Maria de la Paz Church, and BTI).

44. With regard to development specific compatibility issues, the SGMP establishes as a goal “the protection of residential areas through open space and buffering site design” and emphasizes that “[s]ite design plays the most significant role in assuring land use compatibility.” Here, the Application proposes to maintain 50% of the Property as open space, as required by the Code, Article XV, Section 6(H)(2)A). This includes open space between all property boundaries and buildings on the Property. In addition, the landscape plan for Elevation includes vegetation between the buildings and property boundaries. These conceptual site design elements are consistent with the general policy goal of the SGMP of using open space and site design to ensure land use compatibility.

45. The BCC does not have jurisdiction over the following matters: (i) the legality of the de-annexation of the Property from the First Amended and Restated Declaration Covenants, Conditions and Restrictions, including any alleged inequity arising from the multifamily development being exempt from homeowners association dues, and (ii) whether the Elevation development proposed in the Application should be

enjoined because it is inconsistent with the marketing material used to sell lots in College Heights. *E.g., Singleterry v. City of Albuquerque*, 1981 -NMSC- 037, ¶¶ 6-10, 96 N.M. 468 (N.M. 1981). These issues are for the courts to resolve in litigation brought by and between appropriate parties.

46. The Application does not violate Code, Article XV, Section 4(B)(2)(a), which provides that “[t]he minimum area which must be included within a master plan shall be an entire Village Zone, Employment Center Zone or Institutional Campus Zone, or that portion of such zone owned by the applicant.” The Application includes all of the land within the Village Zone that the Applicant is in the process of acquiring. There is no evidence in the record that the sale to the Applicant is a non-bona fide transaction or that Univest-Rancho Viejo, LLC is otherwise engaging in activity designed to avoid master planning all of the property within the village zone it owns, which evidence, if present, might justify an interpretation of Article XV, Section 4(B)(2)(a) that would require Univest-Rancho Viejo, LLC to master plan all of the property it owns in the applicable zone.

47. Master plan approval means that “that the development concept is acceptable and that further approvals are likely unless the detailed development plans cannot meet the requirements of applicable law and County ordinances in effect at that time.” Code, Article V, § 5.2.6(a).

48. Article III, Section 4.4.1.5(b) of the Code requires that when a “development will increase the burden on inadequate public roads, utilities or other services, the use may be denied, or the developer may be required to undertake the full cost of improvements to the public road or other services in order to meet the test of

adequacy.” As the Applicant acknowledged at the public hearing, traffic impact from the proposed development and the adequacy of public roads must be addressed prior to preliminary or final development plan approval. Depending upon the then current level of service on Richards Avenue and College Drive as well as the status of the Southeast Connector, Applicant may be required to undertake the full cost of improvements necessary to provide adequate service and/or limit the size of the proposed development to a level that can be adequately served.

49. Subject to the conditions noted below, the application should be approved based upon the criteria established in Code, Article XV, Section 4(B)(3), as follows:

a. The Application conforms to the Santa Fe County Growth Management Plan, as amended by the Community College District Plan, and SGMP. Without limiting the generality of the foregoing conclusion, the Community College District Plan and SGMP call for higher densities and growth in the Community College District, specifically establish the goal of encouraging multifamily, rental housing developments, and specifically recognize the desirability of diverse housing opportunities near work, transit infrastructure, commercial areas, and community services. *E.g.*, Community College District Plan, adopted by Resolution No. 2000-136, § D(9), § E(1)(c), and § (E)(8); SGMP, Policy 8.2, Policy 8.3, Critical Finding 13.2.1 and § 14-2.1.2 (recognizing community plans adopted by the BCC as amendments to the SGMP).

b. The Application does not propose phasing.

c. At the conceptual level required for master plan approval, the Application conforms to the CCDO and other applicable law and ordinances in effect at the time of consideration.

d. There will be no impact to schools, as demonstrated by the January 21, 2014 letter from Shirley McDougall, Santa Fe Public Schools, Property & Asset Management, which states, in part, that “current capacities at assigned schools . . . will be adequate to serve the anticipated student population from this development.” Opponents to the Application failed to establish through substantial evidence that the Application would negatively impact their land to a degree sufficient to justify denial of the Application. With respect to impacts to Santa Fe County, Elevation will address an identified goal of providing multifamily residential development, as established above in the paragraph concerning conformity with the Community College District Plan and SGMP. In terms of potential impacts upon the adequacy of public roads, as previously indicated, traffic impacts will be evaluated and addressed at preliminary and final development plan approval.

50. The following conditions of approval shall be applicable and have been agreed to by Applicants:

- a. The Applicants shall comply with all review agency comments and conditions, as per Code, Article V, § 7.1.3.c.
- b. Conditions shall be noted on the recorded Master Plan. The Master Plan with appropriate signatures shall be recorded with the County Clerk, as per Code, Article V, § 5.2.5.
- c. A revised traffic impact analysis, showing current road conditions, shall be submitted based on the Southeast Connector at the time of submission of the Application for Preliminary Development Plan. Code, Article III, § 4.4.1.5.c.

d. Prior to submittal for Preliminary Development Plan Approval, the Applicant is required to submit a proposed water budget that meets County code requirements and incorporates Santa Fe County conservation ordinances and resolutions. Upon approval, Utilities will add 20% to the development's water budget for line losses per Resolution 2006-57 and submit the water budget to the BCC for a water allocation.

e. Prior to submittal for Preliminary Development Plan Approval, the Applicant must have a BCC-approved water allocation in the amount needed for the development's water budget.

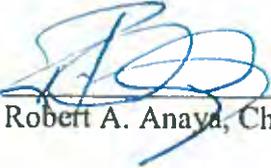
f. Prior to Final Development Plan Approval, Elevation may provide the County Rio Grande surface water rights or Rancho Viejo water commitments. Otherwise, a water right acquisition fee will be added to the meter installation fee for each dwelling unit, which will be metered separately per Santa Fe County Resolution 2012-88, Customer Service Policy 15.

**WHEREFORE**, the BCC hereby approves the request for Master Plan Zoning approval to allow a multifamily residential apartment community consisting of 214 residential units on 22 ± acres, subject to the conditions set forth in Paragraph 50 above. The motion to approve the Application passed by a 3-2 vote, with Commissioners Anaya, Holian, and Chavez voting in favor of the motion. Commissioners Stefanics and Mayfield opposed the motion.

**IT IS SO ORDERED.**

This Order was approved by the Santa Fe County Board of County Commissioners on this 13<sup>th</sup> day of January, 2015.

**SANTA FE COUNTY BOARD OF COUNTY COMMISSIONERS**

By:   
Robert A. Anaya, Chair

Attest:

  
Geraldine Salazar, County Clerk  
1-13-2015



Approved as to form:

  
Gregory S. Shaffer, County Attorney



COUNTY OF SANTA FE )  
STATE OF NEW MEXICO ) ss

BCC ORDER  
PAGES: 19

I Hereby Certify That This Instrument Was Filed for Record On The 14TH Day Of January, 2015 at 01:50:53 PM And Was Duly Recorded as Instrument # 1754938 Of The Records Of Santa Fe County

Witness My Hand And Seal Of Office  
Geraldine Salazar  
Deputy  County Clerk, Santa Fe, NM

2015 JAN 13 10:00 AM



X = uses eligible  
I = In zone  
S = special use

USE CATEGORY	VILLAGE ZONES					OTHER ZONES				
	New Community Center	Neighborhood Center	Neighborhoods (optional)**	Fringe Zone	Rural Zone	Employment Center Zone	Institutional Campus Zone	Open Space	Village Separators	
<b>ELIGIBLE USES</b>										
Residential and Residential Accessory	X	X	X	X	X					
Bed and Breakfast (6 units max.)	X	X	X	X	X					
Group Homes and Shelters	X	X	X	X	X					
Guest Houses and secondary dwellings	X	X	X	X	X					
Home Day Care (12 or fewer children)	X	X	X	X	X					
Home Occupations	X	X	X	X	X					
Live / Work Dwellings	X	X	X	X	X					
Residential, dormitories	X	X	X	X	X					
Residential, Limited Multifamily (4units max.)	X	X	X	X	X					
Residential, Multifamily (over 4 units)	X	X	X	X	X					
Residential, Single family	X	X	X	X	X					
Retirement Homes/Assisted Living	X	X	X	S	X					
Studios	X	X	X	X	X					
<b>Civic/Public/Institutional</b>										
Auditoria, Community Theatres, Museums	X	X	X	X	X					
Cemeteries	X	X	X	X	X				S	
Churches/Religious Institutions	X	X	X	X	X					
Day Care (more than 12 children)	X	X	S	X	X					
Hospitals	X	X	X	X	X					
Nursing Homes	X	X	X	S	X					
Private Club/Lodges	X	X	X	S	X					
Public Buildings	X	X	X	S	X					
Recreational areas, play fields & facilities, including school fields	X	X	X	S	X				S	
Recreational buildings, public indoor	X	X	S	S	X					
Schools: Colleges, Universities, Vocational	X	X	X	S	X					
Schools: K-6, Public	X	X	X	S	X					
Schools: Middle or High, Public ***	X	X	X	S	X					
Schools: Private	X	X	X	S	X					
<b>Commercial/Industrial</b>										
Automotive sales/Auto, truck or RV dealerships	S				S					
Automotive services/ Car Washes	S	S			X					
Automotive services/ Gas stations	S	S			S					
Automotive services/ repair shops	S	S			X					
Banks/Financial Institutions	X	X			X					
Business & Personal Services	X	X			X					
Campgrounds, RV parks	X	X		X	X					
Construction supplies & yards	X	X			X					
Distribution facilities	S				S					
Greenhouses/Plant nurseries	X	X		X	X					
Guest Ranches, Resorts	X	X		S	X					
Health Clubs	X	X			X					
Hotel, motel, inns, Bed & Breakfast (over 6 units)	X	S			X					
Indoor Recreational Centers	X	S			X					
Industrial, Light & crafts manufacture	S	S			S					

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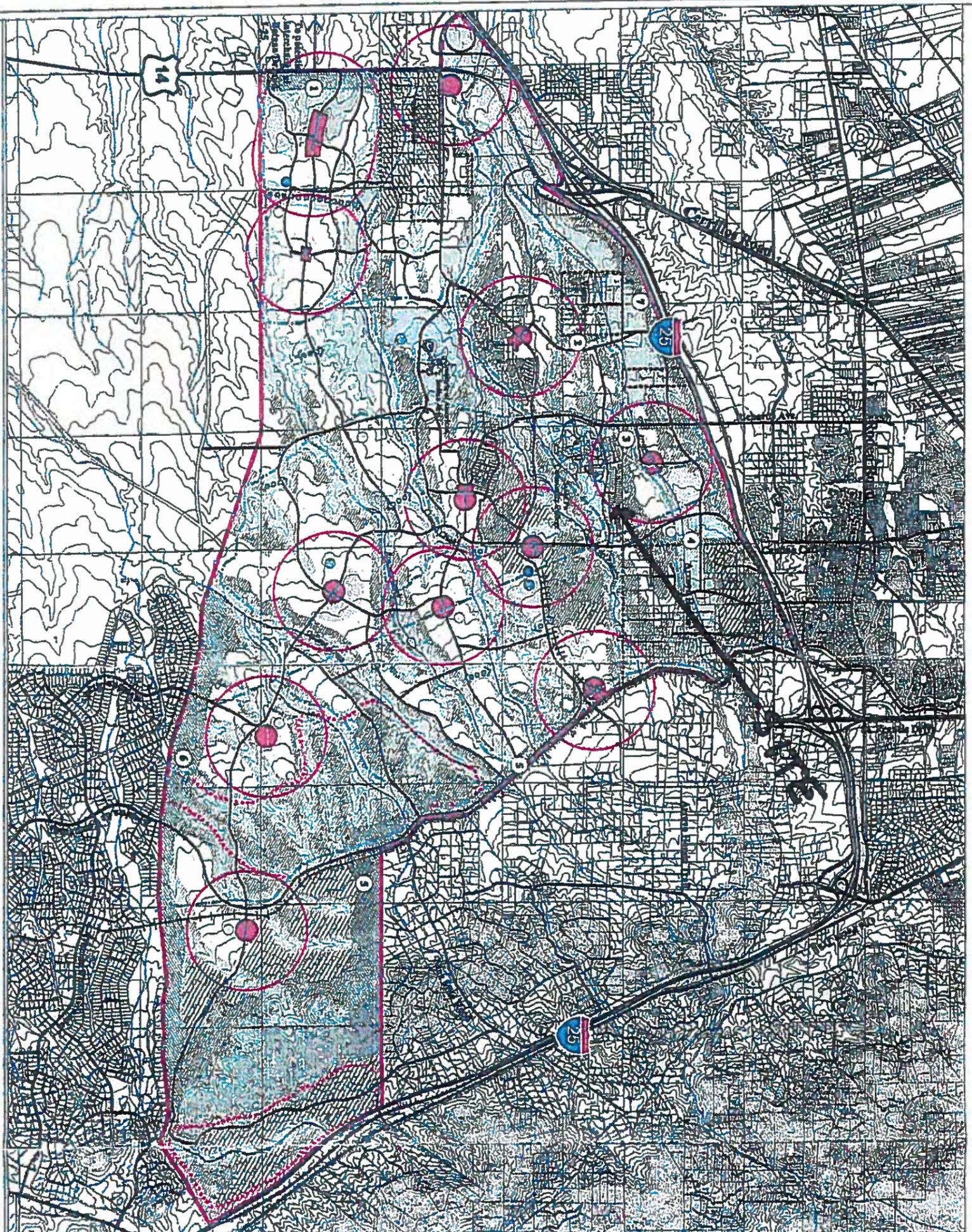


11-02-NBD-11

# Land Use Zoning Map

## Legend

- Community College District Boundary
  - Major Drainages
  - Existing Rail Road
  - Proposed Rail Road
  - Village Zones
  - Railroad/Plane Jumper
  - Employment Campuses and Centers
  - Institutional Campuses
  - Arroyo Corridors and Open Space
  - Roads - Proposed & Existing
  - Village Separators
  - District Trails
  - Proposed Allignments
  - Rural Zones
  - Extending Neighborhood Zones
  - New Community Centers & Walking Trails
- Biotope Zones:**
- Hillsides/Plane Jumper
  - Hillsides/Crestlands
- Buffer Areas:**
- ① Upland 1/4 buffer
  - ② Vea Urban buffer
  - ③ McKinley Ave./200 N. 5th St. buffer
  - ④ Arroyo Grande West buffer
  - ⑤ Non-18th buffer
  - ⑥ El Dorado buffer
  - ⑦ 10th-10th Highway Corridor buffer to Highway Corridor
- Elementary Schools
  - Middle Schools
  - High Schools



Approved by Santa Fe Planning Commission, October 21, 2009  
 Approved by Santa Fe City Council, January 15, 2010  
 Approved by Santa Fe County Board of Commissioners, February 11, 2010  
 Approved by Santa Fe County Board of Commissioners, March 1, 2010  
 Approved by Santa Fe County Board of Commissioners, March 15, 2010  
 Approved by Santa Fe County Board of Commissioners, March 22, 2010  
 Approved by Santa Fe County Board of Commissioners, March 29, 2010  
 Approved by Santa Fe County Board of Commissioners, April 5, 2010  
 Approved by Santa Fe County Board of Commissioners, April 12, 2010  
 Approved by Santa Fe County Board of Commissioners, April 19, 2010  
 Approved by Santa Fe County Board of Commissioners, April 26, 2010  
 Approved by Santa Fe County Board of Commissioners, May 3, 2010  
 Approved by Santa Fe County Board of Commissioners, May 10, 2010  
 Approved by Santa Fe County Board of Commissioners, May 17, 2010  
 Approved by Santa Fe County Board of Commissioners, May 24, 2010  
 Approved by Santa Fe County Board of Commissioners, June 7, 2010  
 Approved by Santa Fe County Board of Commissioners, June 14, 2010  
 Approved by Santa Fe County Board of Commissioners, June 21, 2010  
 Approved by Santa Fe County Board of Commissioners, June 28, 2010  
 Approved by Santa Fe County Board of Commissioners, July 5, 2010  
 Approved by Santa Fe County Board of Commissioners, July 12, 2010  
 Approved by Santa Fe County Board of Commissioners, July 19, 2010  
 Approved by Santa Fe County Board of Commissioners, July 26, 2010  
 Approved by Santa Fe County Board of Commissioners, August 2, 2010  
 Approved by Santa Fe County Board of Commissioners, August 9, 2010  
 Approved by Santa Fe County Board of Commissioners, August 16, 2010  
 Approved by Santa Fe County Board of Commissioners, August 23, 2010  
 Approved by Santa Fe County Board of Commissioners, August 30, 2010  
 Approved by Santa Fe County Board of Commissioners, September 6, 2010  
 Approved by Santa Fe County Board of Commissioners, September 13, 2010  
 Approved by Santa Fe County Board of Commissioners, September 20, 2010  
 Approved by Santa Fe County Board of Commissioners, September 27, 2010  
 Approved by Santa Fe County Board of Commissioners, October 4, 2010  
 Approved by Santa Fe County Board of Commissioners, October 11, 2010  
 Approved by Santa Fe County Board of Commissioners, October 18, 2010  
 Approved by Santa Fe County Board of Commissioners, October 25, 2010  
 Approved by Santa Fe County Board of Commissioners, November 1, 2010  
 Approved by Santa Fe County Board of Commissioners, November 8, 2010  
 Approved by Santa Fe County Board of Commissioners, November 15, 2010  
 Approved by Santa Fe County Board of Commissioners, November 22, 2010  
 Approved by Santa Fe County Board of Commissioners, November 29, 2010  
 Approved by Santa Fe County Board of Commissioners, December 6, 2010  
 Approved by Santa Fe County Board of Commissioners, December 13, 2010  
 Approved by Santa Fe County Board of Commissioners, December 20, 2010  
 Approved by Santa Fe County Board of Commissioners, December 27, 2010

# Santa Fe Community College District



- d) To the extent required by this Ordinance, applicants who have received Master Plan approval prior to the adoption of the Community College District Ordinance, shall show the location of open space, required parks, plazas and trails on subsequent development plans and subdivision plats.

3. Criteria for Approval

The criteria for approval of master plan applications in the CCD are as follows:

- a) Conformance to the Santa Fe County Growth Management Plan as amended by the Community College District Plan;
- b) Viability of the proposed phases of the project to function as completed developments in the case that subsequent phases of the project are not approved or completed;
- c) Conformance to the CCDO and other applicable law and ordinances in effect at the time of consideration, including required improvements, proposed roads and trails, community facilities, design and or construction standards, and open space standards; and
- d) Impacts to schools, adjacent lands or the County in general.

4. Master Plan Denial

If a master plan is denied, the applicant shall be apprised of the reasons for denial.



C. Preliminary Development Plan

1. Procedures

Article V, Section 7.1.3 shall apply.

2. Submittals

Article V, Section 7.1 and the Design Standards as set forth in this Article XV shall apply to all submittals. In addition, the following submittals are required:

- a) A Stormwater Management Plan which demonstrates the standards set forth in Article VII, Section 1 and 3, and Article XV;
- b) A trail construction and maintenance plan; and
- c) A survey prepared by a licensed New Mexico surveyor which, at a minimum, provides a metes and bounds description of the development, including zone and landscape type boundaries.

3. Criteria for Approval

The criteria for approval of Preliminary Plan applications are as follows:

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- a) The development has sufficient water availability to sustain the phase of the project for which the application is made;
- b) The necessary infrastructure including roads and utilities are designed for viability of the phase of the project for which the application is made; and
- c) All standards set forth in the CCDO have been met.

D. Final Development Plans

1846025

1. Procedures

Article V, Section 7.2.2 shall apply. Special Uses (see Exhibit 2, Land Use Table) shall be subject to review and recommendation by the CDRC and review and approval by the BCC at public hearings.

2. Submittals

All submittals required in Article V, Section 7.2.1 shall apply.

3. Criteria for Approval

- a) The criteria for approval of final plan applications are as follows:
  - i. All conditions of Preliminary approval have been met;
  - ii. Financial guarantees have been provided;
  - iii. All preliminary reports are made final and are in compliance with conditions of approval, staff recommendations and all applicable County Standards; and
  - iv. All other submittal requirements have been met and approved.
- b) In approving a Special Use the BCC shall consider the following:
  - i. Whether the proposed use is appropriate in the specific location;
  - ii. Environmental impacts including, without limitation, noise, lighting, traffic and visibility effects generated as a result of the development are mitigated so that its effects on the adjoining properties are minimized; and
  - iii. The intent and principals of the CCD Plan are implemented by the approval of the proposed use at the proposed location.

SECTION 5 LAND USE AND ZONING REGULATIONS

A. Eligible, Special and Prohibited Uses

The eligible, special and prohibited uses for each zoning district or development type within the CCD are set forth in the Land Use Table. The Land Use Table shall be

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- a) ~~The development has sufficient water availability to sustain the phase of the project for which the application is made;~~
- b) ~~The necessary infrastructure including roads and utilities are designed for viability of the phase of the project for which the application is made; and~~
- c) ~~All standards set forth in the CCDO have been met.~~



D. Final Development Plans

1846025

1. Procedures

Article V, Section 7.2.2 shall apply. Special Uses (see Exhibit 2, Land Use Table) shall be subject to review and recommendation by the CDRC and review and approval by the BCC at public hearings.

2. Submittals

All submittals required in Article V, Section 7.2.1 shall apply.

3. Criteria for Approval

- a) The criteria for approval of final plan applications are as follows:
  - i. All conditions of Preliminary approval have been met;
  - ii. Financial guarantees have been provided;
  - iii. All preliminary reports are made final and are in compliance with conditions of approval, staff recommendations and all applicable County Standards; and
  - iv. All other submittal requirements have been met and approved.
- b) In approving a Special Use the BCC shall consider the following:
  - i. Whether the proposed use is appropriate in the specific location;
  - ii. Environmental impacts including, without limitation, noise, lighting, traffic and visibility effects generated as a result of the development are mitigated so that its effects on the adjoining properties are minimized; and
  - iii. The intent and principals of the CCD Plan are implemented by the approval of the proposed use at the proposed location.

SECTION 5 LAND USE AND ZONING REGULATIONS

A. Eligible, Special and Prohibited Uses

The eligible, special and prohibited uses for each zoning district or development type within the CCD are set forth in the Land Use Table shall be



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**SECTION 6 - FEES AND LEVIES****6.1 Standard Fees**

Any person desiring to subdivide land in the County shall pay the current administrative fees set by the County. A fee schedule, which may be periodically amended, is available from the Code Administrator.

**6.2 Additional Fees for Unusual Circumstances**

Where additional review by the County is required above and beyond normal review requirements due to complex, unforeseen, or unique circumstances relating to the proposed plan or plat, such as complex hydrological considerations, then the County may charge an additional review fee to defray the cost of such review. Review fees shall be only for professional services rendered to the County in the case that the County does not have qualified personnel to assist in reviewing such reports, plans and plats. When an additional fee is deemed necessary, the fee shall be arrived at between the County and the subdivider.

**SECTION 7 - DEVELOPMENT PLAN REQUIREMENTS****7.1 Preliminary Development Plans****7.1.1 Pre-application conference**

- a. Prior to the application for approval of a preliminary development plan for any phase or for an entire project, the subdivider may confer with the Code Administrator regarding the plan submittal and requirements of the Code according to Section 5.1 of this Article
- b. At this time a determination will be made as to the appropriate scale and format for plans and plats and as to the appropriateness of applicable submittal requirements.

**7.1.2 Information to be submitted**

- a. Evidence of legal lot of record;
- b. Contour intervals of two feet or such other appropriate scale as determined by the Code Administrator.
- c. Arrangements, location and size of buildings, where applicable;
- d. Off-street parking and loading or dumping facilities, where applicable;
- e. Internal vehicular and pedestrian circulation, and ingress and egress;
- f. A drainage, grading, and erosion control plan including existing and proposed contours for roads and utilities; a preliminary/conceptual grading plan around buildings, when applicable;
- g. A landscaping plan providing a schedule specifying conceptual methods, to include type, size, and location of vegetative and non-vegetative landscape material, and a preliminary description of the irrigation system to be used;
- h. Walls, fences and earth berms; their approximate locations and identifying types of fences and walls, if applicable;
- i. Size, location, orientation, lighting and type of signage, where applicable;
- j. Conceptual plan for outdoor lighting, including type, size, location of fixtures, if applicable,
- k. Easements, rights-of-way and street design:
  - l. Access to telephone, gas, and electric utility service;
  - m. Utility plan for water and sanitary sewer;
  - n. Residential densities/gross acres;



- o. Intensity of non-residential development, including lot coverages, gross floor area ratios or gross square feet of building area;
- p. A vicinity map showing the boundaries of the project, owners of record within one hundred feet of the tract including public rights-of-way and existing conditions and development, including adjacent streets and utilities, for at least two hundred feet from the project boundaries;
- q. If appropriate, the phases and approximate dates of development of the phases;
- r. The plan shall be drawn at a scale of one hundred feet (100') to the inch or such other appropriate scale as determined by the Code Administrator;
- s. Proposed community facilities and/or sites and recreational areas, if any, and proposed ownership of such;
- t. A schedule of on-site and off-site public improvements with the time of construction related to the phasing schedule;
- u. Information as required by state agencies;
- v. The preliminary subdivision plat may be submitted concurrently with the preliminary development plan, but is not required. Submittal of a schematic or sketch subdivision plat showing proposed lot layout, approximate dimensions and lot areas together with topography and natural features; and
- w. A written traffic report prepared by a licensed traffic engineer or other qualified expert as determined by the Code Administrator.
- x. Schools Impact Report. A written report which projects the effects the proposed project will have on public schools, and which includes: the proposed number, size, and price of residential units within the project; a description of the project's target market; and where applicable, any special educational needs of the project's school-aged residents. The report will also identify the schools that service the area of the proposed project and their boundaries, the transportation available to those schools, and a list of any pending or approved residential developments within those schools' boundaries. Copies of the schools impacts notice shall be submitted to the school district in which the project is located and to the Code Administrator.
- y. Water Supply Plan - Water System. As required by Article VII, Section 6 of the Code and Table 5.1, of Section 9.3 of this Article V.
- z. Solid Waste Disposal Plan. As required by Article VII, Section 7 of the Code.
- aa. Liquid Waste (Disposal) Plan. As required by Article VII, Section 2 of the Code.
- bb. Timing and Phasing of Development. Projections for 5 to 10 years.
- cc. Copies of deed restrictions and protective covenants must be submitted.

### 7.1.3 Review

- a. A preliminary development plan may be only a phase or portion of the area covered by an approved master plan, so long as the preliminary development plan substantially conforms to the approved master plan.
- b. A preliminary development plan shall be submitted prior to or concurrent with submission of a preliminary plat.
- c. The application for preliminary development plan approval shall be presented to the County Development Review Committee for review with a staff report. The staff report shall include a description of the proposed project, an evaluation of pertinent planning issues, and a statement on the compliance of the project with the County General Plan and Code. The report may include recommended conditions of approval. The report shall include all comments from appropriate State or Federal agencies, the County Fire Marshal, the County Hydrologist, and other appropriate County personnel. Particular attention shall be given in the staff report to public

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agency comments which relate to potential limitations of lot size, intensity, or character of development.

**7.1 Criteria for development plan phase approval**

- a. Conformance to the approved master plan;
- b. The plan must meet the criteria of Section 5.2.4 of this Article V.

**7.2 Final Development Plan**

**7.2.1 Submittals**

A final development plan conforming to the approved preliminary plan and approved preliminary plat, if required, and containing the same required information shall be submitted. In addition, the final development plan shall show, when applicable, and with appropriate dimensions, the locations and size of buildings, heated floor area of buildings, and minimum building setbacks from lot lines or adjoining streets. Documents to be submitted at this time are: proof of ownership including necessary title documents, articles of incorporation and by-laws of owners' association; required disclosure statements; final engineering plans and time schedule for grading, drainage, and all improvements including roads, water system, sewers, solid waste, utilities; engineering estimates for bonding requirements; development agreements; and final subdivision plats, if required.

**7.2.2 Review**

The final development plan shall be submitted to the County Development Review Committee accompanied by a staff report. The County Development Review Committee shall review the plan and make a determination as to its compliance with the County General Plan and Code. The County Development Review Committee may recommend changes or additions to the plan as conditions of its approval. The final development plan as approved by the County Development Review Committee shall be filed with the County Clerk. The approved final development plan becomes the basis of development permits and for acceptance of public dedications. Any changes in the plan must be approved by the County Development Review Committee.

History. 1980 Comp. 1980-6. Section 7 of Article V was amended by County Ordinance 1987-1 adding language relating to master plans.

**SECTION 8 - SUBDIVISION DESIGN STANDARDS**

These standards shall be binding upon the subdivider unless modifications are justified by sound engineering principles. Such modifications from these standards may be approved by the Board after a review by the County Development Review Committee upon presentation of documented justification by a licensed professional engineer.

**8.1 General Policy on Roads**

**8.1.1 General**

The arrangement, character, extent, width, grade and location of all roads shall be considered in relation to convenience and safety, and to the proposed uses of land to be served by such roads. Prior to grading or roadway cuts, all applicable permits shall be granted by the Code Administrator.

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agency comments which relate to potential limitations of lot size, intensity, or character of development.

7.1.4 Criteria for development plan phase approval

- a. Conformance to the approved master plan;
- b. The plan must meet the criteria of Section 5.2.4 of this Article V.



7.2 Final Development Plan

7.2.1 Submittals

A final development plan conforming to the approved preliminary plan and approved preliminary plat, if required, and containing the same required information shall be submitted. In addition, the final development plan shall show, when applicable, and with appropriate dimensions, the locations and size of buildings, heated floor area of buildings, and minimum building setbacks from lot lines or adjoining streets. Documents to be submitted at this time are: proof of ownership including necessary title documents, articles of incorporation and by-laws of owners' association; required disclosure statements; final engineering plans and time schedule for grading, drainage, and all improvements including roads, water system, sewers, solid waste, utilities, engineering estimates for bonding requirements, development agreements, and final subdivision plats, if required.



7.2.2 Review

The final development plan shall be submitted to the County Development Review Committee accompanied by a staff report. The County Development Review Committee shall review the plan and make a determination as to its compliance with the County General Plan and Code. The County Development Review Committee may recommend changes or additions to the plan as conditions of its approval. The final development plan as approved by the County Development Review Committee shall be filed with the County Clerk. The approved final development plan becomes the basis of development permits and for acceptance of public dedications. Any changes in the plan must be approved by the County Development Review Committee.

History. 1980 Comp. 1980-6. Section 7 of Article V was amended by County Ordinance 1987-1 adding language relating to master plans.

**SECTION 8 - SUBDIVISION DESIGN STANDARDS**

These standards shall be binding upon the subdivider unless modifications are justified by sound engineering principles. Such modifications from these standards may be approved by the Board after a review by the County Development Review Committee upon presentation of documented justification by a licensed professional engineer.

8.1 General Policy on Roads

8.1.1 General

The arrangement, character, extent, width, grade and location of all roads shall be considered in relation to convenience and safety, and to the proposed uses of land to be served by such roads. Prior to grading or roadway cuts, all applicable permits shall be granted by the Code Administrator.

NBD-12



V - 20

located downstream of the stormwater source for positive drainage and erosion control.

1846030

E. Road Circulation, Design And Construction Standards

1. The Road Standards set forth in this Subsection E shall apply.
2. If the Code Administrator determines that a fair and substantial showing is made that a proposed development will increase the burden on existing inadequate public roadways or generate traffic which will exceed the capacity of an existing or proposed public roadway, the developer shall make such improvements or contribute a fair share of improvements required to increase the capacity of the public roadway to the acceptable level of service. The required traffic analysis report shall address all proposed improvements necessary.

3. Road Circulation and Design Standards

The following standards are applicable to all development in the CCD:

- a) Roadway circulation within the Community College District shall provide a network of roads that will integrate automobile traffic, pedestrian and other modes of transportation in a safe and controlled manner. Road networks shall be designed in such a way as to discourage high speed traffic;
- b) Within each development, roadway circulation shall be interconnected as shown on the Circulation Map. The developer shall be required to construct any portion of the roadway necessary to maintain connectivity throughout the CCD;
- c) No-outlet roadways shall be used only to preserve open space contiguity or in cases that terrain does not allow connectivity. No-outlet roadways shall not exceed three hundred feet (300') in length and shall have a minimum fifty foot (50') turn around;
- d) Roadways shall be laid out to intersect as nearly as possible at right angles;
- e) Roadway networks shall be laid out to have the minimum number of intersections with state highways, arterials and traffic priority roads, consistent with sound engineering practice and the access needs for emergency and service vehicles;

NIBD-124



8.1.2 The Santa Fe County Master Plan For Roads

- a. Pursuant to 3-19-9 N.M.S.A., 1978, the Santa Fe County Master Plan for Roads establishes the general location of existing and proposed highway and arterial roads for the purpose of assuring a coordinated system of roads in Santa Fe County.
- b. The Santa Fe County Master Plan for Roads may be amended by resolution from time to time to accommodate changing or changed conditions.

8.1.3 Legal access shall be provided to each lot and each lot must directly access a road constructed to meet the requirements of Section 8.2 of this Article. Parcels to be accessed via a driveway easement shall have a twenty (20) foot all weather driving surface, grade of not more than 11%, and drainage control as necessary to insure adequate access for emergency vehicles.



8.1.4 Dead end roads may not serve more than thirty (30) dwelling units, except that the Code Administrator with the concurrence of the Fire Marshal may approve the development of more than thirty (30) lots on a dead end road. The Code Administrator may require a second access for any development with fewer than thirty (30) dwelling units where issues of public health, safety and welfare exists.

8.1.5 Coordination of Roads With Surrounding Property

- a. The arrangement of roads in a development shall provide for the continuation or appropriate projection of existing or proposed highway or arterial roads in surrounding areas according to the Santa Fe County Master Plan for Roads, and shall provide reasonable means of ingress and egress to surrounding property.
- b. Where land is subdivided into large tracts or where there is a potential for further subdivision or development of subsequent phases exists, the proposed development shall be designed to provide for a coordinated road system for the entire tract.
- c. Where it is in the public interest to establish a right-of-way or access to property which adjoins a proposed development, the right-of-way shall be extended to the boundary of the property which is the subject of a development application. The right-of-way shall either be dedicated to the County or granted to the Owner's Association, subject to a conditional dedication governed by Article V, Section 8.1.9. Such right-of-way shall be designated on the master or phase development plan and on the plat as a public access.

8.1.6 Access to highways and arterials: buffering requirements

- a. Where a proposed subdivision contains lots abutting or adjacent to an arterial or highway, it shall be planned so as to avoid having lots having frontage on said thoroughfares.
- b. The subdivision shall be laid out to have a minimum number of intersections with arterials or highways, and where appropriate, shall provide at least two separate points of ingress and egress to assure adequate access, and shall be designed for all weather conditions. Driveways from lots shall access local roads and may access collector roads on a limited basis as approved by the County Development Review Committee.
- c. Where the subdivision is traversed by or is adjacent to a state or federal highway, and in addition to these regulations, the subdivision must satisfy the New Mexico State Highway Department Regulations Covering Design and Construction of Driveways on Non-Controlled Access Highways in New Mexico, a copy of which is on file in the office of the Code Administrator for public inspection.
- d. Where a subdivision borders on or contains a railroad right-of-way or a limited access highway right-of-way, a parallel road or frontage road may be required at a distance suitable for the appropriate use of the intervening land. Such distances shall also be



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2.5 Zoning

In connection with the review of an application for a development permit with respect to matters described in the New Mexico Statutes concerning zoning, the procedures concerning zoning matters set forth in the New Mexico Statutes, as amended from time to time, shall apply in addition to the review procedures provided in the Code. The time limits established in this Article II may be extended if required, in order to comply with the procedures concerning zoning matters.

2.6 Subdivisions

In connection with review of an application for a development permit with respect to matters described in the New Mexico Subdivision Act, as it may be amended from time to time, the procedures for review provided for in Article IV of the Code and the New Mexico Subdivision Act shall apply in addition to the review procedures provided in this Article II of the Code. The time limits established in this Article II shall be extended if required in order to comply with the procedures concerning subdivision matters.

2.7 Other Requirements

The time limits set forth in this Article II shall be extended in order to comply with other provisions of the Code providing for time limits in connection with reviews and requirements under the Code.



SECTION 3 - VARIANCES

3.1 Proposed Development

Where in the case of proposed development, it can be shown that strict compliance with the requirements of the Code would result in extraordinary hardship to the applicant because of unusual topography or other such non-self-inflicted conditions or that these conditions would result in inhibiting the achievement of the purposes of the Code, an applicant may file a written request for a variance. A Development Review Committee may recommend to the Board and the Board may vary, modify or waive the requirements of the Code and upon adequate proof that compliance with Code provision at issue will result in an arbitrary and unreasonable taking or property or exact hardship, and proof that a variance from the Code will not result in conditions injurious to health or safety. In arriving at its determination, the Development Review Committee and the Board shall carefully consider the opinions of any agency requested to review and comment on the variance request. In no event shall a variance, modification or waiver be recommended by a Development Review Committee, nor granted by the Board if by doing so the purpose of the Code would be nullified.

3.2 Variation or Modification

In no case shall any variation or modification be more than a minimum easing of the requirements.

3.3 Granting Variances and Modifications

In granting variances, and modifications, the Board may require such conditions as will, in its judgment, secure substantially the objectives of the requirements so varied or modified

3.4 Height Variance in Airport Zones

All height variance requests for land located with approach, Transitional, Horizontal and Conical surfaces as described within Map #31 A, incorporated herein by reference, shall be reviewed for compliance with Federal Aviation Administration Regulations. The application for variance shall be accompanied by a determination from the Federal Aviation Administration as to the

N130-126



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Quitman Co., LLC  
File # 1-0929 G15

WHEN RECORDED, RETURN TO:  
UNIVEST-RANCHO VIEJO, LLC  
Attn: Warren Thompson  
P.O. Box 236, Santa Fe, NM 87504



SEE RECORDS FOR 12/23/10

**SPECIAL WARRANTY DEED**

RANCHO VIEJO DE SANTA FE, INC., a New Mexico corporation ("Grantor"), does hereby grant and convey to UNIVEST-RANCHO VIEJO, LLC, a New Mexico limited liability company ("Grantee"), P.O. Box 236, Santa Fe, NM 87504, that certain real property situated in Santa Fe County, New Mexico, together with all rights and privileges appurtenant thereto, described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND INCORPORATED HEREIN BY THIS REFERENCE

The above-described property is conveyed subject only to those liens, encumbrances, and other matters set forth on Exhibit "B" attached hereto and incorporated herein by this reference.

The Grantor hereby binds itself and its successors to warrant and defend the title against all acts of Grantor herein and no other, subject to the matters above set forth.

DATED this 22nd day of December, 2010.

**GRANTOR:**

COUNTY OF SANTA FE )  
STATE OF NEW MEXICO ) ss

SPECIAL WARRANTY DEED  
PAGES: 17

I Hereby Certify That This Instrument Was Filed for  
Record On The 23RD Day Of December, 2010 at 04:00:16 PM  
and Was Duly Recorded as Instrument # 1621125  
Of The Records Of Santa Fe County

RANCHO VIEJO DE SANTA FE, INC., a  
New Mexico corporation

By: Joseph F. Lapinsky  
Name: Joseph F. Lapinsky  
TS: President

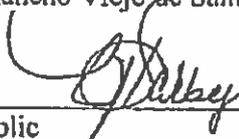
Witness My Hand And Seal Of Office  
Valerie Espinoza  
Deputy Valerie Espinoza County Clerk, Santa Fe, NM



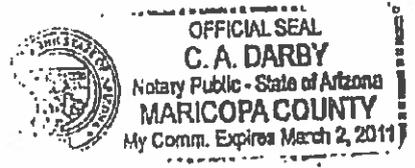
NB00-127

STATE OF ARIZONA     )  
                                  ) ss.  
County of Maricopa     )

The foregoing instrument was acknowledged before me this 22<sup>nd</sup> day of December 2010, by Joseph F. Lapinsky, the President of Rancho Viejo de Santa Fe, Inc., a New Mexico corporation, on behalf of the corporation.

  
\_\_\_\_\_  
Notary Public

My commission expires:  
3/5/11



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NR310-128

**EXHIBIT "A"**

**LOT 86, of The Village at Rancho Viejo, Unit 1 Subdivision, as shown and delineated on plat of survey entitled "SUBDIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. CREATING THE VILLAGE AT RANCHO VIEJO, UNIT 1...WITHIN SECTIONS 20, 29 AND 30 OF T.16 N., R. 9 E. N.M.P.M. COUNTY OF SANTA FE, NEW MEXICO", recorded July 1, 1998 in Plat Books 389 and 390, Pages 049-008, #1031-147, records of Santa Fe County, New Mexico.**

**AND**

**LOTS 136 and 141, of Windmill Ridge, Unit 1 Subdivision, as shown and delineated on plat of survey entitled "FINAL SUBDIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. CREATING WINDMILL RIDGE, UNIT 1...WITHIN SECTIONS 19, 20, 21, 28, 29 AND 30, T16N, R9E, NMPM, SANTA FE COUNTY, NM...", recorded November 17, 2000 in Plat Book 460, Pages 029-036, #1136,576, records of Santa Fe County, New Mexico.**

**AND**

**TRACT C and TRACT E, of Windmill Ridge, Unit 1 Subdivision, as shown and delineated on plat of survey entitled "FINAL SUBDIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. CREATING WINDMILL RIDGE, UNIT 1...WITHIN SECTIONS 19, 20, 21, 28, 29 AND 30, T16N, R9E, NMPM, SANTA FE COUNTY, NM...", recorded November 17, 2000 in Plat Book 460, Pages 029-036, #1136,576, records of Santa Fe County, New Mexico.**

**AND**

**TRACT B (located on Sheet 2 of 7) of Windmill Ridge, Unit 1 Subdivision, as shown and delineated on plat of survey entitled "FINAL SUBDIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. CREATING WINDMILL RIDGE, UNIT 1...WITHIN SECTIONS 19, 20, 21, 28, 29 AND 30, T16N, R9E, NMPM, SANTA FE COUNTY, NM...", recorded November 17, 2000 in Plat Book 460, Pages 029-036, #1136,576, records of Santa Fe County, New Mexico.**

**AND**

**PARCEL 1B, of Windmill Ridge, Unit 2 Subdivision, as shown and delineated on plat of survey entitled "FINAL SUBDIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. WINDMILL RIDGE, UNIT 2 A SUBDIVISION OF LOT 1...WITHIN SECTIONS 20, 21, 28 & 29, T16N, R9E, NMPM, SANTA FE COUNTY, NM.", recorded September 11, 2002 in Plat Book 511, Pages 031-038, #1223246, records of Santa Fe County, New Mexico.**

**AND**

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TRACT A, within Windmill Ridge, Unit 2, Subdivision, as shown and delineated on plat of survey entitled "LOT LINE ADJUSTMENT PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. COVERING LOTS 239 THROUGH 259, 286 THROUGH 301, AND TRACTS A, H AND J, WINDMILL RIDGE, UNIT 2... WITHIN SECTION 28, T16N, R9E, NMPM, SANTA FE COUNTY, NEW MEXICO", recorded February 5, 2003 in Plat Book 523, Pages 003-004, #1247649, records of Santa Fe County, New Mexico.

AND

TRACT B, of Windmill Ridge, Unit 2 Subdivision, as shown and delineated on plat of survey entitled "LOT LINE ADJUSTMENT & LOT SPLIT PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. SHOWING A LOT LINE ADJUSTMENT BETWEEN REVISED TRACT A, AND REVISED TRACT B.... WINDMILL RIDGE, UNIT 2 WITHIN SECTION 28, T.16N., R.9E., N.M.P.M. SANTA FE COUNTY, NEW MEXICO", recorded March 17, 2004 in Plat Book 554, Page 049, #1318841, records of Santa Fe County, New Mexico.

AND

PARCEL 2, of Windmill Ridge, Unit 3 Subdivision, as shown and delineated on plat of survey entitled "SUBDIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. WINDMILL RIDGE, UNIT 3... WITHIN SECTIONS 21, 28 & 29, T16N, R9E., NMPM SANTA FE COUNTY, NM", recorded February 25, 2004 in Plat Book 553, Pages 023-036, #1315322, records of Santa Fe County, New Mexico.

AND

LOTS 583, 586, 587, 597, 598, 599, 600, 601, 602, 603, 611, 615, 618, 619, 620, 622, 623, 624, 625, 626, 627, 666 and 667, of Windmill Ridge, Unit 4 Subdivision, as shown and delineated on plat of survey entitled "FINAL DEVELOPMENT PLAN FOR WINDMILL RIDGE UNIT 4 SANTA FE COUNTY, NEW MEXICO", recorded March 31, 2005, in Plat Book 584, Pages 011-020, #1373652, records of Santa Fe County, New Mexico.

AND

PARCEL A and PARCEL B, (located on Sheet 3 of 8) of Windmill Ridge, Unit 4 Subdivision, as shown and delineated on plat of survey entitled "FINAL DEVELOPMENT PLAN FOR WINDMILL RIDGE UNIT 4 SANTA FE COUNTY, NEW MEXICO", recorded March 31, 2005, in Plat Book 584, Pages 011-020, #1373652, records of Santa Fe County, New Mexico.

AND

LOTS 687-A, 688-A, 691-A, 692-A, 693-A and 694-A, of Windmill Ridge, Unit 4 Subdivision, as shown and delineated on plat of survey entitled "LOT LINE ADJUSTMENT/CONSOLIDATION PLAT FOR RANCHO VIEJO DE SANTA FE INC., SHOWING LOT LINE ADJUSTMENT BETWEEN LOTS 687 THRU LOTS 695 AND LOT CONSOLIDATION OF LOT 694 AND LOT 695 WINDMILL RIDGE, UNIT 4...", recorded March 27, 2007 in Plat Book 650, Page 016, #1476263, records of Santa Fe

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County, New Mexico.

AND

LOT 708, of Windmill Ridge, Unit 4 Subdivision, as shown and delineated on plat of survey entitled "LOT LINE ADJUSTMENT PLAT PREPARED FOR RANCHO VIEJO DE SANTA, INC. SHOWING LOT LINE ADJUSTMENT BETWEEN LOTS 705, 706, 707, AND LOT 708 WINDMILL RIDGE, UNIT 4...", recorded January 9, 2007 in Plat Book 644, Page 024, #1466340, records of Santa Fe County, New Mexico.

AND

LOTS 709-A, 710-A, 711-A and 712-A, of Windmill Ridge, Unit 4 Subdivision, as shown and delineated on plat of survey entitled "LOT LINE ADJUSTMENT/CONSOLIDATION PLAT FOR RANCHO VIEJO DE SANTA FE INC., SHOWING LOT LINE ADJUSTMENT BETWEEN LOTS 709 THRU LOTS 717 AND LOT CONSOLIDATION OF LOTS 714-715 AND LOT 716-717 WINDMILL RIDGE, UNIT 4...", recorded March 27, 2007 in Plat 650, Page 017, #1476264, records of Santa Fe County, New Mexico.

AND

LOTS 4, 7, 8, 10, 11, 12, 13, 14, 51, 52, 53, 58, 61, 62, 63, 64, 66, 67, 68, 70, 71, 74, 75, 77, 78, 81, 82, 83, 84, 85, 86, 87, 89, 90, 91, 99, 102, 103, 106, 108, 110, 111, 112, 113, 116, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 179, 180, 182, 183, 184, 185, 186, 188, 189, 199, 200, 202, 207, 208, 211, 212, 213, 214, 215, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 286, 287, 288, 313, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, and 454, of La Entrada Subdivision, Phase 1, as shown and delineated on plat of survey entitled "SUBDIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE INC. CREATING LA ENTRADA SUBDIVISION, PHASE 1...WITHIN SEC. 24 & 25, T16N, R8E & SEC 19, 20, 29 & 30 T16N, R9E, NMPM, SANTA FE COUNTY, NEW MEXICO.", recorded December 19, 2006 in Plat Book 643, Pages 009-024, #1463940, records of Santa Fe County, New Mexico.

AND

TRACTS TR LE-6, TR LE-10, TR LE-11, TR LE-12, TR LE-13, TR LE-14, TR LE-15, TR LE-16, TR LE-18, TR LE-19, TR LE-20, TR LE-21, TR LE-22, TR LE-23, TR LE-24, TR LE-25, TR LE-26, TR LE-27, TR LE-28, TR LE-29, TR LE-30, TR LE-31, TR LE-32, TR

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LE-33, TR LE-34, TR LE-35, TR LE-36, TR LE-37, TR LE-38, TR LE-39, TR LE-40, TR LE-41, TR LE-42, TR LE-43, TR LE-44, TR LE-45, TR LE-46, TR LE-47, TR LE-48, TR LE-49, TR LE-50 and TR LE-51, all within La Entrada Subdivision, Phase 1, as shown and delineated on plat of survey entitled "SUBDIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE INC. CREATING LA ENTRADA SUBDIVISION, PHASE 1...WITHIN SEC. 24 & 25, T16N, R8E & SEC 19, 20, 29 & 30 T16N, R9E, NMPM, SANTA FE COUNTY, NEW MEXICO.", recorded December 19, 2006 in Plat Book 643, Pages 009-024, #1463940, records of Santa Fe County, New Mexico.

AND

TRACT TR LE-A (located on Sheet 3 of 15), of La Entrada Subdivision, Phase 1, as shown and delineated on plat of survey entitled "SUBDIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE INC. CREATING LA ENTRADA SUBDIVISION, PHASE 1...WITHIN SEC. 24 & 25, T16N, R8E & SEC 19, 20, 29 & 30 T16N, R9E, NMPM, SANTA FE COUNTY, NEW MEXICO.", recorded December 19, 2006 in Plat Book 643, Pages 009-024, #1463940, records of Santa Fe County, New Mexico.

AND

TRACTS TR LE-C1 and TR LE-B1, all within La Entrada Subdivision, Phase 1, as indicated by AFFIDAVIT, recorded February 16, 2007 as Instrument #1471283, shown and delineated on plat of survey entitled "SUBDIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE INC. CREATING LA ENTRADA SUBDIVISION, PHASE 1...WITHIN SEC. 24 & 25, T16N, R8E & SEC 19, 20, 29 & 30 T16N, R9E, NMPM, SANTA FE COUNTY, NEW MEXICO.", recorded December 19, 2006 in Plat Book 643, Pages 009-024, #1463940, records of Santa Fe County, New Mexico.

AND

LOTS 15A, 21A, 23A, 24A, 26A, 191A, 192A, 193A, 194A, 195A, 196A, 198A, and 283A, of La Entrada Subdivision, Phase 1, as shown and delineated on plat of survey entitled "LOT LINE ADJUSTMENT AND EASEMENT PLAT PREPARED FOR RANCHO VIEJO DE SANTA, INC. SHOWING LOT LINE ADJUSTMENT BETWEEN ASSORTED LOTS, AND TRACTS LA ENTRADA PHASE 1...", recorded February 11, 2008 in Plat Book 675, Pages 026-028, #1515133, records of Santa Fe County, New Mexico.

AND

TRACTS TR LE-3A, TR LE-4A, TR LE-5A, TR LE-7A, TR LE-8A, TR LE-9A, TR LE-17A and AMENDED TRACT LE-C, all within La Entrada Subdivision, Phase 1, as shown and delineated on plat of survey entitled "LOT LINE ADJUSTMENT AND EASEMENT PLAT PREPARED FOR RANCHO VIEJO DE SANTA, INC. SHOWING LOT LINE ADJUSTMENT BETWEEN ASSORTED LOTS, AND TRACTS LA ENTRADA PHASE 1...", recorded February 11, 2008 in Plat Book 675, Pages 026-028, #1515133, records of Santa Fe County, New Mexico.

AND

TRACT LE-D2, within La Entrada Subdivision, as shown and delineated on plat of survey

N13D-17

entitled "DIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. OF TRACT LE-D WITHIN LA ENTRADA SUBDIVISION, PHASE 1...SECTION 20, T.16N., R.9E., N.M.P.M. SANTA FE COUNTY, NEW MEXICO", recorded June 25, 2008 in Plat Book 685, Pages 030-031, records of Santa Fe County, New Mexico.

AND

REMAINDER TRACT LE-D1-A, within La Entrada Subdivision, Phase 1, as shown and delineated on plat of survey entitled "DIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. OF TRACT LE-D1 WITHIN LA ENTRADA SUBDIVISION, PHASE 1...SECTION 20, T.16N., R.9E., N.M.P.M. SANTA FE COUNTY, NEW MEXICO", recorded August 5, 2008 in Plat Book 687, Pages 036-037, records of Santa Fe County, New Mexico.

AND

TRACT LE-B-A, within La Entrada Subdivision, Phase 1, as shown and delineated on plat of survey entitled "LOT DIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. OF TRACT LE-B, WITHIN SECTION 24, T.16N., R.8E., AND SECTION 19, T.16N., R.9E., N.M.P.M. SANTA FE COUNTY, NEW MEXICO, recorded February 25, 2009 in Plat Book 698, Page 039, #1553625, records of Santa Fe County, New Mexico.

AND

LOTS 5A and 6A-1, of La Entrada Subdivision, Phase 1, as shown and delineated on plat of survey entitled "LOT LINE ADJUSTMENT PLAT PREPARED FOR RANCHO VIEJO DE SANTA, INC. SHOWING LOT LINE ADJUSTMENT BETWEEN LOT 5 LA ENTRADA PHASE 1...LOT 6A AND TRACT LE-A1 LA ENTRADA PHASE 1...WITHIN SECTIONS 19 AND 20, T.16N., R.9E., N.M.P.M. SANTA FE COUNTY NEW MEXICO.", recorded May 21, 2009 in Plat Book 702, Page 048, #1563744, records of Santa Fe County, New Mexico.

AND

TRACT TR LE-A1-A, within La Entrada Subdivision, Phase 1, as shown and delineated on plat of survey entitled "LOT LINE ADJUSTMENT PLAT PREPARED FOR RANCHO VIEJO DE SANTA, INC. SHOWING LOT LINE ADJUSTMENT BETWEEN LOT 5 LA ENTRADA PHASE 1...LOT 6A AND TRACT LE-A1 LA ENTRADA PHASE 1...WITHIN SECTIONS 19 AND 20, T.16N., R.9E., N.M.P.M. SANTA FE COUNTY NEW MEXICO.", recorded May 21, 2009 in Plat Book 702, Page 048, #1563744, records of Santa Fe County, New Mexico.

AND

REMAINDER LOT 1, within College Heights, Phase 1 Subdivision, as shown and delineated on plat of survey entitled "COLLEGE HEIGHTS PHASE 1 PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC...WITHIN SECTION 21, T.16N., R.9E., N.M.P.M. SANTA FE COUNTY, N.M.", recorded August 13, 1999 in Plat Book 422, Pages 005-007, #1086128, records of Santa Fe County, New Mexico.

NBD-133

AND

LOT 4, LOT 5 and LOT 11, of Rancho Viejo, as shown and delineated on plat of survey entitled "LOT LINE ADJUSTMENT PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. COVERING THOSE 14 PROPERTIES WITHIN SECTIONS 28, 29, AND 30, T16N, R9E, NMPM, AND SECTIONS 24 AND 25, T16N R8E, NMPM...COUNTY OF SANTA FE, NEW MEXICO", recorded June 24, 1998 in Plat Book 389, Pages 010-011, #1029907, records of Santa Fe County, New Mexico.

AND

LOT 3, LOT 11 and REMAINDER LOT 7A, of the Industrial Park at Rancho Viejo Subdivision, as shown and delineated on plat of survey entitled "LOT LINE ADJUSTMENT AND SUBDIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. CREATING THE INDUSTRIAL PARK AT RANCHO VIEJO BEING A LOTLINE ADJUSTMENT OF LOT 6 AND LOT 7...WITHIN SECTION 24, T.16N., R8E., N.M.P.M. SANTA FE COUNTY, NEW MEXICO", recorded September 8, 2005 in Plat Book 599, Pages 042-045, #1397.294, records of Santa Fe County, New Mexico.

AND

TRACT A1 and TRACT G4, of The Village at Rancho Viejo, Tract G, as shown and delineated on plat of survey entitled "SUBDIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. CREATING THE VILLAGE AT RANCHO VIEJO, TRACT G...WITHIN SECTION 20, T.16N., R9E., N.M.P.M. SANTA FE COUNTY, NM", recorded May 1, 2001 in Plat Book 472, Pages 024-027, #1154291, records of Santa Fe County, New Mexico.

AND

REMAINDER TRACT A2, of The Village Center at Rancho Viejo, as shown and delineated on plat of survey entitled "PRELIMINARY & FINAL DEVELOPMENT PLAN FOR THE VILLAGE CENTER AT RANCHO VIEJO, SANTA FE COUNTY, NEW MEXICO", recorded December 8, 2004 in Plat Book 575, Pages 017-020, #1357813, records of Santa Fe County, New Mexico.

AND

LOT 1 and LOT 2, of Tract B-1B, of The Village Center at Rancho Viejo, as shown and delineated on plat of survey entitled "LAND DIVISION FOR RANCHO VIEJO DE SANTA FE, INC. SHOWING DIVISION OF TRACT B-1B THE VILLAGE CENTER AT RANCHO VIEJO...WITHIN SECTION 20, T16N, R9E, N.M.P.M. SANTA FE COUNTY, NEW MEXICO", recorded August 16, 2007 in Plat Book 662, Page 039, #1496098, records of Santa Fe County, New Mexico.

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**COMMITMENT FOR TITLE INSURANCE****SCHEDULE B - SECTION II****EXCEPTIONS**

Effective Date: December 14, 2010

Schedule B of the policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the company:

1. Rights or claims of parties in possession not shown by the public records.
2. Easements, or claims of easements, not shown by the public records.
3. Encroachments, overlaps, conflicts in boundary lines, shortages in area, or other matters which would be disclosed by an accurate survey and inspection of the premises.
4. Any lien, claim or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
5. Community property, survivorship, or homestead rights, if any, of any spouse of the insured (or vestee in a leasehold or loan policy).
6. (Intentionally Omitted)
7. Water rights, claims or title to water.
8. (Intentionally Omitted)
9. Taxes for the year 2010 and thereafter.
10. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date of the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment.

**AS TO THE VILLAGE AT RANCHO VIEJO, UNIT I**

11. Terms, conditions and stipulations contained in Agreement, recorded June 21, 1985 in Book 524, Page 191, records of Santa Fe County, New Mexico.
12. Terms and conditions contained in The Village at Rancho Viejo Unit 1 Disclosure Statement, recorded July 1, 1998 in Book 1511, Page 508; First Amendment recorded November 2, 1998, in Book 1560, Page 392; Second Amendment recorded May 18, 2000, in Book 1767, Page 441, records of Santa Fe County, New Mexico.
13. Terms and conditions contained in First Amended and Restated Declaration and Covenants, Conditions and Restrictions for The Village at Rancho Viejo, recorded November 2, 1998 in Book 1560, Page 354, records of Santa Fe County, New Mexico.
14. Terms and conditions contained in Tract Declaration and Declaration of Additional Covenants, Conditions and Restrictions for The Village at Rancho Viejo, Unit 1, Lots 11-29, 84-86, 95-98, recorded November 2, 1998 in Book 1560, Page 417, records of Santa Fe County, New Mexico.
15. Terms and conditions contained in Special Election Resolution No. 1999-46, recorded March 31, 1999 in Book 1621,

Stewart Title Guaranty Company

NBD-135

Page 064, records of Santa Fe County, New Mexico.

16. Terms and conditions contained in Amended and Restated Development Agreement Regarding Affordable Housing, recorded August 9, 2002 in Book 2184, Page 821, records of Santa Fe County, New Mexico.
17. Terms and conditions contained in Notification, recorded September 26, 2008 as Instrument #1539291, records of Santa Fe County, New Mexico.
18. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "SUBDIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. CREATING THE VILLAGE AT RANCHO VIEJO, UNIT 1... WITHIN SECTIONS 20, 29 AND 30 OF T.16 N., R. 9 E. N.M.P.M. COUNTY OF SANTA FE, NEW MEXICO", recorded July 1, 1998 in Plat Books 389 and 390, Pages 049-008, #1031-147, records of Santa Fe County, New Mexico.

**AS TO WINDMILL RIDGE, UNIT 1**

19. Terms and conditions contained in Agreement, recorded June 21, 1985 in Book 524, Page 191, records of Santa Fe County, New Mexico.
20. Terms and conditions contained in First Amended and Restated Declaration and Covenants, Conditions and Restrictions for The Village at Rancho Viejo, recorded November 2, 1998 in Book 1560, Page 354, records of Santa Fe County, New Mexico.
21. Terms and conditions contained in Windmill Ridge at Rancho Viejo Unit 1 Disclosure Statement, recorded November 12, 2000 in Book 1828, Page 428, records of Santa Fe County, New Mexico.
22. Terms and conditions contained in Amended and Restated Development Agreement Regarding Affordable Housing, recorded August 9, 2002 in Book 2184, Page 821, records of Santa Fe County, New Mexico.
23. Terms and conditions contained in Subdivision Plat Amendment and Final Development Plan Amendment, recorded September 11, 2002 in Book 2207, Page 185, records of Santa Fe County, New Mexico.
24. Terms and conditions contained in Community Charter for Windmill Ridge at Rancho Viejo, recorded September 11, 2002 in Book 2207, Page 208, records of Santa Fe County, New Mexico.
25. Terms and conditions contained in Village Center at Rancho Viejo, recorded December 8, 2004 as Instrument #1357814, records of Santa Fe County, New Mexico.
26. Terms and conditions contained in Notification, recorded October 27, 2006 as Instrument #1456645, records of Santa Fe County, New Mexico.
27. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "FINAL SUBDIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. CREATING WINDMILL RIDGE, UNIT 1... WITHIN SECTIONS 19, 20, 21, 28, 29 AND 30, T16N, R9E, NMPM, SANTA FE COUNTY, NM...", recorded November 17, 2000 in Plat Book 460, Pages 029-036, #1136,576, records of Santa Fe County, New Mexico.
28. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown

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Countersigned  
Qulet Title Co., LLC

By \_\_\_\_\_  
Authorized Signatory

N1310-131

and delineated on plat of survey entitled "WINDMILL RIDGE MASTER PLAN...", recorded March 13, 2003 in Plat Book 526, Pages 023-032, #1255197, records of Santa Fe County, New Mexico.

29. Terms and conditions contained in Tract Declaration and Declaration of Additional Covenants, Conditions and Restrictions for Windmill Ridge at Rancho Viejo, Unit 1 Lots 126-137, and Lots 142-161, recorded December 19, 2000 in Book 1838, Page 342, records of Santa Fe County, New Mexico. AS TO LOT 136
30. Terms and conditions contained in Tract Declaration and Declaration of Additional Covenants, Conditions and Restrictions for Windmill Ridge at Rancho Viejo, Unit 1 Lots 1-32, 138-141, and 162-163, recorded November 13, 2001 in Book 2009, Page 696, records of Santa Fe County, New Mexico. AS TO LOT 141
31. Terms and conditions contained in Grant of Public Utility Easement, from Rancho Viejo de Santa Fe, Inc. to Public Service Company of New Mexico Electric Services, New Mexico Gas Company, Qwest Communications and Comcast Cable, recorded March 12, 2009 as Instrument #1555303, records of Santa Fe County, New Mexico. AS TO LOT 141
32. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "EASEMENT PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC...TRACT B....TRACT C WITHIN SECTION 28, T16N, R9E, NMPM, SANTA FE COUNTY, NEW MEXICO", recorded April 25, 2006 in Plat Book 621, Page 029, #1430137, records of Santa Fe County, New Mexico. AS TO TRACT C
33. Terms and conditions contained in Public Service Company of New Mexico Joint Electrical and Gas Easement, by and between Rancho Viejo de Santa Fe Inc. and Public Service Company of New Mexico, recorded December 14, 2005 as Instrument #1411898, records of Santa Fe County, New Mexico. AS TO TRACT B

**AS TO WINDMILL RIDGE, UNIT 2**

34. Terms and conditions contained in Community Charter for Windmill Ridge at Rancho Viejo, recorded September 11, 2002 in Book 2207, Page 208, records of Santa Fe County, New Mexico.
35. Terms and conditions contained in Notification, recorded May 24, 2010 as Instrument #1599408, records of Santa Fe County, New Mexico.
36. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "FINAL SUBDIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. WINDMILL RIDGE, UNIT 2 A SUBDIVISION OF LOT 1...WITHIN SECTIONS 20, 21, 28 & 29, T16N, R9E, NMPM, SANTA FE COUNTY, NM.", recorded September 11, 2002 in Plat Book 511, Pages 031-038, #1223246, records of Santa Fe County, New Mexico.
37. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "LOT LINE ADJUSTMENT PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. COVERING LOTS 239 THROUGH 259, 286 THROUGH 301, AND TRACTS A, H AND J, WINDMILL RIDGE, UNIT 2...WITHIN SECTION 28, T16N, R9E, NMPM, SANTA FE COUNTY, NEW MEXICO", recorded February 5, 2003 in Plat Book 523, Pages 003-004, #1247649, records of Santa Fe County, New Mexico.
38. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "WINDMILL RIDGE MASTER PLAN...", recorded March 13, 2003 in

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Countersigned  
Quiet Title Co., LLC

By \_\_\_\_\_  
Authorized Signatory

N130-137

Plat Book 526, Pages 023-032, #1255197, records of Santa Fe County, New Mexico.

- 39. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "EASEMENT PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC...TRACT B....TRACT C WITHIN SECTION 28, T16N, R9E, NMPM, SANTA FE COUNTY, NEW MEXICO", recorded April 25, 2006 in Plat Book 621, Page 029, #1430137, records of Santa Fe County, New Mexico. AS TO TRACT B

AS TO WINDMILL RIDGE, UNIT 3

- 40. Terms and conditions contained in Community Charter for Windmill Ridge at Rancho Viejo, recorded September 11, 2002 in Book 2207, Page 208; First Amendment to Community Charter for Windmill Ridge at Rancho Viejo, recorded February 25, 2004 as Instrument #1315323 and Supplement to the Community Charter for Windmill Ridge at Rancho Viejo, Units 3 and 4, recorded November 9, 2005 as Instrument #1406889, records of Santa Fe County, New Mexico.
- 41. Terms and conditions contained in Windmill Ridge at Rancho Viejo Unit 3 Disclosure Statement, recorded February 25, 2004 as Instrument #1315324, records of Santa Fe County, New Mexico.
- 42. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "WINDMILL RIDGE MASTER PLAN...", recorded March 13, 2003 in Plat Book 526, Pages 023-032, #1255197, records of Santa Fe County, New Mexico.
- 43. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "SUBDIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. CREATING WINDMILL RIDGE, UNIT 3...WITHIN SECTIONS 21, 28 & 29, T16N, R9E, NMPM, SANTA FE COUNTY, NM...", recorded February 25, 2004 in Plat Book 553, Pages 023-036, #1315322, records of Santa Fe County, New Mexico.
- 44. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "LOT LINE ADJUSTMENT PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. SHOWING LOT LINE ADJUSTMENT BETWEEN LOT 369 AND TRACT C, WINDMILL RIDGE AT RANCHO VIEJO, UNIT 3...WITHIN SECTION 28, T.16N., R.9E., N.M.P.M. SANTA FE COUNTY, NEW MEXICO.", recorded July 21, 2004 in Plat Book 564, Page 029, #1338355, records of Santa Fe County, New Mexico.

AS TO WINDMILL RIDGE, UNIT 4

- 45. Terms, conditions, obligations and restrictions contained in Agreement, recorded June 21, 1985 in Book 524, Page 191, records of Santa Fe County, New Mexico.
- 46. Terms and conditions contained in First Amended and Restated Declaration and Covenants, Conditions and Restrictions for The Village at Rancho Viejo, recorded November 2, 1998 in Book 1560, Page 354, records of Santa Fe County, New Mexico.
- 47. Terms and conditions contained in Amended and Restated Development Agreement Regarding Affordable Housing, recorded August 9, 2002 in Book 2184, Page 821, records of Santa Fe County, New Mexico.

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Quiet Title Co., LLC

By \_\_\_\_\_  
Authorized Signatory

N1310-12

48. Terms and conditions contained in Community Charter for Windmill Ridge at Rancho Viejo, recorded September 11, 2002 in Book 2207, Page 208; First Amendment to Community Charter for Windmill Ridge at Rancho Viejo, recorded February 25, 2004 as Instrument #1315323 and Supplement to the Community Charter for Windmill Ridge at Rancho Viejo, Units 3 and 4, recorded November 9, 2005 as Instrument #1406889, records of Santa Fe County, New Mexico.
49. Terms and conditions contained in Windmill Ridge at Rancho Viejo Unit 4 Disclosure Statement, recorded March 31, 2005 as Instrument #1373651, records of Santa Fe County, New Mexico.
50. Terms and conditions contained in Notifications, recorded November 3, 2006 as Instrument #1457724 and recorded May 24, 2010 as Instrument #1599408, records of Santa Fe County, New Mexico.
51. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "WINDMILL RIDGE MASTER PLAN...", recorded March 13, 2003 in Plat Book 526, Pages 023-032, #1255197, records of Santa Fe County, New Mexico.
52. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "FINAL DEVELOPMENT PLAN FOR WINDMILL RIDGE UNIT 4 SANTA FE COUNTY, NEW MEXICO", recorded March 31, 2005, in Plat Book 584, Pages 011-020, #1373652, records of Santa Fe County, New Mexico.
53. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "LOT LINE ADJUSTMENT PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. SHOWING LOT LINE ADJUSTMENTS OF LOTS 533.....AND TRACT Y WINDMILL RIDGE UNIT 4 WITHIN SECTION 20, T16N, R9E, N.M.P.M. SANTA FE COUNTY N.M....", recorded September 6, 2005 in Plat Book 599, Page 037, #1397037, records of Santa Fe County, New Mexico.
54. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "EASEMENT PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. WITHIN WINDMILL RIDGE, UNIT 4...", recorded September 6, 2005 in Plat Book 599, Page 038, #1397038, records of Santa Fe County, New Mexico.
55. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "LOT LINE ADJUSTMENT PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. SHOWING LOT LINE ADJUSTMENT BETWEEN LOTS 705, 706, 707, AND LOT 708 WINDMILL RIDGE, UNIT 4...", recorded January 9, 2007 in Plat Book 644, Page 024, #1466340, records of Santa Fe County, New Mexico.
56. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "LOT LINE ADJUSTMENT/CONSOLIDATION PLAT FOR RANCHO VIEJO DE SANTA FE INC., SHOWING LOT LINE ADJUSTMENT BETWEEN LOTS 687 THRU LOTS 695 AND LOT CONSOLIDATION OF LOT 694 AND LOT 695 WINDMILL RIDGE, UNIT 4...", recorded March 27, 2007 in Plat Book 650, Page 016, #1476263, records of Santa Fe County, New Mexico.
57. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "LOT LINE ADJUSTMENT/CONSOLIDATION PLAT FOR RANCHO VIEJO DE SANTA FE INC., SHOWING LOT LINE ADJUSTMENT BETWEEN LOTS 709 THRU LOTS 717 AND LOT CONSOLIDATION OF LOTS 714-715 AND LOT 716-717 WINDMILL RIDGE, UNIT 4...", recorded March

Stewart Title Guaranty Company

Countersigned  
Quiet Title Co., LLCBy \_\_\_\_\_  
Authorized Signatory

NBD-130

27, 2007 in Plat 650, Page 017, #1476264, records of Santa Fe County, New Mexico.

58. Terms and conditions contained in Grant of Easement, executed by Rancho Viejo de Santa Fe Inc., recorded November 30, 2007 as Instrument #1507904, records of Santa Fe County, New Mexico. AS TO LOT 603

AS TO LA ENTRADA, PHASE I

59. Terms and conditions contained in Easement by and between Bernice Jarrott and Public Service Company of New Mexico and Mountain States Telephone and Telegraph Company, recorded May 8, 1963, in Misc. Book 200, Page 562, records of Santa Fe County, New Mexico.

60. Terms and conditions contained in First Amended and Restated Declaration and Covenants, Conditions and Restrictions for The Village at Rancho Viejo, recorded November 2, 1998 in Book 1560, Page 354, records of Santa Fe County, New Mexico.

61. Terms and conditions contained in Grant of Easement, executed by Rancho Viejo de Santa Fe, Inc., recorded January 24, 2008 as Instrument #1513182, records of Santa Fe County, New Mexico.

62. Terms and conditions contained in Santa Fe County Affordable Housing Agreement La Entrada Phase 1, by and between Rancho Viejo de Santa Fe and Santa Fe County, recorded December 11, 2006 as Instrument #1462697; Amendment recorded January 31, 2008 as Instrument #1514008; and Amendment recorded December 9, 2008 as Instrument #1546174 and Instrument #1546175, records of Santa Fe County, New Mexico.

63. Terms and conditions contained in La Entrada at Rancho Viejo Phase 1 Disclosure Statement, executed by Rancho Viejo de Santa Fe, Inc., recorded December 14, 2006 as Instrument #1463181, records of Santa Fe County, New Mexico.

64. Terms and conditions contained in Community Charter for La Entrada at Rancho Viejo, recorded December 15, 2006 as Instrument #1463341 and Notice of Correction to Community Charter for La Entrada at Rancho Viejo, recorded March 31, 2008 as Instrument #1520358, records of Santa Fe County, New Mexico.

65. Terms and conditions contained in By-Laws of La Entrada at Rancho Viejo Community Association, Inc., recorded December 21, 2006 as Instrument #1464268, records of Santa Fe County, New Mexico.

66. Terms and conditions contained in Grant of 25' X 25' Utility Easement, recorded March 31, 2008 as Instrument #1520357, records of Santa Fe County, New Mexico. AS TO TR LE-D1

67. Terms and conditions contained in Grant of Sanitary Sewer Easement Tract LE-D, La Entrada Phase 1, recorded May 14, 2008 as Instrument #1525561, records of Santa Fe County, New Mexico. AS TO REMAINDER TRACT LE-D1-A

68. Terms and conditions contained in Ordinance No. 2008-13, recorded September 30, 2008 as Instrument #1539722 and Project Participation Agreement, recorded October 8, 2008 as Instrument #1540522, records of Santa Fe County, New Mexico. AS TO TRACT LE-D2

69. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "SUBDIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE INC. CREATING LA ENTRADA SUBDIVISION, PHASE I...WITHIN SEC. 24 & 25, T16N, R8E & SEC 19, 20,

Stewart Title Guaranty Company

Countersigned  
Quiel Title Co., LLC

By \_\_\_\_\_  
Authorized Signatory

N130-14

29 & 30 T16N, R9E, NMPM, SANTA FE COUNTY, NEW MEXICO.", recorded December 19, 2006 in Plat Book 643, Pages 009-024, #1463940, records of Santa Fe County, New Mexico.

70. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "LOT LINE ADJUSTMENT AND EASEMENT PLAT PREPARED FOR RANCHO VIEJO DE SANTA, INC. SHOWING LOT LINE ADJUSTMENT BETWEEN ASSORTED LOTS, AND TRACTS LA ENTRADA PHASE 1...", recorded February 11, 2008 in Plat Book 675, Pages 026-028, #1515133, records of Santa Fe County, New Mexico.
71. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "DIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. OF TRACT LE-D WITHIN LA ENTRADA SUBDIVISION, PHASE 1...SECTION 20, T.16N., R9E., N.M.P.M. SANTA FE COUNTY, NEW MEXICO", recorded June 25, 2008 in Plat Book 685, Pages 030-031, records of Santa Fe County, New Mexico.
72. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "DIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. OF TRACT LE-D1 WITHIN LA ENTRADA SUBDIVISION, PHASE 1...SECTION 20, T.16N., R9E., N.M.P.M. SANTA FE COUNTY, NEW MEXICO", recorded August 5, 2008 in Plat Book 687, Pages 036-037, records of Santa Fe County, New Mexico.
73. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "LOT DIVISION PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. OF TRACT LE-B, WITHIN SECTION 24, T.16N., R.8E., AND SECTION 19, T.16N., R.9E., N.M.P.M. SANTA FE COUNTY, NEW MEXICO, recorded February 25, 2009 in Plat Book 698, Page 039, #1553625, records of Santa Fe County, New Mexico.
74. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "LOT LINE ADJUSTMENT PLAT PREPARED FOR RANCHO VIEJO DE SANTA, INC. SHOWING LOT LINE ADJUSTMENT BETWEEN LOT 5 LA ENTRADA PHASE 1...LOT 6A AND TRACT LE-A1 LA ENTRADA PHASE 1...WITHIN SECTIONS 19 AND 20, T.16N., R.9E., N.M.P.M. SANTA FE COUNTY NEW MEXICO.", recorded May 21, 2009 in Plat Book 702, Page 048, #1563744, records of Santa Fe County, New Mexico.
75. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "VILLAGE WEST MASTER PLAN", recorded July 27, 2006 in Plat Book 630, Pages 016-023, #1443810, records of Santa Fe County, New Mexico.

#### AS TO COLLEGE HEIGHTS

76. Terms and conditions contained in College Heights Subdivision First Amended and Restated Disclosure Statement, recorded May 18, 2000 in Book 1767, Page 468, records of Santa Fe County, New Mexico.
77. Easements and rights incident thereto, notes, conditions and all other matters affecting subject property, as shown and delineated on plat of survey entitled "COLLEGE HEIGHTS PHASE I PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC...WITHIN SECTION 21, T16N, R9E, NMPM SANTA FE COUNTY, N.M.", recorded August 13, 1999 in Plat Book 422, Pages 005-007, #1086128, records of Santa Fe County, New Mexico.

Stewart Title Guaranty Company

Countersigned  
Quiet Title Co., LLC

By \_\_\_\_\_  
Authorized Signatory

N130-141

"T16N, R9E, N.M.P.M. SANTA FE COUNTY, NEW MEXICO", recorded August 16, 2007 in Plat Book 662, Page 039, #1496098, records of Santa Fe County, New Mexico.

AS TO ALL PROPERTY

- 87. Tax assessments not of record.
- 88. Terms and conditions contained in Mortgage, dated December 18, 1996, in favor of Rancho Viejo Limited Liability Company, a New Mexico limited liability company, executed by Rancho Viejo de Santa Fe, Inc., a New Mexico corporation, recorded January 27, 1997, in Book 1341, Page 1, records of Santa Fe County, New Mexico.
- 89. Mechanic's and Materialmen's Lien dated August 14, 2009, in favor of Advantage Asphalt & Seal Coating LLC, filed against Sun Cor New Mexico, LLC - Rancho Viejo De Santa Fe, Inc., recorded August 14, 2009 as Instrument # 1573989, records of Santa Fe County, New Mexico.
- 90. Terms and conditions contained in Santa Fe County, New Mexico Ordinance No. 1999-7, recorded June 9, 1999 in Book 1651, Page 216, records of Santa Fe County, New Mexico.
- 91. Terms and conditions contained in Grant of Easement, by and between Rancho Viejo de Santa Fe, Inc. and Santa Fe County, recorded April 13, 2006 as Instrument #1428634, records of Santa Fe County, New Mexico.
- 92. The rights to oil, gas, and other minerals on, under or appurtenant to the property.

PATENTS AFFECTING PROPERTY

- 93. Reservations contained in Patents recorded in Patent Book A, Pages 166 and 361; Patent Book B, Page 579; Patent Book C, Pages 95, 96, 97 and 197; Deed Book Q-4, Pages 14 and 196; Misc. Book 74, Page 42 and Misc. Book 292, Pages 524 and 526, records of Santa Fe County, New Mexico.

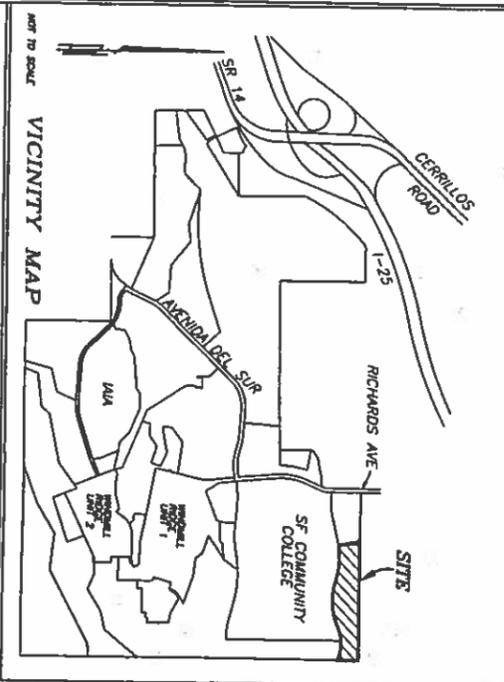
General Exceptions 1, 2, 3, and/or 4 may be deleted from any policy upon compliance with all provisions of the applicable rules, upon payment of all additional premiums required by the applicable rules, upon receipt of the required documents and upon compliance with the Company's underwriting standards for each such deletion. General Exception 5 may be deleted from the policy if the named insured in the case of an Owner's Policy, or the vestee, in the case of a Leasehold or Loan Policy, is a corporation, a partnership, or other artificial entity, or a person holding title as trustee. Except for the issuance of a U.S. Policy form (NM7 or NM34), any policy to be issued pursuant to this Commitment will be endorsed or modified in Schedule B by the Company to waive its right to demand arbitration pursuant to the conditions and stipulations of the policy at no cost or charge to the insured. The endorsement or the language added to Schedule B of the policy shall read: "In compliance with Subsection D of 13.14.18.10 NMAC, the Company hereby waives its right to demand arbitration pursuant to the Title Insurance Arbitration Rules of the American Land Title Association. Nothing herein prohibits the arbitration of all arbitrable matters when agreed to by both the Company and the insured."

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Countersigned  
Quiet Title Co., LLC

By \_\_\_\_\_  
Authorized Signatory

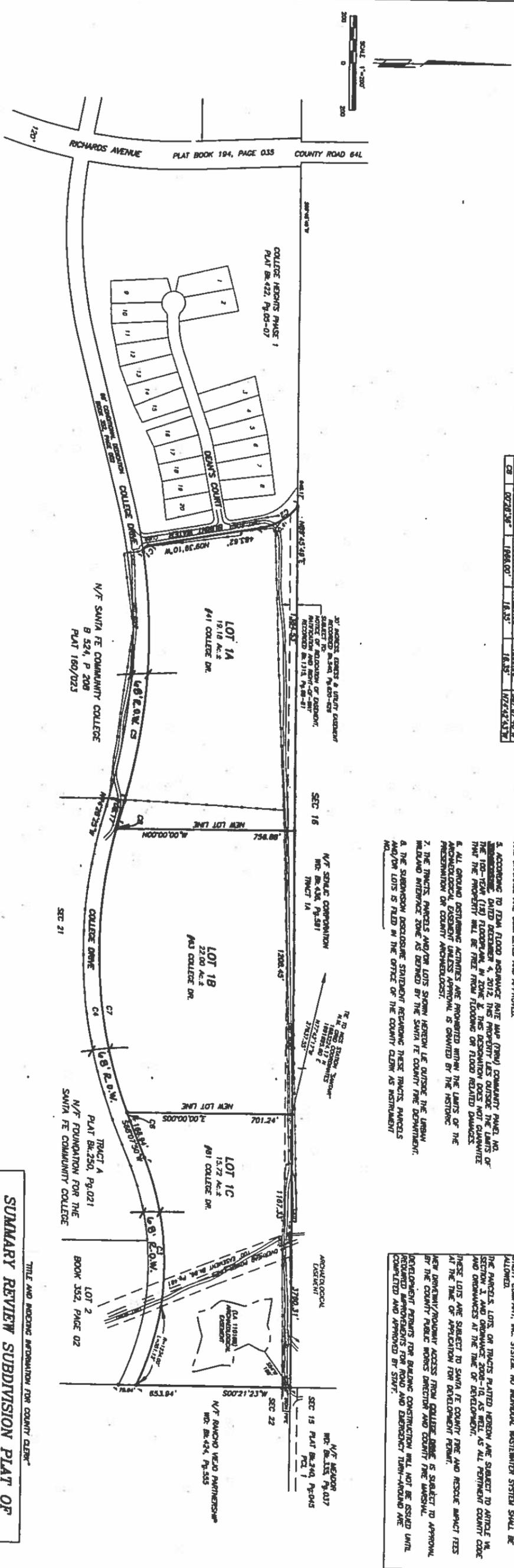
NBPD - 142



SCALE 1"=200'

GRANT	DATE	ACRES	GRID	GRID AREA
C1	06/21/11	24.07	34.02	819,737.7
C2	12/11/11	258.00	108.45	27,912,000.0
C3	04/20/12	1,242.00	108.10	135,108,000.0
C4	07/23/12	1,081.00	117.24	126,727,200.0
C5	07/23/12	1,081.00	117.24	126,727,200.0
C6	07/23/12	1,081.00	117.24	126,727,200.0
C7	07/23/12	1,081.00	117.24	126,727,200.0
C8	07/23/12	1,081.00	117.24	126,727,200.0
C9	07/23/12	1,081.00	117.24	126,727,200.0
C10	07/23/12	1,081.00	117.24	126,727,200.0
C11	07/23/12	1,081.00	117.24	126,727,200.0
C12	07/23/12	1,081.00	117.24	126,727,200.0
C13	07/23/12	1,081.00	117.24	126,727,200.0
C14	07/23/12	1,081.00	117.24	126,727,200.0
C15	07/23/12	1,081.00	117.24	126,727,200.0
C16	07/23/12	1,081.00	117.24	126,727,200.0
C17	07/23/12	1,081.00	117.24	126,727,200.0
C18	07/23/12	1,081.00	117.24	126,727,200.0
C19	07/23/12	1,081.00	117.24	126,727,200.0
C20	07/23/12	1,081.00	117.24	126,727,200.0

- REFERENCE DOCUMENTS
- 1) COLLEGE HEIGHTS PHASE I, PLAT PREPARED FOR RANCHO VIEJO DE SANTA FE, INC. RECORDED AUGUST 11, 1998, IN PLAT BK. 422, PG. 05-07, SANTA FE COUNTY, NEW MEXICO.
  - 2) WARRANTY DEED FROM THE ESTATE OF BERNICE AMBROTT LONG TO RANCHO VIEJO PARTNERSHIP, RECORDED JULY 24, 1991, IN BK. 424, PG. 332, SANTA FE COUNTY NEW MEXICO.
  - 3) LAND DIVISION AND CONDOMINIUM ROAD DEDICATION RANCHO VIEJO DE SANTA FE, RECORDED DECEMBER 19, 1998, IN PLAT BK. 352, PG. 02.
  - 4) SPECIAL WARRANTY DEED FROM RANCHO VIEJO DE SANTA FE, INC. TO UNIVERSITY RANCHO VIEJO, LLC RECORDED DEC. 21, 2010, AS INSTRUMENT #1821123.



**LEGEND:**  
 BEARINGS ARE NEW MEXICO STATE PLAIN, CENTRAL ZONE, DISTANCES ARE GROUND AT 6800/ASL. GROUND TO GRID SCALE FACTOR = 0.999984

● DENOTES DAWSON CAPREX RESERVE OR AS SHOWN, ROAD DENOTES CAPREX RESERVE (DAWSON, SHERMAN) OR AS SHOWN, SET DENOTES BOUNDARY OF LOTS DEALT WITH BY THIS PLAT INFORMATION OUTSIDE OF THIS BOUNDARY IS UNCORRECTED INFORMATION ONLY, NOT VERIFIED FOR ACCURACY AND IS NOT PART OF THIS PLAT.

THIS PLAT SUBJECT TO ANY RESTRICTIONS, COVENANTS AND EASEMENTS OF RECORD.

East 17985722  
 COUNTY OF SANTA FE, N.M.  
 STATE OF NEW MEXICO  
 I, the undersigned, certify that this subdivision map was prepared by me or under my direct supervision and that I am a duly licensed and qualified land surveyor in the State of New Mexico.  
 My commission expires on the 30th day of July, 2014.  
 My office is located at 20 N. Alameda Street, Santa Fe, New Mexico 87501.  
 Witness my hand and seal of office this 15th day of July, 2014.  
 Edward M. Threlkeld  
 County Clerk, Santa Fe County, N.M.



**SANITATIONS CERTIFICATION:**  
 I HEREBY CERTIFY THAT THIS PLAT IS A TRUE REPRESENTATION OF A SURVEY, COMPLETED UNDER MY PERSONAL SUPERVISION ON THE 4th DAY OF APRIL, 2014, TO THE BEST OF MY KNOWLEDGE, THE SANITY AND PLAT ARE CORRECT, THAT AND AND MEET THE MINIMUM STANDARDS FOR LAND SURVEYS IN NEW MEXICO.  
 Edward M. Threlkeld  
 N.M.P.S. #12323  
 8-15-14



**SUMMARY REVIEW SUBDIVISION PLAT OF COLLEGE HEIGHTS REMAINDER LOT 1, RECORDED IN PLAT BOOK 422, PAGE 05-07**

PREPARED FOR  
**RANCHO VIEJO DE SANTA FE**  
 WITHIN  
**VEDURA RESIDENTIAL**  
 PLAT BOOK 352, PAGE 02,  
 SECTION 21, T16N, R9E, NMPM  
 COUNTY OF SANTA FE, NM

THE PURPOSE OF THIS PLAT IS TO CREATE 3 LOTS

NBD-14

DAWSON SURVEYS, INC.  
 PROFESSIONAL LAND SURVEYORS  
 25008 CAMINO EMPEROR  
 SANTA FE, N.M. 87507  
 TEL: 873/3104 FAX: 873/3114

**SANTA FE COUNTY APPROVAL NOTES AND CONDITIONS**

**APPROVALS**  
 COUNTY DEVELOPMENT PERMIT NO. 7780339  
 COUNTY ENGINEER: [Signature]  
 COUNTY PLANNING AND ZONING DEPARTMENT: [Signature]  
 COUNTY HEALTH DEPARTMENT: [Signature]  
 COUNTY FIRE DEPARTMENT: [Signature]  
 COUNTY WATER BUREAU: [Signature]  
 COUNTY PUBLIC WORKS DEPARTMENT: [Signature]  
 COUNTY BOARD OF COMMISSIONERS: [Signature]

1. RANCHO AND DAWSON'S SHALL CONFORM TO ALL APPLICABLE ORDINANCES AS PER ORDINANCE NO. 2000-12 (COMMUNITY COLLEGE ASBESTOS ORDINANCE).
2. MAINTENANCE OF PRIVATE ACCESS EASEMENTS, UTILITY EASEMENTS AND/OR PRIVATE RIGHTS IS NOT THE RESPONSIBILITY OF SANTA FE COUNTY, UNLESS DEDICATED AND APPROVED BY THE BOARD OF COUNTY COMMISSIONERS.
3. THE LANDS SHOWN HEREON LET WITHIN AND PLATTING JURISDICTION OF SANTA FE COUNTY.
4. THE APPROVAL OF THIS PLAT DOES NOT CONSTITUTE THE APPROVAL OF ANY FURTHER DEVELOPMENT INCLUDING BUILDING PERMITS, PLANNING PERMITS, ZONING PERMITS AND FEES MUST BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY FURTHER DEVELOPMENT PERMITS FOR BUILDING CONSTRUCTION WILL NOT BE ISSUED UNTIL REQUIRED IMPROVEMENTS FOR RANCHO ARE COMPLETED, DEEMED APPROPRIATE, AND APPROVED AND APPROVED.
5. ACCORDING TO FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 48088D0000, DATED DECEMBER 4, 2012, THIS IMPROVEMENT SHALL BE CONSIDERED AS A 100-YEAR (10) FLOODPLAIN, IN ZONE X. THE RESPONSIBILITY DOES NOT FALL ON THE DEVELOPER, BUT THE PROPERTY WILL BE FREE FROM FLOODING OR FLOOD RELATED DAMAGES.
6. ALL GROUND DISTURBING ACTIVITIES ARE PROHIBITED WITHIN THE LIMITS OF THE PROPOSED DEVELOPMENT UNLESS APPROVED BY THE HISTORIC PRESERVATION OR COUNTY ARCHITECTURE.
7. THE TRACTS, PARCELS AND/OR LOTS SHOWN HEREON LET OUTSIDE THE URBAN WILDLAND REFERENCE ZONE AS DETERMINED BY THE SANTA FE COUNTY FIRE DEPARTMENT.
8. THE SUBMISSION DISCLOSES STATEMENT REGARDING THESE TRACTS, PARCELS AND/OR LOTS IS FILED IN THE OFFICE OF THE COUNTY CLERK AS INSTRUMENT #1821123.

**ATTORNEY**  
 KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS HAVE CONSENTED TO THE PROVISIONS SHOWN HEREON, THE SAID DIVISION IS MADE WITH THE FREE CONSENT OF THE SAID OWNERS, THE SAID DIVISION IS MADE WITH THE EASEMENTS AND ENCUMBRANCES AS SHOWN HEREON, AND THE SAID OWNERS, MORE OR LESS, THERE IS NO ROAD DEDICATION AND AMENDMENT OF PRIVATE ROADS IS THE RESPONSIBILITY OF THE LOT OWNER.  
 THIS DIVISION LIES WITHIN THE PLANNING AND PLATTING JURISDICTION OF THE COUNTY OF SANTA FE, N.M.  
 OWNER: REMAINDER TRACT 1, UNIVERSITY RANCHO VIEJO, LLC.  
 [Signature]  
 MARGEN THOMPSON, LAWYER  
 STATE OF NEW MEXICO  
 COUNTY OF SANTA FE  
 I, the undersigned, certify that this subdivision map was prepared by me or under my direct supervision and that I am a duly licensed and qualified land surveyor in the State of New Mexico.  
 My commission expires on the 30th day of July, 2014.  
 My office is located at 1012 1/2 North 1st Street, Santa Fe, New Mexico 87501.  
 Witness my hand and seal of office this 15th day of July, 2014.  
 [Signature]  
 LP COMMISSIONER EXPRESS

**SPECIAL BUILDING PERMIT CONDITIONS**  
 THE REGULATIONS OF AN AUTOMATIC FIRE SUPPRESSION SYSTEM IS HIGHLY RECOMMENDED FOR ALL HOMES ON LOTS.  
 THESE LOTS ARE SUBJECT TO UTILIZING THE COUNTY WATER SYSTEM, MOUNDING WELLS ARE NOT PERMITTED. THESE LOTS ARE SUBJECT TO USING THE RANCHO AND UNIT COMPANY, INC. SYSTEM, NO INDIVIDUAL WASTEWATER SYSTEM SHALL BE ALLOWED.  
 THE PARCELS, LOTS OR TRACTS PLATTED HEREON ARE SUBJECT TO ARTICLE 16, SECTION 1 AND ORDINANCE 2008-10, AS WELL AS ALL PERMITS COUNTY CODE AND ORDINANCES AT THE TIME OF DEVELOPMENT.  
 THESE LOTS ARE SUBJECT TO SANTA FE COUNTY FIRE AND RESCUE IMPACT FEES AT THE TIME OF APPLICATION FOR DEVELOPMENT PERMIT.  
 NEW DRIVEWAY/ROADWAY ACCESS FROM COLLEGE DRIVE IS SUBJECT TO APPROVAL BY THE COUNTY PUBLIC WORKS DIRECTOR AND COUNTY FIRE MARSHAL.  
 DEVELOPMENT PERMITS FOR BUILDING CONSTRUCTION WILL NOT BE ISSUED UNTIL ALL IMPROVEMENTS FOR ROAD AND EMERGENCY TURN-AROUND ARE COMPLETED AND APPROVED BY SHFP.

January 8, 2015

RE: Elevation  
Preliminary & Final Development Plan

To Whom It May Concern:

This letter shall serve as authorization for JenkinsGavin Design & Development, Inc. to act on behalf of Vedula Residential Operating, LLC with respect to the referenced property and land use applications to be submitted to Santa Fe County.

Thank you.

Sincerely,

W. Thompson  
Warren Thompson  
for Uninvest-Rancho Viejo, LLC

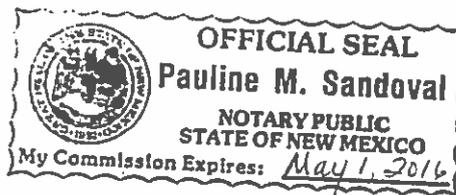
ACKNOWLEDGEMENT

STATE OF New Mexico )  
( ss.  
COUNTY OF Santa Fe (

On this 13th day of January, 2015, the foregoing instrument was acknowledged before me by Warren Thompson.

Pauline M. Sandoval  
Notary Public

My commission expires: May 1, 2016



NBD-144

January 8, 2015

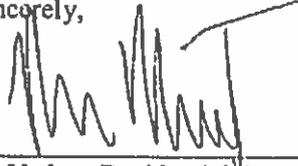
RE: Elevation  
Preliminary & Final Development Plan

To Whom It May Concern:

This letter shall serve as authorization for JenkinsGavin Design & Development, Inc. to act on behalf of Vedula Residential Operating, LLC with respect to the referenced property and land use applications to be submitted to Santa Fe County.

Thank you.

Sincerely,

  
\_\_\_\_\_  
for Vedula Residential Operating, LLC

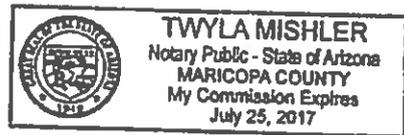
**ACKNOWLEDGEMENT**

STATE OF Arizona )  
( ss.  
COUNTY OF Maricopa (

On this 1st day of January, 2015, the foregoing instrument was acknowledged before me  
by Bruce Hart.

  
\_\_\_\_\_  
Notary Public

My commission expires: July 25, 2017



NBD-145

**CERTIFICATION OF POSTING**

I hereby certify that the public notice posting regarding Land Development

Case # V/PDP/EDP was posted for 21 days on the property beginning

The 30<sup>th</sup> day of April, 2015. \*\*

[Handwritten Signature]  
Signature

\*Photo of posting must be provided with certification

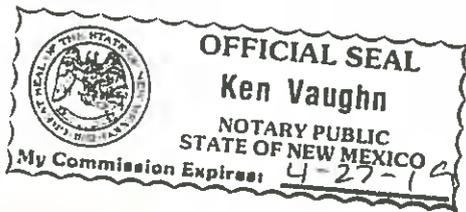
\*\***PLEASE NOTE:** Public notice is to be posted on the most visible part of the property. Improper legal notice will result in re-posting for an additional 21 days. It is the Applicant's responsibility to ensure that the notice is on the property for the full 21 days.

STATE OF NEW MEXICO }  
COUNTY OF SANTA FE }

The foregoing instrument was acknowledged before me this 1<sup>st</sup> day of May, 2015 By Hillary Welles.

[Handwritten Signature]  
Notary Public

My Commission Expires:  
April 27, 2019



NB10-146



NBD-147

# SANTA FE NEW MEXICAN

Founded 1849

JENKINS GAVIN DESIGN.  
130 GRANT AVE STE 101  
SANTA FE, NM 87501

ACCOUNT: 4904  
AD NUMBER: 0000119601  
LEGAL NO 98335 P.O. #:  
1 TIME(S) 87.88  
AFFIDAVIT 10.00  
TAX 8.01  
TOTAL 105.89

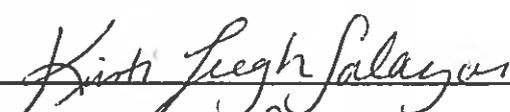
## AFFIDAVIT OF PUBLICATION

STATE OF NEW MEXICO  
COUNTY OF SANTA FE

I, W. Barnard, being first duly sworn declare and say that I am Legal Advertising Representative of THE SANTA FE NEW MEXICAN, a daily newspaper published in the English language, and having a general circulation in the Counties of Santa Fe, Rio Arriba, San Miguel, and Los Alamos, State of New Mexico and being a newspaper duly qualified to publish legal notices and advertisements under the provisions of Chapter 167 on Session Laws of 1937; that the Legal No 98335 a copy of which is hereto attached was published in said newspaper 1 day(s) between 04/30/2015 and 04/30/2015 and that the notice was published in the newspaper proper and not in any supplement; the first date of publication being on the 30th day of April, 2015 and that the undersigned has personal knowledge of the matter and things set forth in this affidavit.

IS/   
LEGAL ADVERTISEMENT REPRESENTATIVE

Subscribed and sworn to before me on this 30th day of April, 2015

Notary   
Commission Expires: August 11, 2018



NR30-149

THE SANTA FE  
**NEW MEXICAN**  
Founded 1849

LEGAL # 98335

CDRC CASE #  
V/PDP/FDP 13-5381 Elevation Multi-Family Community

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that a public hearing will be held to consider a request by Vedura Residential Operating, LLC, for Preliminary and Final Development Plan approval for a Multi-Family Residential Community consisting of 200 residential units on 22 + acres. The Applicant also requests a variance of Ordinance No. 2000-

Continued...

12, Section 6.E.3.c) to allow a no-outlet roadway to exceed 300 feet and a variance of Santa Fe County Ordinance 1996-10, the Santa Fe County Land Development Code, Article V, Section 8.1.4, which states that dead end roads may not serve more than thirty (30) dwelling units. The site is located at 63 College Drive, within the Community College District, within Section 21, Township 16 North, Range 9 East, (Commission District 5).

A public hearing will be held in the County Commission Chambers of the Santa Fe County Courthouse, corner of Grant and Palace Avenues, Santa Fe, New Mexico on the 21st day of May 2015, at 4 p.m. on a petition to the County Development Review Committee.

Please forward all comments and questions to the County Land Use Administration Office at 986-6225.

All interested parties will be heard at the Public Hearing prior to the Commission taking action.

All comments, questions and objections to the proposal may be submitted to the County Land Use Administrator in writing to P.O. Box 276, Santa Fe, New Mexico 87504-0276; or presented in person at the hearing.

Published In The Santa Fe New Mexican on April 30, 2015

NB10-149

7014 2120 0003 7969 0078

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Total F **GE Richards Property LLC**

Sent To **123 W. San Francisco Street**  
Ste 200  
Santa Fe, NM 87501

Case #V/PDP/FDP 13-5381

PS Form 3800, July 2014 See Reverse for Instructions

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Restricted Delivery Fee (Endorsement Required)		

Total Po: **Univest-Rancho Viejo**

Sent To **Rancho Viejo Limited Partnership**  
c/oWarren Thompson  
PO Box 236  
Santa Fe, NM 87504

Case #V/PDP/FDP 13-5381

PS Form 3800, July 2014 See Reverse for Instructions

7014 2120 0003 7969 5035

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**Henry Mignardot**  
Santa Fe Community College  
6401 Richards Ave  
Santa Fe, NM 87508

Case #V/PDP/FDP 13-5381

PS Form 3800, July 2014 See Reverse for Instructions

7014 2120 0003 7969 0054

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Tot **Bruno Keller, President, Rancho Viejo**

Sent **N. Community Assoc.**  
55 Canada del Rancho, Ste B  
Santa Fe, NM 87508

Case #V/PDP/FDP 13-5381

PS Form 3800, July 2014 See Reverse for Instructions

NBD-150

# elevation

## DELIVERY SCHEDULE

Revised May 13, 2015



	<b>Number of Residences</b>	<b>Construction Start</b>	<b>Completion Date</b>
Phase 1	50	June 2016	May 2017
Phase 2	54	August 2016	July 2017
Leasing Begins			July 2017
Phase 3	46	October 2016	September 2017
Phase 4	50	December 2016	January 2018
Lease Stabilization			June-August 2018

NBD-151