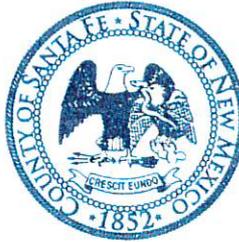


Henry P. Roybal
Commissioner, District 1

Miguel M. Chavez
Commissioner, District 2

Robert A. Anaya
Commissioner, District 3



Kathy Holian
Commissioner, District 4

Liz Stefanics
Commissioner, District 5

Katherine Miller
County Manager

DATE: October 21, 2016

TO: SLDC Hearing Officer

FROM: John Lovato, Development Review Specialist Sr.

VIA: Penny Ellis-Green, Growth Management Director *VZ for PEG*
Vicki Lucero, Building and Development Services Manager *VZ*

FILE REF.: CASE # V 16-5150 High Summit III (Phases 3-6)

ISSUE:

White Bear Properties LLC, Applicant, Karl Sommers/Design Enginuity, Agents, Request the following variances of the Sustainable Land Development Code: Section 7.17.4.3 to allow an additional 7,040 Square Feet of 30% or greater slope disturbance on Calle Juanita and Cuesta Brava to accommodate a cul-de-sac and widen roadbed; Section 7.8.1.4 to not require street lighting; Section 7.15.3.3 to not require of 1 acre developed open space; Section 7.11.2, Table 7-12, (Local road Standards) to allow a 33' ROW for an 850' length of Cuesta Brava and a grade of 11.6%; Section 7.11.15 to not require sidewalks; Section 7.17.9.2.1 to allow structures on ridgetops, ridgelines or shoulders; Section 7.17.9.2.2 and 7.17.10.6 to modify the setback required from the shoulder to 5' from where the profile of the upper slope changes from greater than 30% to less than 30%; Section 7.17.10.1.3 to allow building areas at an elevation above 7400 feet that are not closest to the nearest public or private roadway; Section 7.17.10.3.1 to exclude driveway construction and emergency turnarounds from the disturbed area limitation; and Section 7.17.11.2 to not require a conditional use permit for lot development above 7,800 feet in elevation. The property is located off Hyde Park Road within Section 16, Township 17 North, Range 10 East (Commission District 4), SDA-3

Vicinity Map:



SITE LOCATION

SUMMARY:

The Applicant is the owner of the property as evidenced by warranty deed recorded in the records of the Santa Fe County Clerk on January 15, 2016, as Instrument # 1704614. The Applicant is represented by Karl Sommers and Orallynn Guerrerotiz, to pursue the request for the twelve variances requested.

On December 4, 2003, the Extraterritorial Zoning Authority (EZA) granted Master Plan approval for a residential subdivision consisting of 105 lots with 107 dwelling units on 150 acres, and a single tract (Tract "K") consisting of 342.3 acres (MSRD). The project was to be completed in 9 phases which included lot line adjustments with the previously approved adjacent subdivisions. The EZA approval also included the following variances of the Extraterritorial Zoning Ordinance: To allow disturbance of slopes of 30% or greater for road, driveway, and building construction and to allow more than 50% of structures to be on slopes of 20% to 30%.

On December 9, 2003, the Board of County Commissioners (BCC) granted Master Plan, Preliminary and Final Development Plat and Development Plan approval for the High Summit III residential subdivision consisting of 105 lots with 107 dwelling units on 154 acres to be developed in five (5) phases, and a single tract (Tract "K") consisting of 342.3 acres. One phase of the development was to be constructed every three (3) years with full build-out over a 15 year period. The BCC approval also included variances of the Extraterritorial Subdivision Regulations to allow two cul-de-sacs with lengths greater than 1,000 feet and to allow the replacement of standard curb and gutter with stone.

The first phase of High Summit III, which consisted of 30 lots, was recorded in 2005. The roads for Phase II were rough graded and the water, sewer, and dry utility mains, and service lines for Phase II were installed to loop the system, this was a requirement of Phase I.

In 2008, the City and County entered into a settlement agreement for the phased annexation of lands within the urban area. With the acceptance of the settlement agreement, the City assumed jurisdiction over the land use review and permitting for Area 18, which included the High Summit development. During the time that this was under the City's jurisdiction, the City granted 2 one year time extensions of the Master Plan and Final Plat on the subdivision, which was set to expire in December of 2014. The City and County later amended the settlement agreement in January 2014, Area 18 was removed from the City's future annexations and is now under County Jurisdiction.

On September 9, 2014, the BCC granted a two-year time extension on the expiration date for Phases 2-5 of High Summit III which is set to expire in December in 2016. The Applicants will record Phase II (22 lots) before the end of 2016.

The Applicant is now proposing to reduce the number of lots in phases 3-6 from 50 to 12 lots. The 12 lots will each have 2 dwelling units for a total of 24 dwelling units. As part of this reduction in the number of lots, the Applicant is proposing to eliminate the road connection from

Calle Torcido to South Summit Ridge. As part of the previous BCC approval, a variance was granted to allow Calle Torcido as a cul-de-sac road exceeding 1,000 feet in length. The Applicant will be providing a road connection from South Summit Ridge to South Summit Drive, via Dancing Bear Trail which will be designed for two-way traffic. The Applicant is still proposing to utilize the City Water System and Sewer System, and install fire hydrants for fire protection which is consistent with their previously approved master plan.

The Applicant's Agents state, "There is a desire to create a different product for the remainder of the project site. Rather than 52 lots with an average size of less than 1 acre, the developer would like to create 12 large lots with an average size of 2.75 acres. These Larger lots would be permitted to have 2 dwelling units each, for a total of 24 dwellings."

The Applicants Agents state, "The existing approval includes a Master Plan, Preliminary and Final Plan and Plat for 52 residential lots, all which are still valid approvals. Our client has the option of recording the Final Plat in the current configuration, which can be accomplished today without any further approvals. While that might be the best short-term choice for our client, as it maximizes the development potential of the property, the existing approval may not be the best long-term development of this property. So before the existing approvals expire, our client has sought to substantially reduce the proposed development of the property, and in doing so, has invoked the newly adopted provisions of the SLDC."

The Applicant's Agents further state "Previous variance approvals allowed for 30% and greater slope disturbance. An 850 foot portion of Questa Brava road was originally approved as a 15' wide base course road for emergency access only. To improve emergency access circulation and ensure the roadway is properly maintained and at the Fire Marshal's request, we wish to widen the road to 20 feet and add an asphalt surface. This results in approximately 3,289 square feet of additional 30% and greater slope disturbance."

The Applicants plan to eliminate much of a long 2,141 curvy Callejon Juanita Road. The Applicants Agents state, "This roadway was originally planned to serve 15 lots. With the new proposed plan only 5 lots will be platted in this area, and they can be easily and safely served by two short roadways: One 50' long and the other 791' long. The longer road would end in a cul-de-sac that would add additional 30% and greater slope disturbance."

Staff Response: The Applicants are requesting additional slope disturbance for a total of 53,454 square feet. While homes will be reduced from 52 to 24 homes on the site, there is an increase of 3,289 square feet in slope disturbance.

The Applicant addressed the need for the variances as follows:

A. Variances Necessary to Minimize Impacts to Terrain and Environment

The following 6 requested variances are necessary to minimize impacts to the terrain and slopes in excess of 30%.

1. To allow an additional slope disturbance on Buffalo Lane (previously known as Calle Juanita) roadway to accommodate a Fire Marshal tee turnaround (SLDC §7.17.4.3).
2. To not require a 1-acre developed open space area (SLDC § 7.15.3.3).
3. To allow a 33' ROW for an 850' length of Dancing Bear Trail (previously known as Cuesta Brava) (SLDC Table 7-12 local road standard).
4. To allow a 38' ROW on local roads (SLDC Table 7-12 local road standard).
5. To allow road and driveway grades up to 11.6% (SLDC Table 7-12 cul-de-sac, local and driveway standard).
6. To not require sidewalks (SLDC §7.11.15).

By eliminating much of the planned Buffalo Lane (previously called Calle Juanita) roadway, the project will disturb less terrain, but per code it is necessary to install a Fire Marshal approved turnaround at the end of the road. We have selected a site for this turnaround that is not visible to existing public roads.

The required 1-acre park would require significant terrain disturbance, in an area where natural public trails are abundant. Because dry utility lines and equipment are constructed outside of the road right of way, we planned to limit road right of way to the minimum necessary to install the road, curb and gutter and water and sewer lines and services. If we had larger road rights of way, then the dry utilities would be constructed further from the roads and thus disturb more terrain. The steeper road beds, had been previously approved by the County Fire Marshal, and allow us to minimize the length of roads, more closely follow existing terrain, and disturb less steep slopes. If we added sidewalks to the roadways, we would disturb more terrain, and given the steep nature of the project, we would not be able to build ADA compliant sidewalks.

Staff Response: The Applicants would like an additional 3289 square feet of slope disturbance for a total of 53,454 square feet. While the number of homes in phases 3-6 will be reduced from 52 to 24 homes, there is an increase of 3,289 square footage in slope disturbance. This increase will be visible from lower locations in the surrounding community. The Applicant is proposing pedestrian trails throughout the development, however a 1 acre developed park is required. Although the terrain is difficult in most areas and the Applicant is wanting to avoid significant slope disturbance it may be feasible for the Applicant to install some of picnic shelters and benches around the trails with minimal disturbance to satisfy this requirement. Under the previous regulations by which this subdivision was approved, roads and driveways were allowed to go up to 11%. The request is for road and driveway grades up to 11.6%. A requirement for sidewalks would result in additional disturbance, and if they cannot be constructed to ADA standards this would pose a safety issue.

B. Variances Necessary to Permit Site Development

Without the following 3 variances, several of the existing approved building sites could not be developed. The SLDC greatly expanded the areas that could not be developed in mountainous terrain. As proposed, several prime building sites which cannot be seen from public roadways could not be developed. Requiring a conditional use permit (in essence a public hearing) to construct a residence puts an unfair burden on a lot owner in this project compared with the rest of

the county. Also, please note that Staff is recommending deleting 7.17.11.2 (Conditional Use Permit) requirement from the SLDC.

7. To allow structures on ridgetops, ridgelines or shoulder (SLDC §7.17.9.2.1 and 7.17.4.2)
8. To modify the setback from the shoulder to 5' from where the profile of the upper slope changes from greater than 30% to less than 30%, (SLDC §§ 7.17.9.2.2 and 7.17.10.6).
9. To not require a conditional use permit for lot development above 7800 feet in elevation (SLDC §§ 7.17.11.2).

Staff response: The entire subdivision is located in mountainous terrain with many locations of 30% and greater slope disturbance. The SLDC does not prohibit development on a ridgetop provided there is no other buildable area on the property. These lots contain no other buildable area besides the ridgetop. Under the previous regulations by which the subdivision was approved, ridgetops were not prohibited from being developed and there was no requirement for a 50' setback. Due to the terrain conditions, the required setbacks are nearly impossible to achieve. A Conditional use permit is required for any proposed development at or above 7800 feet in elevation per the SLDC § 7.17.11.2, which would require approval through the Hearing Officer and Planning Commission as a separate Application process. Staff is proposing to eliminate this requirement as part of the 6 month changes to the SLDC, which are scheduled to be heard by the County Commission in November/December.

C. Variances Requested to Allow Development in Difficult Terrain

Without the following 2 variances, the homes on the proposed lots would have to be built on steeper terrain, and not in the flatter, logical building sites, or more roadways would have to be constructed to access these locations, rather than thinner, less terrain disturbing driveways.

10. To allow building areas at an elevation above 7,400 feet that are not closest to the nearest public or private roadway (SLDC §§ 7.17.10.1.3)
11. To exclude driveway construction and emergency turnarounds from the disturbed area limitation (SLDC §7.17.10.3.1)

Staff response: The SLDC requires for development at or above 7400 feet in elevation that the buildable area be closest to the nearest pre-existing public or private roadway, unless the resulting location of the buildable area would make the development in the area visible from the nearest major arterial road. The proposed buildable areas are not visible from any major arterials. Any development on these lots will need to comply with all sections of the design standards and include a visual impact analysis to mitigate visual impacts. Many locations in this area have limited area to construct a residence without impacting the existing terrain.

D. Variances Requested to Allow Development of a 20' Wide Paved Road, where previously a 15' Wide Base course Road was approved

The Existing Approval included a 15' wide gated, emergency access basecourse road along Dancing Bear Trail (previously known as Cuesta Brava). In a meeting with the Fire Marshal

Victoria DeVargas, asked if the road could be paved to ensure that it was properly maintained and she wanted 20' wide pull outs to allow traffic passing. Upon review of the issue, it was decided that for safety reason and optimal traffic circulation, this paved road should not be gated and should be designed for 2-way traffic for its entire length, rather than just emergency traffic. Widening the road will disturb more 30% slopes. This modification necessitates the following variance.

12. To allow an additional slope disturbance on Dancing Bear Trail (previously known as Cuesta Brava) roadway to widen the roadbed from 15' to 20' (SLDC §7.17.4.3).

Staff Response: The prior approval allowed the Applicant to build Cuesta Brava to 15' in width and be used for emergency access only. The request for the variance for additional slope disturbance of Dancing Bear Trail (Cuesta Brava) is due to the Applicant proposing to widen the road and make it a through road that would provide an additional point of ingress and egress through the subdivision for the residents as well as for emergency vehicles.

E. Variance Requested to be Compatible with Existing Development in the Vicinity.

There are no sidewalks or street lights currently in the mountainous terrain in the project vicinity and the addition of street lights would be highly objectionable to most residents of the community. There are several dirt trails in the High Summit project that are quite popular, including portions of the Dale Ball Trail network. The addition of sidewalks would not be in keeping with the existing character of the neighborhood, and would result in significantly more disturbance to steep (>30%) slopes, and roadside sidewalks could not meet ADA requirements due to the steep nature of the planned roadways.

13. To not require sidewalks (SLDC §7.11.15).
14. To not require street lighting (SLDC §7.8.1.6).

Staff Response: Due to the mountainous terrain and severity of the slopes, a sidewalk would not meet ADA standards without additional disturbance of the terrain. Staff is proposing to eliminate the requirement for sidewalks in SDA-2 as part of the 6 month changes to the SLDC, which are scheduled to be heard by the County Commission in November/December 2016.. There are no existing street lighting located in this area. Due to the elevation of these lots, a requirement for streetlights would go against the purpose of the lighting standards in the SLDC to protect the night sky and prevent spillover, nuisance or hazardous effects of light and glare on adjacent lands

In addition, as part of the existing approval, the EZA approved variances to the 50%/50% rule (code section 7.17.10.1.1) and to allow disturbances of slopes in excess of 30% for road and driveway construction (code section 7.17.10.4.1). Those variances still stand and are applicable to the proposed development.

The Applicant addressed the variance review criteria set forth in SLDC section 14.9.7 as follows:

1. Is the request contrary to the public interest?

Applicant's Response: No. The Variances are being requested in order to achieve the objectives of reducing the number of lots and minimizing the amount of land disturbance and length of new roads associated with build-out of Phase III. The reason the Variances are necessary is due to changes to the Code that have taken place following grant of the existing approval, including its 52 lots, in 2005. The SLDC does not contain detailed standards for development in mountainous areas, giving rise to the need for the variances in order to modify the existing approval to reduce the number of lots, the amount of land disturbance and the length of roads needed to serve the proposed 12 lots. If the Variances are denied, then the Applicant would have no other option than to develop the 52 lots and longer roads in accord with the existing approval. The public interest will be served by a result that has a quarter the number of lots, half the number of houses, less land disturbance and less new road construction.

Staff Response: Originally the Applicants requested 47,879 square feet of disturbance of 30% and greater. The proposed plans show a total of 50,165 square feet of 30 % or greater slope disturbance. However, the Applicants would like an additional 3289 square feet of additional slope disturbance for a total of 53,454 square feet. While homes will be cut in half from 52 to 24 homes on the site, there is an increase of 3,289 square footage in slope disturbance This increase will be visible from lower locations in the surrounding community.

2. Due to special conditions, will literal enforcement of the SLDC result in unnecessary hardship to the Applicant?

Applicant's Response. Yes. The objective of the Application is to reduce the number of lots from 52 to 12, the number of houses from 52 to 24, the amount of land disturbance and the length of new roads. The Existing Approval was granted under the Extraterritorial Subdivision Regulations (ESR) and roads serving Phase III and lots were developed under the ESR, substantially between Hyde Park Road and the Phase III site. Build-out of Phase III in the proposed less intense configuration under the ESR would not require issuance of any additional variances. The variances are necessary because of the Code change that occurred since the original approval of the project. The Code change and the partial build-out of High Summit constitute special conditions warranting approval of the variance requests, which will achieve an end result that is better for existing residents in the area, reducing impacts on public views and the environment, given the reduction in amount of land disturbance compared to the approved project.

If the SLDC provisions are literally enforced and the requested variances are denied, the Applicant will suffer unnecessary hardship in that their investment in modifying an approved project in a manner that will reduce land disturbance and impacts would be lost. The Applicant would be forced to proceed with development pursuant to the existing approval, which is not as marketable as the proposed project and would result in substantially greater economic impact.

Staff Response: Although less homes located on the site will reduce visual impact, however more disturbance of slope with roadway cuts and additional turnarounds and widths of the road may increase the visual impact.

3. Will the spirit of the SLDC be observed and substantial justice be done?

Applicant's Response. Yes. The Application requests variances that are necessary in order to achieve the objective of reducing the number of approved lots by 75% and the number of homes by half, while reducing the length of roads and amount of land disturbance. The variances would not be necessary if the Application was processed under the ESR which applied to the Existing Approval and included provisions addressing development in mountainous terrain.

One of the stated purposes of the SLDC is to "restrict development within land containing environmental [and] ecological sensitivity." (SLDC §1.4.2.14) The Application proposes to reduce the amount of land disturbance, length of roads, number of lots and number of houses compared to the existing approval and requires issuance of the requested variances to achieve these objectives, which are consistent with the intent and spirit of the SLDC. The existing setting is the approved 52-lot subdivision with longer roads and the proposed project will result in a reduction in extent of environmental impacts compared to the Existing Approval.

Staff Response: The Applicant has a current approval for a 52 lot subdivision and can record the Final Plat upon submission of a Financial Guarantee. The Applicants request for the variances in order to modify the subdivision would result more disturbance of the terrain with roadway disturbance and less visual impact on structures as the number of structures will be reduced from 52 dwellings to 24 dwellings.

As required by the SLDC, the Applicant's agents presented the Application to the Technical Advisory Committee (TAC) on May 19, 2016.

Notice requirements were met as per Chapter 4, Section 4.6.3., General Notice of Application Requiring a Public Hearing, of the SLDC. In advance of a hearing on the Application, the Applicant provided an affidavit of posting of notice of the hearing, confirming that public notice posting regarding the Application was made for fifteen days on the property, beginning on October 12, 2016. Additionally, notice of hearing was published in the legal notice section of the Santa Fe New Mexican on October 12, 2016, as evidenced by a copy of that legal notice contained in the record. Notice of the hearing was sent to owners of land within 500' of the subject property and a list of persons sent a mailing is contained in the record.

This Application for the variances was submitted on August 25, 2016.

RECOMMENDATION:

With the proposed 6 month changes to the SLDC, staff is proposing to eliminate the requirement for sidewalks and the need for a conditional use permit for development at or above 7800' in elevation. This is applicable to variance request # 6, 9, and 13.

The Applicant is requesting variances to increase the amount of 30% slope disturbance by 3289 sq. ft. from what was previously approved. This additional disturbance is for construction of roads and driveways. The overall disturbance in the subdivision will actually decrease based on the proposed reduction in the number of dwelling units. Staff's position is that the Application meets the variance review criteria set forth in Chapter 14.9.7 of the SLDC for the request in regards to Street Lighting, 30% slope disturbance, driveway grades, sidewalks, Conditional Use Permits for development above 7800', ridgetops, setbacks, building areas of above 7400' in elevation, and to exclude driveway construction from disturbed area. Therefore, staff can support the request for variance # 1, 5, 6, 7, 8, 9, 10, 11, 12, 13 and 14. The Applicant, however did not adequately address the variance criteria to reduce the R-O-W widths, or to not require the developed open space area. Therefore, staff cannot support variance # 2, 3, or 4.

Staff requests the Hearing Officer memorialize findings of fact and conclusions of law in a written order. The Santa Fe County Planning Commission (SFCPC) will be holding a public hearing on this matter on November 17, 2016.

EXHIBITS:

1. Variance request
2. Aerial Photo of Site
3. Proposed Plans
4. SLDC §7.8.1.4 (Road Lighting)
5. SLDC §7.17.4.3. (Areas of Natural of 30% and Greater) (No Build areas ridgetops)
6. SLDC §7.15.3.3 (Minimum Required Open Space).
7. SLDC §7.11.2 Table 7-12 (Local Road Standards).
8. SLDC §7.11.15 (Sidewalks)
9. SLDC §7.17.11.2 (Development at or above 7800 Feet in Elevation)
10. SLDC §7.17.9.2 (Standards) No structure on Ridgetops (Standards setback off Ridges)
11. SLDC §7.17.9..6 (Standards finish floor of 15
12. % and 30% to exceed 5')
13. SLDC §7.17.10.1.1 (Buildable area analysis 50% on 20% and 30%)
14. SLDC §7.17.10.1.3 (Buildable area analysis building near Public and private ROW)
15. SLDC §7.17.10.3.1 (Disturbed Area Limitation)
16. SLDC §7.17.10.4.1 (Roads and Driveways on 25% grades)
17. SLDC §14.9.7 (Variances)
18. Previously Approved Subdivision Development Plan

DESIGN ENGINUITY



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(505) 989-3557 FAX (505) 989-4740
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August 26, 2016

Santa Fe County Hearing Officer
Santa Fe County Planning Commission
Santa Fe County Staff

RE: Santa Fe High Summit Phases 3-5 Variance Request

Dear Ladies and Gentlemen,

The Santa Fe High Summit project was designed and approved between 2002 and 2005. At the time the project site was governed by the Extraterritorial Subdivision Regulations. High Summit includes the original High Summit project (30 lots), and High Summit III project which was a 107 dwelling units on 105 lots divided over 5 phases. Phase 1 of High Summit III was developed in 2005 and included 33 lots. With Phase 1, the Phase 2 roads were rough graded and the water, sewer and dry utility mains and service lines for Phase 2 were installed to loop the systems. The Phase 2 project includes 22 lots and will be recorded before the end of this calendar year.

There is a desire to create a different product for the remainder of the project site. Rather than 50 lots with an average size of less than 1 acre, the developer would like to create 12 large lots with an average size of 2.75 acres. These larger lots would be permitted 2 dwelling units each, for a total of 24 dwellings.

The project roads would follow the original design except for 2 changes:

1. An ~850 linear foot portion of Cuesta Brava Road was originally approved as a 15' wide basecourse road for emergency access only. To improve emergency access circulation and to ensure this roadway is properly maintained, and at the Fire Marshal's request, we wish to widen the road to 20 feet and add an asphalt surface. This results in approximately 3920 SF of additional 30%+ slope disturbance.
2. Eliminate much of the long (2141'), curvy Calle Juanita Road. This roadway was originally planned to serve 15 lots. With the new proposed plan only 5 lots will be platted in this area, and they can be easily and safely served by two short roadways: one 50' long and the other 791' long. The longer road would end in a cul-de-sac that would add approximately 3120 SF of additional 30%+ slope disturbance.

Note that due to planned changes, 3751 SF of 30%+ slopes that were to be disturbed will not be. Thus the net increase in lot disturbance is 3289 square feet.

There are no planned changes to the original approved plans other than the road changes noted above and the reduction from 50 to 12 lots and from 52 to 24 dwelling units. In no case would the new 12 lot



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subdivision expand the area that was previously approved for development, in fact significantly less area will be developed.

There are further variances needed so that the original plans meet the current SLDC code requirements. These remaining variances all are related to the same issue: the SLDC does not address the unique conditions of mountain development. Thus we ask for the following additional variances from the existing SLDC:

1. To allow an additional 7040 SF of 30% or greater slope disturbance on Calle Juanita and Cuesta Brava roadways to accommodate a cul-de-sac and a widen roadbed as noted above (code section 7.17.4.3). Note that 3751 SF of 30%+ slopes that had originally planned to be disturbed will not be due to the reduction in planned roads and driveways. Thus the net increase in disturbed area will be 3289 SF.
2. To not require street lighting (code section 7.8.1.6).
3. To not require a 1 acre developed open space (code section 7.15.3.3).
4. To allow a 33' ROW for an 850' length of Cuesta Brava (code section Table 7-12 local road standard).
5. To allow a 38' ROW on local roads (code section Table 7-12 local road standard).
6. To allow road and driveway grades up to 11.6% (code section Table 7-12 cul-de-sac, local and driveway standard).
7. To not require sidewalks (code section 7.11.15).
8. To allow structures on ridgetops, ridgelines or shoulder (code sections 7.17.9.2.1 and 7.17.4.2)
9. To modify the setback from the shoulder to 5' from where the profile of the upper slope changes from greater than 30% to less than 30% (code sections 7.17.9.2.2 and 7.17.10.6)
10. To allow building areas at an elevation above 7400 feet that are not closest to the nearest public or private roadway (code sections 7.17.10.1.3)
11. To exclude driveway construction and emergency turnarounds from the disturbed area limitation (code sections 7.17.10.3.1)
12. To not require a conditional use permit for lot development above 7800 feet in elevation (code sections 7.17.11.2).

We believe our previous approval granted us a variance on the 50%/50% rule (7.17.10.1.1) and allow disturbances of slopes in excess of 30% for road and driveway construction (7.17.10.4.1)

Thank you,



Orallynn Guerrerortiz

SOMMER, KARNES & ASSOCIATES, LLP

Mailing Address

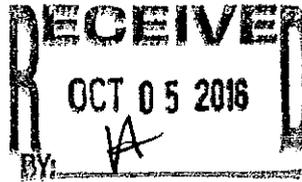
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Of Counsel

September 29, 2016

Vicente Archuleta, Case Planner
Santa Fe County Growth Management Department
102 Grant Street
Santa Fe, NM 87501

Re: High Summit III Variance Criteria Responses

Dear Vicente:

On behalf of Applicant White Bear Properties, LLC, this letter addresses the variance criteria for the variances included with the Application, and listed below. In sum, the Applicant proposes to reconfigure the County-Approved configuration of Phase III of the High Summit (the "Existing Approval") to reduce the number of lots from 52 to 12 and to reduce the amount of new roadway by a total of 4,150 linear feet. Each of the 12 lots is proposed to be allowed 2 dwelling units, for a maximum of 24 dwelling units. The Application is intended to reduce land disturbance, preserve views and provide a more sensitive and marketable development, as compared to the Existing Approval.

As you are aware, the Existing Approval includes a Master Plan, Preliminary and Final Plan and Plat for 52 residential lots, *all which are still valid approvals*. Our client has the option of recording the Final Plat in the current configuration, which can be accomplished today without any further approvals. While that might be the best short-term choice for our client, as it maximizes the development potential of the property, the Existing Approval may not be the best long-term development of this property. So before the Existing Approvals expire, our client has sought to substantially reduce the proposed development of the property, and in doing so, has invoked the newly adopted provisions of the SLDC.

The Extraterritorial Zoning Authority (EZA) granted the Existing Approval in 2005 and the Existing Approval remains in effect. The Extraterritorial Subdivision Regulations (ESR) governed the Existing Approval and have since been replaced with the SLDC. The SLDC does not address the unique conditions associated with development in mountainous areas to the same extent as the

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ESR. In fact, under the new SLDC regulations, none of the property could be utilized for residential development. Therefore, to make any use of the property and to achieve the project objectives, the Application requests grant of additional variances that would not have been necessary in the first instance and would not be necessary if the ESR was still in effect.

The existing condition with respect to evaluating the Application is the approved project, with its 50 lots and 4,150 greater length of roads than the Application. The requested variances are the minimum necessary to achieve the objectives of the proposed project, which will substantially reduce the number of lots, homes, amount of land disturbance and length of new roads. The requested variances are:

A. Variances Necessary to Minimize Impacts to Terrain and Environment

The following 6 requested variances are necessary to minimize impacts to the terrain and slopes in excess of 30%.

1. To allow an additional slope disturbance on Buffalo Lane (previously known as Calle Juanita) roadway to accommodate a Fire Marshal tee turnaround (SLDC §7.17.4.3).
2. To not require a 1-acre developed open space (SLDC § 7.15.3.3).
3. To allow a 33' ROW for an 850' length of Dancing Bear Trail (previously known as Cuesta Brava) (SLDC Table 7-12 local road standard).
4. To allow a 38' ROW on local roads (SLDC Table 7-12 local road standard).
5. To allow road and driveway grades up to 11.6% (SLDC Table 7-12 cul-de-sac, local and driveway standard).
6. To not require sidewalks (SLDC §7.11.15).

By eliminating much of the planned Buffalo Lane (previously called Calle Juanita) roadway, the project will disturb less terrain, but per code it is necessary to install a Fire Marshal approved turnaround at the end of the road. We have selected a site for this turnaround that is not visible to existing public roads.

The required 1-acre park would require significant terrain disturbance, in an area where natural public trails are abundant. Because dry utility lines and equipment are constructed outside of the road right of way, we planned to limit road right of way to the minimum necessary to install the road, curb and gutter and water and sewer lines and services. If we had larger road rights of way, then the dry utilities would be constructed further from the roads and thus disturb more terrain. The steeper road beds, had been previously approved by the County Fire Marshal, and allow us to minimize the length of roads, more closely follow existing terrain, and disturb less steep slopes. If we added sidewalks to the roadways, we would disturb more terrain, and given the steep nature of the project, we would not be able to build ADA compliant sidewalks.

B. Variances Necessary to Permit Site Development

Without the following 3 variances, several of the existing approved building sites could not be developed. The SLDC greatly expanded the areas that could not be developed in mountainous terrain. As proposed, several prime building sites which cannot be seen from public roadways could not be developed. Requiring a conditional use permit (in essence a public hearing) to construct a residence puts an unfair burden on a lot owner in this project compared with the rest of the county. Also, please note that Staff is recommending deleting 7.17.11.2 requirement from the SLDC.

7. To allow structures on ridgetops, ridgelines or shoulder (SLDC §7.17.9.2.1 and 7.17.4.2)
8. To modify the setback from the shoulder to 5' from where the profile of the upper slope changes from greater than 30% to less than 30%, (SLDC §§ 7.17.9.2.2 and 7.17.10.6).
9. To not require a conditional use permit for lot development above 7800 feet in elevation (SLDC §§ 7.17.11.2).

C. Variances Requested to Allow Development in Difficult Terrain

Without the following 2 variances, the homes on the proposed lots would have to be built on steeper terrain, and not in the flatter, logical building sites, or more roadways would have to be constructed to access these locations, rather than thinner, less terrain disturbing driveways.

10. To allow building areas at an elevation above 7,400 feet that are not closest to the nearest public or private roadway (SLDC §§ 7.17.10.1.3)
11. To exclude driveway construction and emergency turnarounds from the disturbed area limitation (SLDC §7.17.10.3.1)

D. Variances Requested to Allow Development of a 20' Wide Paved Road, where Previously a 15' Wide Basecourse Road was Approved

The Existing Approval included a 15' wide gated, emergency access basecourse road along Dancing Bear Trail (previously known as Cuesta Brava). In a meeting with the Fire Marshal Victoria DeVargas, she asked if the road could be paved to ensure that it was properly maintained and she wanted 20' wide pull outs to allow traffic passing. Upon review of the issue, it was decided that for safety reason and optimal traffic circulation, this paved road should not be gated and should be designed for 2-way traffic for its entire length, rather than just emergency traffic. Widening the road will disturb more 30% slopes. This modification necessitates the following variance.

12. To allow an additional slope disturbance on Dancing Bear Trail (previously known as Cuesta Brava) roadway to widen the roadbed from 15' to 20' (SLDC §7.17.4.3).

E. Variance Requested to be Compatible with Existing Development in the Vicinity.

There are no sidewalks or street lights currently in the mountainous terrain in the project vicinity and the addition of street lights would be highly objectionable to most residents of the community. There are several dirt trails in the High Summit project that are quite popular, including portions of the Dale Ball Trail network. The addition of sidewalks would not be in keeping with the existing character of the neighborhood, and would result in significantly more disturbance to steep (>30%) slopes, and roadside sidewalks could not meet ADA requirements due to the steep nature of the planned roadways.

13. To not require sidewalks (SLDC §7.11.15).
14. To not require street lighting (SLDC §7.8.1.6).

In addition, as part of the Existing Approval, the EZA approved variances to the 50%/50% rule (code section 7.17.10.1.1) and to allow disturbances on slopes in excess of 30% for road and driveway construction (code section 7.17.10.4.1). These variances apply to the Application and will not require additional action by the County. The following addresses the Variance Criteria set forth in SLDC section 14.9.7:

1. Is the request contrary to the public interest?

Response: No. The Variances are being requested in order to achieve the objectives of reducing the number of lots and minimizing the amount of land disturbance and length of new roads associated with buildout of Phase III. The reason the Variances are necessary is due to changes to the Code that have taken place following grant of the Existing Approval, including its 52 lots, in 2005. The SLDC does not contain detailed standards for development in mountainous areas, giving rise to the need for the Variances in order to modify the Existing Approval to reduce the number of lots, the amount of land disturbance and the length of roads needed to serve the proposed 12 lots. If the Variances are denied, then the Applicant would have no other option than to develop the 52 lots and longer roads in accord with the existing approval. The public interest will be served by a result that has a quarter the number of lots, half the number of houses, less land disturbance and less new road construction.

2. Do to special conditions, will literal enforcement of the SLDC result in unnecessary hardship to the Applicant?

Response. Yes. The objective of the Application is to reduce the number of lots from 52 to 12, the number of houses from 52 to 24, the amount of land disturbance and the length of new roads. The Existing Approval was granted under the ESR and roads serving Phase III and lots were developed under the ESR, substantially between Hyde Park Road and the Phase III site. Buildout of Phase III in the proposed less intense configuration under the ESR would not require issuance of any additional variances. The variances are necessary because of the Code change that occurred since the original approval of the project. The Code change and the partial buildout of High Summit constitute special conditions warranting approval of the variance requests, which

SOMMER, KARNES & ASSOCIATES, LLP

September 29, 2016

Page 5 of 5

will achieve an end result that is better for existing residents in the area, reducing impacts on public views and the environment, given the reduction in amount of land disturbance compared to the approved project.

If the SLDC provisions are literally enforced and the requested variances are denied, the Applicant will suffer unnecessary hardship in that their investment in modifying an approved project in a manner that will reduce land disturbance and impacts would be lost. The Applicant would be forced to proceed with development pursuant to the existing approval, which is not as marketable as the proposed project and would result in substantially greater economic impact.

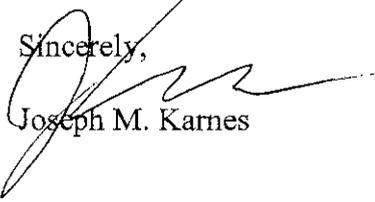
3. Will the spirit of the SLDC be observed and substantial justice be done?

Response. Yes. The Application requests variances that are necessary in order to achieve the objective of reducing the number of approved lots by 75% and the number of homes by half, while reducing the length of roads and amount of land disturbance. The variances would not be necessary if the Application was processed under the ESR which applied to the Existing Approval and included provisions addressing development in mountainous terrain.

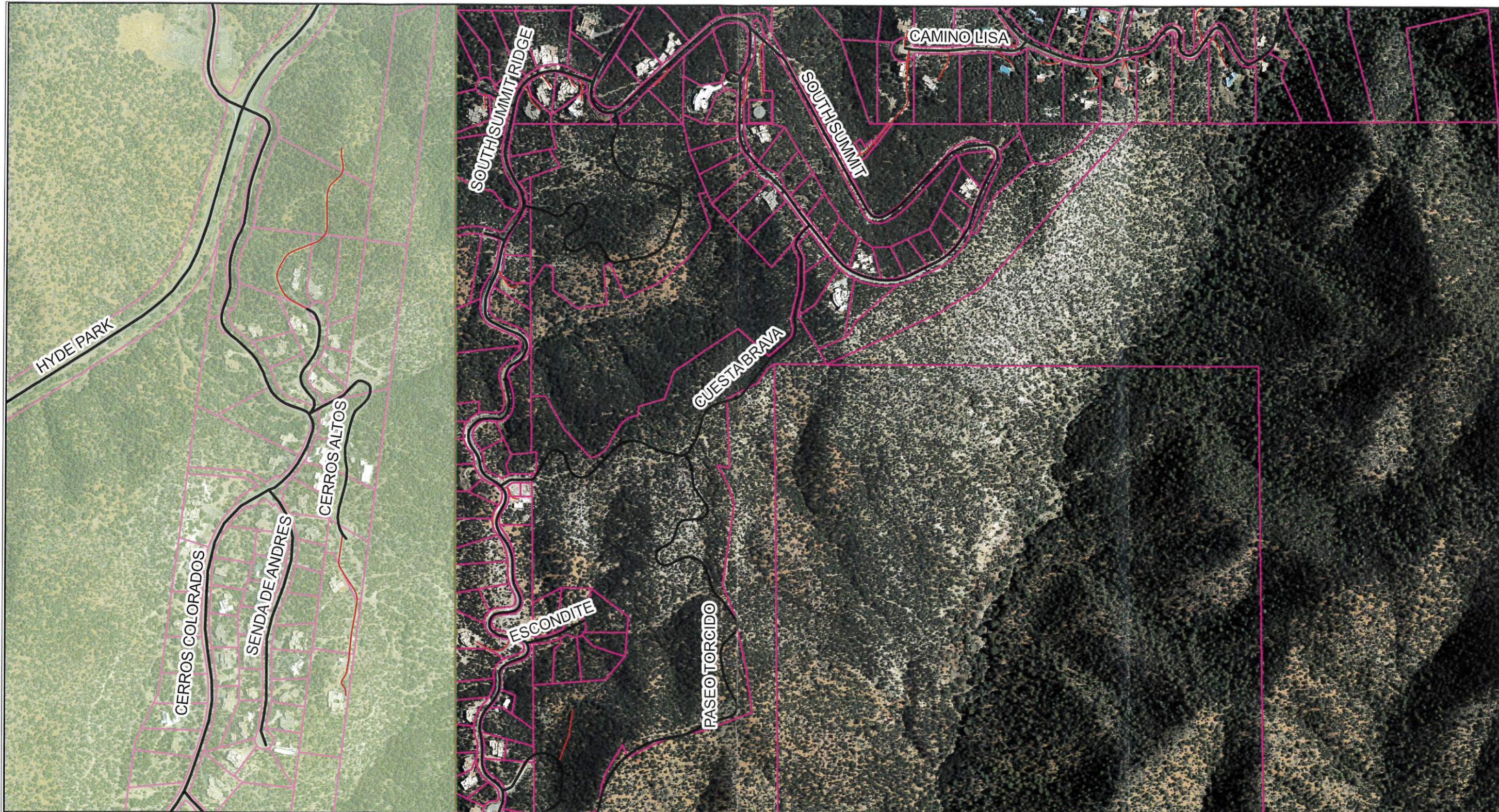
One of the stated purposes of the SLDC is to "restrict development within land containing environmental [and] ecological sensitivity." (SLDC §1.4.2.14) The Application proposes to reduce the amount of land disturbance, length of roads, number of lots and number of houses compared to the existing approval and requires issuance of the requested variances to achieve these objectives, which are consistent with the intent and spirit of the SLDC. The existing setting is the approved 52-lot subdivision with longer roads and the proposed project will result in a reduction in extent of environmental impacts compared to the Existing Approval.

Thank you for your consideration.

Sincerely,


Joseph M. Karnes

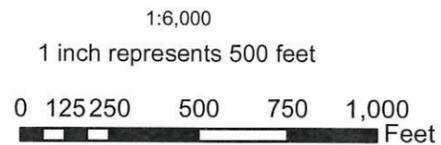
NBA-14



Legend

-  Roads
-  DRIVEWAYS
-  PARCELS

EXHIBIT
2.



2015 Imagery
2 FOOT CONTOURS

This information is for reference only.
Santa Fe County assumes no liability for
errors associated with the use of these data.
User are solely responsible for
confirming data accuracy.

NBA-15



October 5, 2016

HIGH SUMMIT III PHASES 3-6 SANTA FE, NEW MEXICO

CONCEPTUAL PLAN, DEVELOPMENT PLAN,
PRELIMINARY PLAT PH 3-6 AND FINAL PLAT PH 3

SHEET INDEX

1	COVER SHEET AND VICINITY MAP
2	CONCEPTUAL PLAN
3	PHASING PLAN
4	FINAL DEVELOPMENT PLAN PHASES 3-6
5A-5D	PRELIMINARY SUBDIVISION PLAT PHASES 3-6
6A-6B	FINAL SUBDIVISION PLAT PHASE 3
7	EXISTING CONDITIONS & SOIL MAP
8	SLOPE ANALYSIS
9	ROADWAY TYPICAL SECTION
10	SIGNING AND PAVEMENT MARKING PLAN
11	OPEN SPACE AND TRAILS PLAN
12A-12D	ROAD PLAN AND PROFILES
13A-13B	DRAINAGE PLAN AND DETAILS
14	MASTER UTILITY PLAN
15A-15E	LOW PRESSURE SANITARY SEWER PLAN AND PROFILES
16A-16D	FIRE PROTECTION AND WATER SYSTEM PLAN
17	GENERAL CONSTRUCTION NOTES
18A-18D	SANTA FE COUNTY UTILITY DETAILS
19A-19B	SANTA FE COUNTY STREET & DRAINAGE DETAILS
20	NM CURB & GUTTER DETAILS

OCTOBER 7, 2016 REVISIONS

DATE	BY	DATE	BY

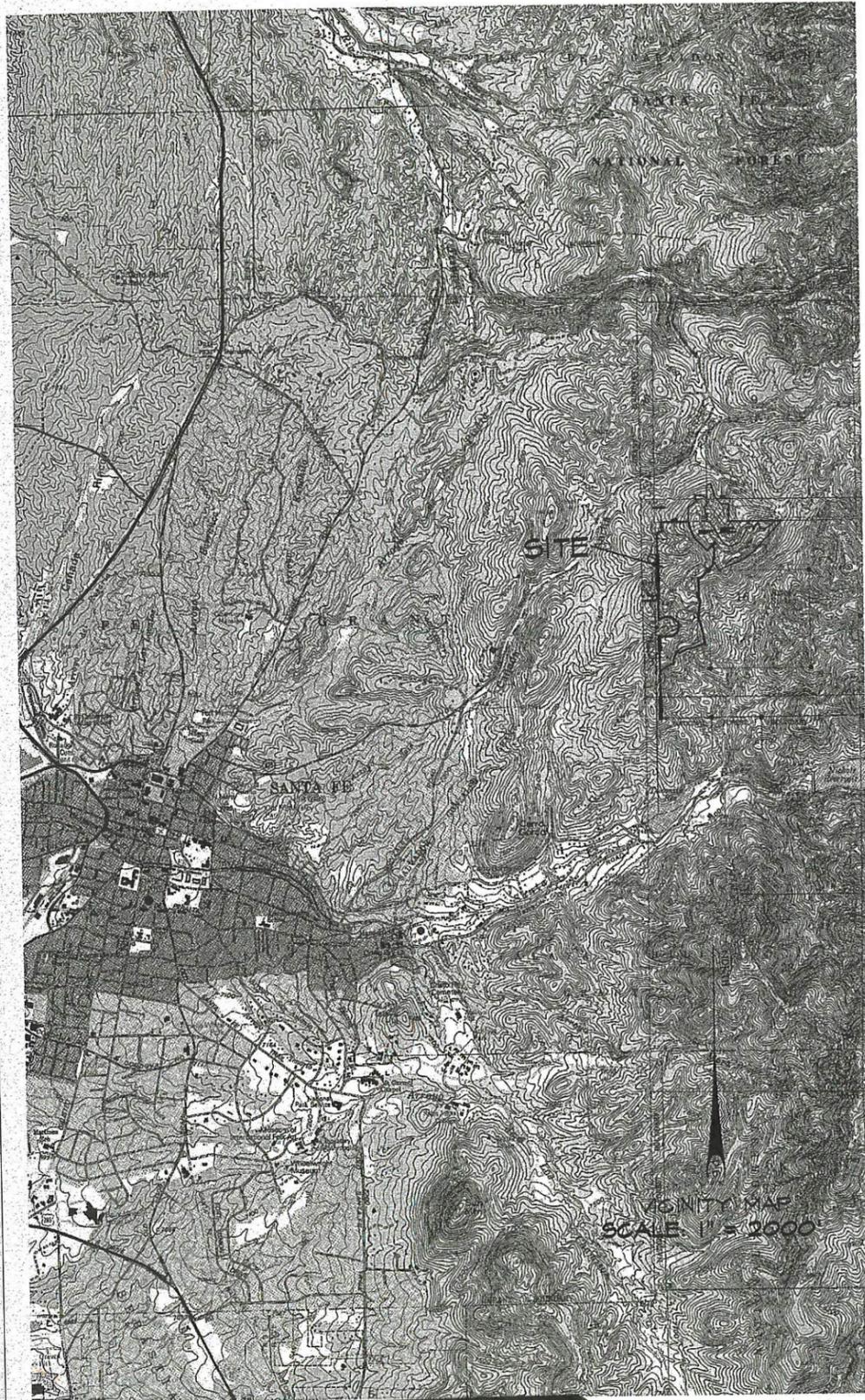
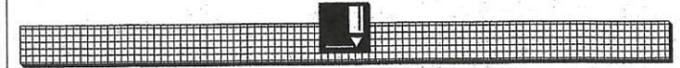


EXHIBIT
3.

OWNER:
WHITE BEAR PROPERTIES, LLC.
PO BOX 22865
SANTA FE NM, 87502

ENGINEERING:

DESIGN ENGINUITY



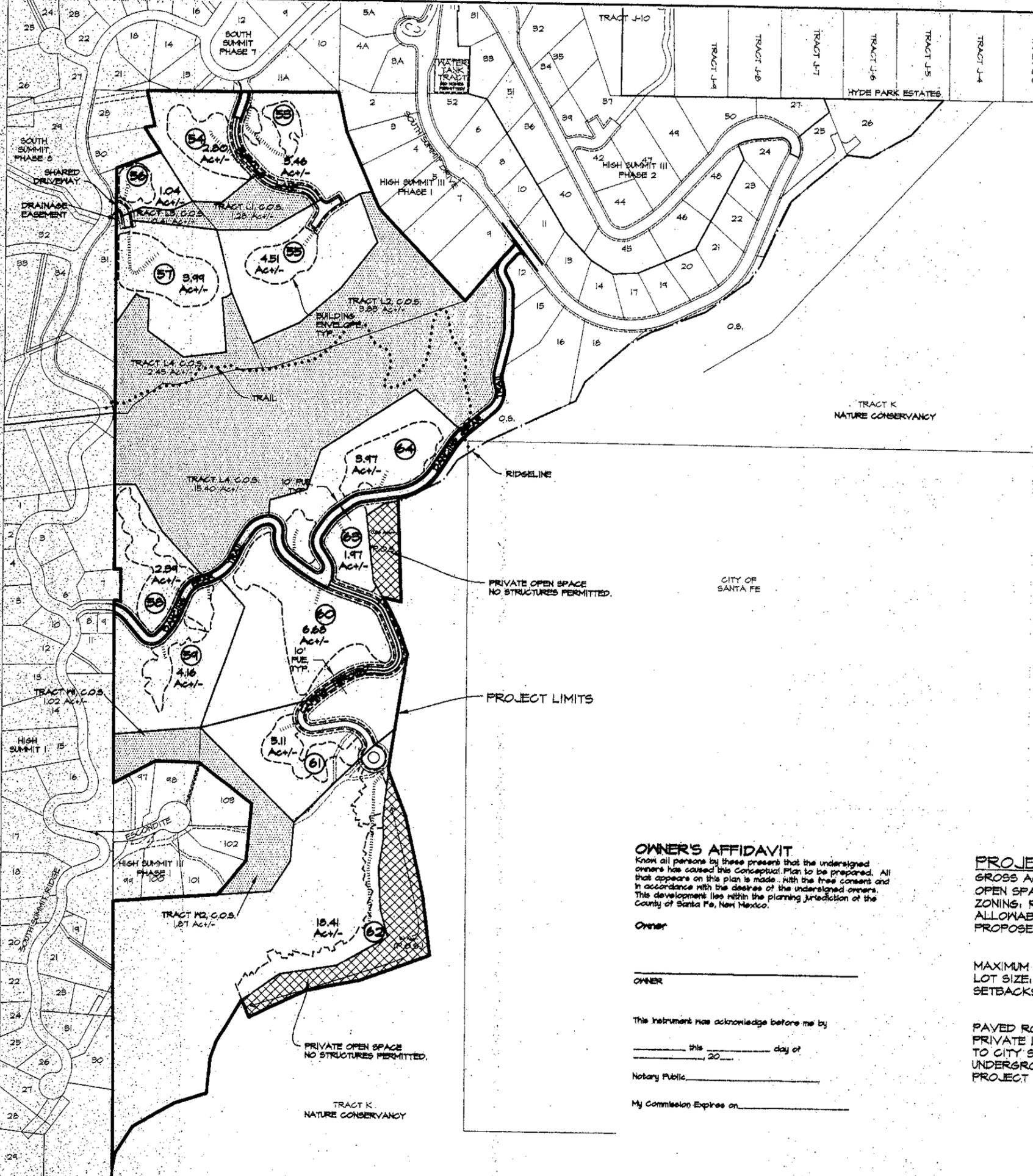
1421 Luisa Street, Suite E
Santa Fe, New Mexico
(505) 484-3551



SURVEYING:

RICK CHATROOP
PROFESSIONAL LAND SURVEYOR
NEW MEXICO REGISTRATION NO. 11011
(505) 470-0037 110 WAGON TRAIL RD. CERRILLOS, NM. 87010

NBA-14



APPROVALS

Approved by the Board of County Commissioners at meeting of _____

Chairperson _____ Date _____

Attested by _____

County Clerk _____ Date _____

County Development Permit No. 16- _____

Approved by _____

County Land Use Administrator _____ Date _____

Approved by _____

County Fire Marshal _____ Date _____

Approved by _____

County Public Works Director _____ Date _____

Approved by _____

Rural Addressing _____ Date _____

Approved by _____

County Treasurer _____ Date _____

STATE OF NEW MEXICO) ss
COUNTY OF SANTA FE) ss

I hereby certify that this instrument was filed for record on the _____ day of _____ A.D., 20____ at _____ o'clock _____ M., and was duly recorded in Book _____ Page _____ of the records of Santa Fe County.

Witness my hand and Seal of Office
GERALDINE SALAZAR
County Clerk, Santa Fe County, NM

Deputy _____

OWNER'S AFFIDAVIT
Know all persons by these presents that the undersigned owner has caused this Conceptual Plan to be prepared. All that appears on this plan is made with the free consent and in accordance with the desire of the undersigned owners. This development lies within the planning jurisdiction of the county of Santa Fe, New Mexico.

Owner _____

OWNER _____

This instrument was acknowledged before me by _____ this _____ day of _____, 20____.

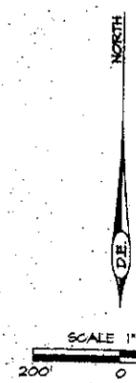
Notary Public _____

My Commission Expires on _____

PROJECT DATA
GROSS ACREAGE = 87 ACRES±
OPEN SPACE = 26.25 ACRES (30%)
ZONING: RESIDENTIAL COMMUNITY
ALLOWABLE DENSITY: 1 DU/ACRE
PROPOSED DENSITY: 12 RESIDENTIAL LOTS WITH 24 DWELLING UNITS (1 DU/ 3.6 ACRES)

MAXIMUM BUILDING HEIGHT: 18 FEET
LOT SIZE: 1 TO 18 ACRES FOR SINGLE-FAMILY LOTS
SETBACKS: 5' FROM PROPERTY LINES 10' FROM ROAD RIGHT-OF-WAY.

PAVED ROADS, CURB & GUTTER, CITY WATER, PRIVATE LOW-PRESSURE SEWER SYSTEM OUTFALLING TO CITY SYSTEM, ELECTRIC, GAS, CABLE AND PHONE UNDERGROUND, CENTRALIZED STORM WATER DETENTION. PROJECT TO BE DEVELOPED IN 4 PHASES.



DESIGN ENGINEER

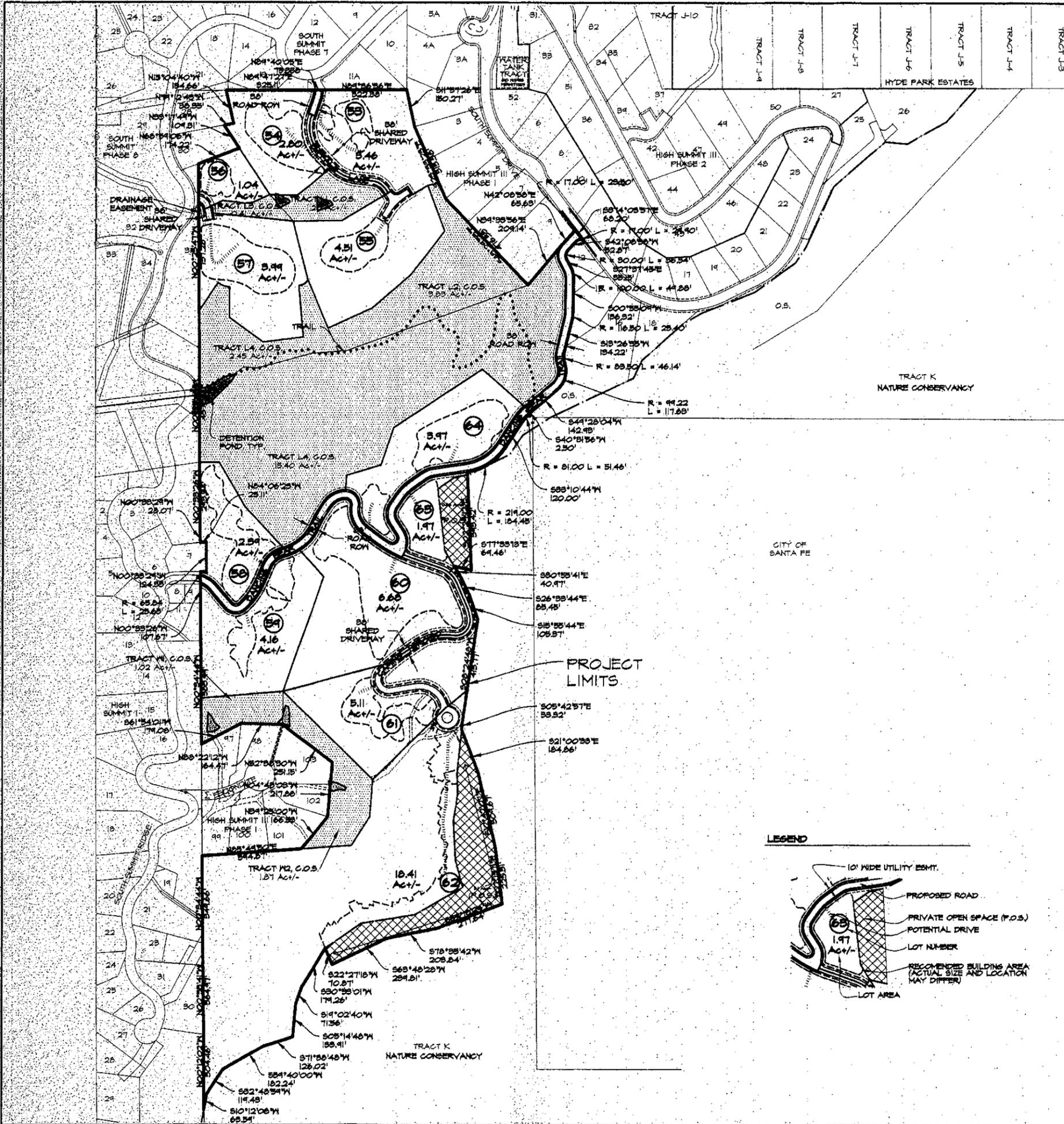
1411 LUNA STREET, SUITE C
SANTA FE, NEW MEXICO 87505
(505) 994-9971

HIGH SUMMIT III - PHASE

CONCEPTUAL PLAN

SCALE: 1"=200' DATE: _____ SHEET NO: _____

NBA-17



FINAL DEVELOPMENT PLAN FOR HIGH SUMMIT III SUBDIVISION PHASES 3-6
TITN, RICE, Section 16
Santa Fe County, New Mexico

Dedication and Affidavit
Know all persons by these present that the undersigned owner has caused this Final Development Plan to be prepared. All that appears on this Plan is made with the free consent and in accordance with the desires of the undersigned owner. This development lies within the planning and platting jurisdiction of the County of Santa Fe, New Mexico. The purpose of this plan is to allow a subdivision of 12 residential lots. This plan supercedes and replaces in all respects any other plan for this property.

Owner _____
Date _____
This foregoing was shown, acknowledged and subscribed before me by _____ this _____ day of _____, 20____.
Notary Public
My Commission Expires on _____

COUNTY APPROVALS
Approved by the Board of County Commissioners at their meeting of _____

Board of County Commissioners Chair _____ Date _____
County Development Permit No. _____
Approved by _____
County Land Use Administrator _____ Date _____
Approved by _____
County Fire Marshal _____ Date _____
Approved by _____
County Public Works Director _____ Date _____

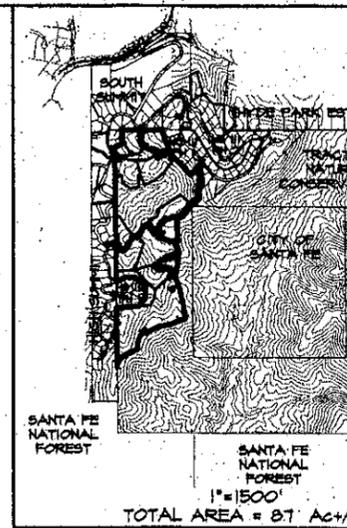
This Final Development Plan depicts general lot layouts and open space acreages. The final lot layout and open space tracts are governed by the final recorded subdivision plat for each phase of this development. Total number of lots/units and total open space shall be limited and required by the subdivision approval for this development.

SITE DATA

Total Project Area	=	87 Ac±
Allowable Density 1 d/acre or	=	87 dwelling units
Total Dwelling Units	=	24
Total Lots	=	12
Required Open Space (30%)	=	26 Acres±
Open Space	=	
Common Open Space	=	26.25 Acres±
Private Open Space	=	8.46 Acres±
Total	=	30.21 Acres±
Minimum Lot Size	=	1.0 Acre±
Maximum Lot Size	=	18.4 Acres±
Average Lot Size	=	4.87 Acres±

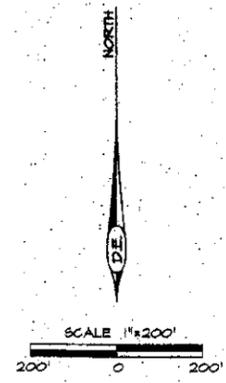
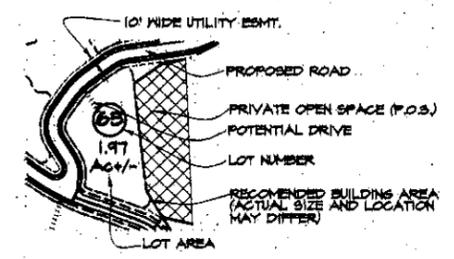
Project has paved roads with City Water and Private Sewer Service and connect to City Sewer System. All homes to have residential fire suppression systems. This development is not subject to a housing opportunity agreement.

Approved BLDC variances for Phases 3-6 of High Summit III:
7.17.4.3 and 7.17.10.4.1 to allow 30%+ slope disturbances for roads and driveways; 7.0.1.6 to not require street lighting; 7.15.3.3 to not require developed open space; Table 7-12 to allow road and driveway grades up to 11.6% to allow 93' row for 850' of Cuesta Brava and to allow local roads with a 33' row; 7.11.1.5 to not require sidewalks; 7.17.9.2.1 and 7.17.4.2 to allow structures on ridgetops, ridge line and shoulders; 7.17.9.2.2 and 7.17.10.6 to reduce setbacks from shoulders to 5 feet where slope changes from greater than 30%, to less than 30%; 7.17.10.1.3 to allow building sites which are not the closest sites to the roadway; 7.17.10.3.1 to exclude driveways and emergency turnarounds from the disturbed area limitation; 7.17.11.2 to not require a conditional use permit for lot development within this project; and 7.17.10.1.1 to not require that 50% of the development be on slopes of less than 20%.



FINAL DEVELOPMENT PLAN FOR PHU
TITN, RICE, Section 16,
Santa Fe County, New Mexico.

LEGEND



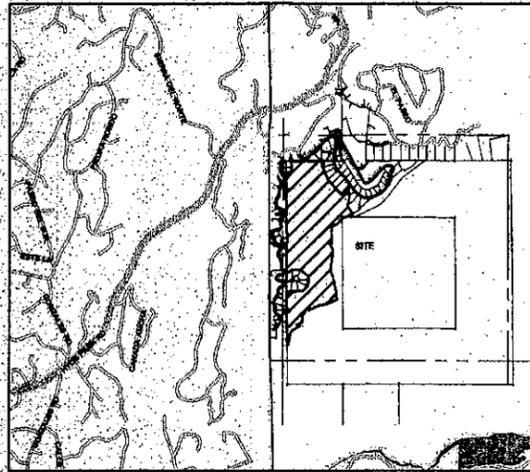
REV#	
DATE	

DESIGN ENGINEUTY
1411 LUISA STREET, SUITE C
SANTA FE, NEW MEXICO 87505
(505) 991-1997

HIGH SUMMIT III - PHASE
FINAL DEVELOPMENT PLAN - PHA

SCALE: 1"=200'
DATE: _____

NBA-19



VICINITY MAP NOT TO SCALE

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- NEW MEXICO GAS COMPANY for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- PUBLIC SERVICE COMPANY OF NEW MEXICO for the installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- CENTURY LINK for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- CABLE TV for the installation, maintenance, and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above together with free access to, from, and over said right of way and easement, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, and to trim and remove trees, shrubs or bushes which interfere with the purpose set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown herein. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

UTILITIES APPROVAL

NEW MEXICO GAS COMPANY	DATE
PNM ELECTRIC SERVICES	DATE
CENTURY LINK	DATE
COMCAST	DATE

SURVEYORS CERTIFICATE

RICHARD A. CHATROOP, A NEW MEXICO PROFESSIONAL SURVEYOR NO. 11011, DO HEREBY CERTIFY THAT THIS SURVEY PLAT AND THE ACTUAL FIELD SURVEY UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECTION ON SEPT. 8TH, 2016; THAT I AM RESPONSIBLE FOR THIS SURVEY AND THAT IT MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

RICHARD A. CHATROOP N.M.P.L.S.#11011

COUNTY AND CITY APPROVALS

Approved by the Board of County Commissioners at their meeting of _____

Chairman _____ Date _____

Attested by _____ Date _____
County Clerk

County Development Permit No. 16- _____

Approved by _____ Date _____
County Land Use Administrator

Approved by _____ Date _____
County Fire Marshal

Approved by _____ Date _____
County Public Works Director

Approved by _____ Date _____
County Utility Division Director

Approved by _____ Date _____
County Treasurer

Approved by _____ Date _____
County Rural Addressing Director

NOTES AND CONDITIONS

- Maintenance of access roads, utility easements and drainage structures to be the responsibility of the Association. Shared driveway and utility easements are to be maintained by the owners of the lots using these easements.
- Lands shown hereon lie within Zone X - outside of the 500-year flood plain as shown on F.I.R.M. Panel #3504900409E effective on 12/04/2012.
- The approval of this plat does not constitute the approval of any further development including building permits.
- Existing natural drainage ways will not be modified or impeded without the written approval of the Land Use Administrator. Development shall not impede historic flow rates or patterns to or from these lots.
- These lots are subject to Santa Fe County Fire and Rescue impact fees at the time of the application of building permit.
- These lots must be connected to the private sewer system installed by the Owner that is connected to and served by the City of Santa Fe sewer system. All lot owners must install an E-1 Grinder pump or Association approved equal to connect to the low-pressure sewer. Sanitary sewer individual service lines within the lots shall be the responsibility of the lot owner to construct and maintain. No individual wastewater system shall be allowed.
- The low-pressure sewer line located within the utility easements shall be maintained by the Association.
- These lots are served by the City of Santa Fe Sangre de Cristo Water System. Individual wells are prohibited.
- No building permits shall be granted until such time as the fire hydrants have been tested and approved by the Fire Marshal and the access roads are deemed possible by the Fire Marshal.
- All residential structures are to have NFPA 13D compliant residential sprinkler systems. Designs for these to be approved by the County Fire Marshal prior to individual building permit issuance. A final inspection by the County Fire Marshal is required prior to building occupancy.
- This subdivision shall comply with all applicable portions of Ordinance 2001-11, Urban-Wildland Interface Code, including exterior building materials and vegetation management.
- All outdoor lighting shall be shielded.
- All utility lines shall be underground.
- All lots are subject to a 10-Foot Utility easement adjacent to all road rights-of-way and access easements.
- This plat is subject to that certain Declaration of Restrictive Covenants for High Summit III- Phase 3-6, recorded as Document No. _____
- The High Summit Subdivision III ? Phase 3-6 Disclosure Statement is filed in the office of the County Clerk and recorded as Document No. _____
- This development is not subject to a Housing Opportunity Program Agreement (HOP).
- The Public Trail Easements are for pedestrian use only between dawn and dusk, and shall not be used for any picnicking, camping, loitering or other uses. The trails shall be unimproved and shall meet the Forest Service standard for unimproved trails.
- The minimum building setback from lot lines is 5' and from road easements is 10' unless the Homeowner Association Covenants provide for larger setbacks.
- Santa Fe County's approval of this survey plat does not include the construction of the private easements and roads as shown prior to the construction of said private easements and roads, it is required that an additional development permit be applied for and then approved by the Santa Fe County Land Use Administrator.
- Water use on these lots is restricted by the Declaration of Restrictive Covenants for High Summit Subdivision III- Phases 3-6, recorded as Document No. _____. A water meter must be installed for each dwelling unit and annual readings must be submitted to the County Hydrologist by December 31st of each year.
- Centralized storm water detention ponds have been constructed to mitigate impacts of the subdivision roads and up to 10,000 SF of impervious area on each lot. If lot development exceeds 10,000 SF, the lot owner must provide additional detention ponds to compensate for the increase stormwater runoff.

VARIANCES:

APPROVED SLOPE VARIANCES FOR PHASES 3-6 OF HIGH SUMMIT III: 7.17.10.3 AND 7.17.10.4.1 TO ALLOW 30%+ SLOPE DISTURBANCES FOR ROADS AND DRIVEWAYS; 7.16.3.3 TO NOT REQUIRE DEVELOPED OPEN SPACE; TABLE 7-12 TO ALLOW ROAD AND DRIVEWAY GRADES UP TO 11.6% ; TO ALLOW 33' ROW FOR 850' OF CUESTA BRAVA AND TO ALLOW LOCAL ROADS WITH A 38' ROW; 7.11.15 TO NOT REQUIRE SIDEWALKS; 7.17.9.2.1 AND 7.17.4.2 TO ALLOW STRUCTURES ON RIDGETOPS, RIDGELINE AND SHOULDERS; 7.17.9.2.2 AND 7.17.10.6 TO REDUCE SETBACKS FROM SHOULDERS TO 5 FEET WHERE SLOPE CHANGES FROM GREATER THAN 30% TO LESS THAN 30%; 7.17.10.1.3 TO ALLOW BUILDING SITES WHICH ARE NOT THE CLOSEST SITES TO THE ROADWAY; 7.17.10.3.1 TO EXCLUDE DRIVEWAYS AND EMERGENCY TURNAROUNDS FROM THE DISTURBED AREA LIMITATION; 7.17.11.2 TO NOT REQUIRE A CONDITIONAL USE PERMIT FOR LOT DEVELOPMENT WITHIN THIS PROJECT; AND 7.17.10.1.1 TO NOT REQUIRE THAT 50% OF THE DEVELOPMENT BE ON SLOPES OF LESS THAN 20%.

PURPOSE STATEMENT

The purpose of this subdivision plat is to create _____ residential lots.

DEDICATION AND AFFIDAVIT

Know all persons by this presents that White Bear Properties, LLC, a New Mexico corporation, as the owner (the "Owner") of the lands shown on this subdivision plat (the "Plat") which are located within Santa Fe County, New Mexico, containing an area of _____ acres, more or less, has caused the lands to be subdivided as shown on this plat and that said subdivision is named and shall be known as High Summit III - Phase _____ (the "Subdivision"). All that appears on this plat is made with the free consent and in accordance with the desires of the Owner.

Grants of Easements:

Roadway Rights-of-way; Grant of Easements. The roadway rights-of-way shown hereon are hereby made subject to a non-exclusive easement for ingress, egress and utilities in favor of the High Summit III - Phases 3-6 Homeowners' Association for the benefit of its members, and such rights of way are hereby made subject to an easement for public ingress, egress and utilities. Until such time as Owner shall transfer the ownership of the rights-of-way to the Association, Owner shall be the record title owner of the rights-of-way subject to the grants of easements in favor of the Association and the public as contained in this paragraph. The roadway improvements shall be maintained by the Association, until such time as they are accepted, by resolution, for maintenance by the Santa Fe County Board of Commissioners as provided by N.M.S.A. 1978, as amended, Section 47-6-5 or any other entity having the power and authority to accept the improvements for maintenance.

Utility Easements. The utility companies identified hereon, and their successors in interest, and executing the Plat are granted easements as shown hereon within the roadway rights-of-way for the construction, maintenance, repair and operation of utilities in providing utility service to the Subdivision.

Open Space Reservation. Tracts L, O and W are hereby reserved for use as open space, utilities, road cut and fill slopes, retaining walls, pedestrian trails, drainage control structures and use by the Association and such other parties as Owner may grant easements to for their use and enjoyment. The members of the Association are hereby granted the right to use these Tracts subject to the Declaration of Restrictive Covenants for High Summit III- Phases 3-6, recorded on _____ in the records of the Santa Fe County Clerk, under Reception No. _____ (the "Declaration"), the By-laws of the Association, any rules and regulations adopted by the Association.

Grant of Trail Easements. The public pedestrian trail easements shown within Tract L are hereby granted for public use, subject to the rules and regulations adopted by the Association.

Grant of Drainage Easements. Drainage easements are granted as shown for the purpose of maintaining the flow of storm waters. Such easements are granted to the Association, its members and to the adjoining lot owners whose surface drainage naturally flows through such easements. The Association is responsible for maintaining all drainage structures and easements.

Excavation Easements. Excavation easements for cut and fill slopes for all roadway improvements and related drainage structures are hereby granted to the Association and reserved by Owner, for the placement, construction, maintenance, repair and replacement of roadways and roadway appurtenances including easements for road, retaining walls, cut and fill slopes, drainage improvements, which easements will vary in width as construction and maintenance requires. Any roadway improvements, cut or fill slopes and drainage improvements, installed or constructed by Owner within the boundary of any lots or tracts shown hereon are deemed to be within the easement granted hereby.

Sewer Service Sewer service for this development is connected to the City of Santa Fe Public Sewer System, that is located within Hyde Park Road, through a private low-pressure sewer system owned and maintained by the High Summit Association.

Jurisdiction. This subdivision lies within the planning and plotting jurisdiction of the County of Santa Fe, New Mexico.

OWNER

WHITE BEAR PROPERTIES, LLC,
A New Mexico corporation.

_____, President

The foregoing was sworn, acknowledged and subscribed before me by _____, President of White Bear Properties, LLC, a New Mexico corporation, on behalf of the corporation, this _____ day of _____, 20____.

My commission expires: _____ Notary Public

LOT LINE ADJUSTMENT TRACTS L & O

AND PRELIMINARY SUBDIVISION PLAT

HIGH SUMMIT III SUBDIVISION PHASES 3,4,5 & 6

LYING WITHIN SECTION 16 T17N, R10E, NMPM, SANTA FE CO., NM.

RICK CHATROOP
PROFESSIONAL LAND SURVEYOR

NEW MEXICO REGISTRATION NO. 11011
(505) 470-0037 110 WAGON TRAIL CERRILLOS, NM 87010

INDEXING INFORMATION FOR THE COUNTY CLERK

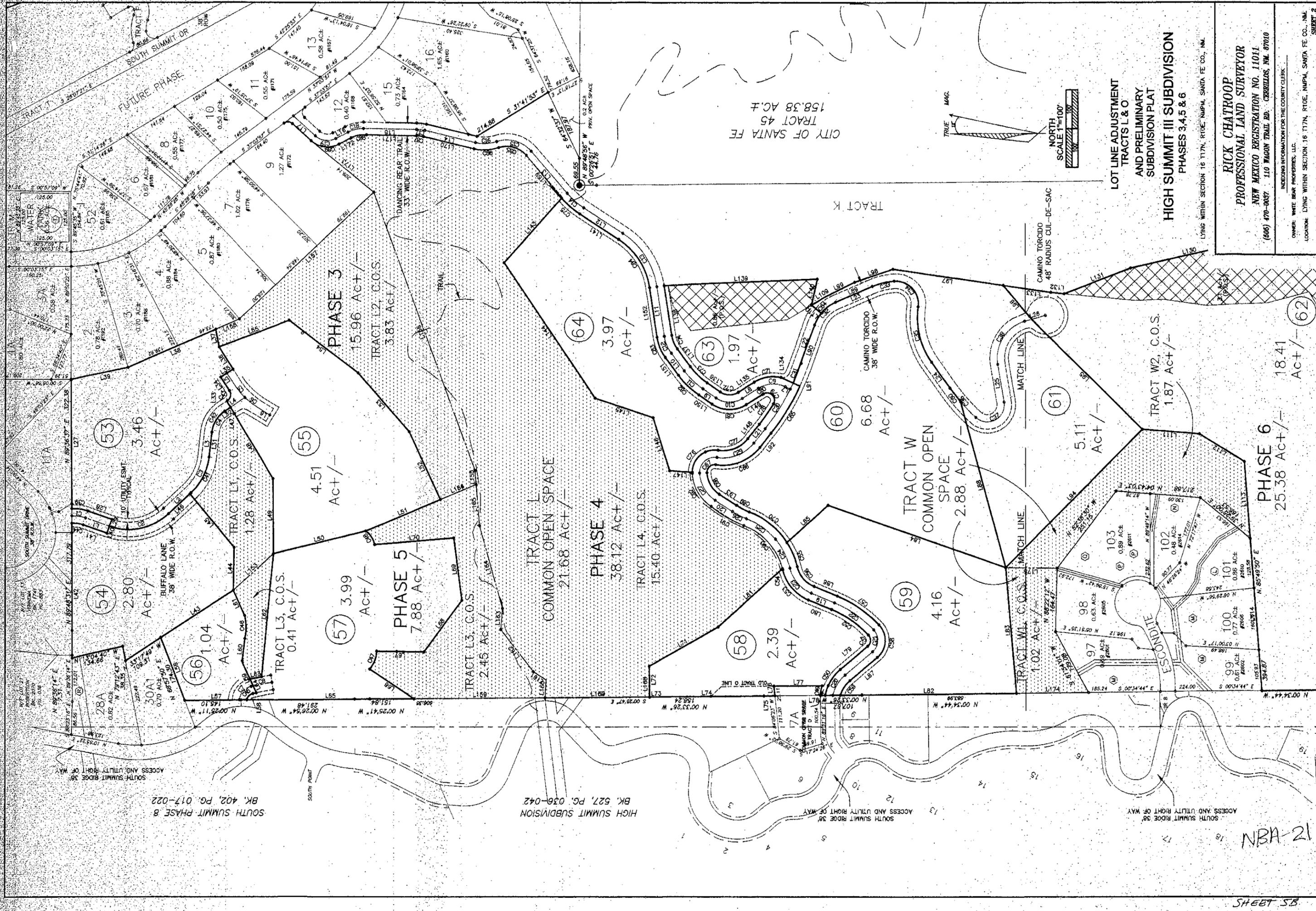
OWNER: WHITE BEAR PROPERTIES, LLC.
LOCATION: LYING WITHIN SECTION 16 T17N, R10E, NMPM, SANTA FE CO., NM

COUNTY OF SANTA FE YES
STATE OF NEW MEXICO
I hereby certify that this instrument was filed for record on the _____ day of _____ A.D. 20____ at _____ o'clock _____ m. and was duly recorded in book _____ of the records of Santa Fe County.

Witness my Hand and Seal of Office
Doraldine Salazar
County Clerk, Santa Fe County, N.M.

Deputy

8/16/16



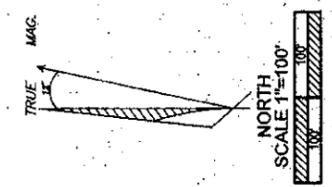
SOUTH SUMMIT PHASE 8
BK. 402, PG. 017-022

HIGH SUMMIT SUBDIVISION
BK. 527, PG. 036-042

SOUTH SUMMIT RIDGE 38'
ACCESS AND UTILITY RIGHT OF WAY

SOUTH SUMMIT RIDGE 38'
ACCESS AND UTILITY RIGHT OF WAY

CITY OF SANTA FE
TRACT 45
158.38 AC.F



LOT LINE ADJUSTMENT
TRACTS L & O
AND PRELIMINARY
SUBDIVISION PLAT
HIGH SUMMIT III SUBDIVISION
PHASES 3, 4, 5 & 6

LYING WITHIN SECTION 16 T17N, R10E, N16PA, SANTA FE CO., N.M.

RICK CHATROOF
PROFESSIONAL LAND SURVEYOR
NEW MEXICO REGISTRATION NO. 11011
(606) 470-0037 110 WAGON TRAIL RD. CERRILLOS, N.M. 87010

INDEXING INFORMATION FOR THE COUNTY CLERK
OWNER: WHITE BEAR PROPERTIES, LLC
LOCATION: LYING WITHIN SECTION 16 T17N, R10E, N16PA, SANTA FE CO., N.M.
SHEET 2

NBA-21
SHEET 5B

LINE TABLE		
LINE	LENGTH	BEARING
L1	65.30	S19°26'30"W
L2	62.90	S43°29'14"E
L3	62.90	S83°49'48"E
L4	63.93	S34°08'03"E
L5	31.81	S7°03'12"W
L6	31.81	S36°58'21"W
L7	14.13	N26°09'13"E
L8	48.54	N32°57'03"W
L9	41.83	N54°49'19"E
L10	67.25	N54°02'04"E
L11	126.25	N61°06'08"E
L12	180.00	N68°24'48"E
L13	143.29	N49°28'04"E
L14	134.22	N37°24'38"E
L15	136.32	N00°00'00"E
L16	38.15	N67°07'45"W
L17	74.36	N47°06'59"W
L18	93.73	S40°17'08"E
L19	65.24	N28°44'38"E
L20	56.76	N33°18'34"E
L21	47.85	S38°16'57"E
L22	105.25	S70°47'09"E
L23	103.90	S30°29'49"E
L24	82.78	S54°04'19"E
L25	96.94	N60°31'09"E
L26	56.86	S18°27'17"E
L27	325.23	S89°36'44"W
L28	65.10	S19°26'30"W
L29	19.00	N70°33'30"W
L30	100.50	S47°30'14"E
L31	24.98	S30°44'48"E
L32	17.15	S32°56'48"E
L33	19.00	N67°09'12"E
L34	41.84	N57°09'12"E
L35	36.00	S32°56'48"E
L36	68.47	N57°09'12"E
L37	170.30	N70°33'30"W
L38	245.98	N27°32'22"E
L39	150.27	N01°57'26"W
L40	19.00	N70°33'30"W
L41	65.10	N19°26'30"E
L42	349.66	S89°47'18"W
L43	222.79	S33°14'33"E
L44	111.21	S30°00'00"E
L45	106.18	N50°41'25"E
L46	75.48	N43°23'14"W
L47	19.01	S36°06'22"W
L48	196.41	S39°09'29"W
L49	194.24	S89°28'34"W
L50	243.79	S13°01'06"E
L51	206.15	S30°00'00"E
L52	123.36	N52°17'57"E
L53	201.27	N49°17'28"E
L54	283.50	N37°30'18"E
L55	194.64	N60°48'36"W
L56	174.22	S68°59'06"W
L57	159.00	S00°23'47"E
L58	8.89	S18°44'44"E
L59	87.32	N65°36'33"E
L60	61.25	S82°27'51"E
L61	72.11	N67°26'28"E
L62	320.96	N84°29'41"W
L63	30.63	N11°28'58"W
L64	38.79	S45°36'39"W
L65	428.73	S00°00'00"E
L66	136.78	N33°56'47"E
L67	121.71	S00°45'44"W
L68	165.38	S33°48'46"E
L69	163.09	N82°41'20"E
L70	204.83	N84°49'37"W
L71	225.36	N29°46'12"W
L72	79.64	S39°30'50"W
L73	0.00	S00°29'48"E
L74	293.94	S00°33'26"E
L75	86.07	S00°32'29"E
L76	25.11	N84°06'23"E
L77	124.35	S00°33'29"E
L78	12.62	S00°33'29"E
L79	17.79	S40°17'08"E
L80	65.24	N28°44'38"E
L81	223.00	N48°45'48"W
L82	54.99	S00°34'38"E
L83	327.30	N85°18'18"E
L84	486.43	N19°29'04"E
L85	143.13	N48°07'58"W
L86	65.34	S22°44'38"W
L87	93.73	N40°17'05"W
L88	444.97	N74°53'39"E
L89	103.90	N27°29'48"W
L90	160.25	N69°08'59"W
L91	19.00	S24°18'25"W
L92	47.85	N56°16'53"W
L93	56.76	S33°18'34"W
L94	508.24	S48°23'41"E
L95	403.87	N45°09'52"E
L96	114.45	N50°07'29"E
L97	288.17	N08°24'48"E
L98	105.37	N09°55'44"W
L99	25.45	N23°33'44"W
L100	60.00	N60°28'05"W
L101	30.00	S57°12'51"W
L102	90.00	S84°28'47"W
L103	31.23	N01°47'47"W
L104	68.76	N61°47'47"W
L105	25.35	N63°31'11"W
L106	58.17	N87°01'11"W
L107	108.16	N40°08'25"W
L108	22.23	S83°37'23"W
L109	46.97	N30°35'41"W
L110	32.66	S39°28'30"W
L111	147.85	S04°34'14"W
L112	136.81	S38°04'33"E
L113	136.92	S25°42'50"W
L114	294.87	S85°49'50"W
L115	349.66	S00°34'44"E
L116	364.97	S00°33'41"E
L117	304.46	S00°18'02"E
L118	63.99	N10°12'08"E
L119	119.43	N38°48'55"E
L120	188.24	N59°48'09"E
L121	126.82	N71°33'48"E

LINE TABLE		
LINE	LENGTH	BEARING
L122	193.91	N85°14'48"E
L123	71.94	N10°48'40"E
L124	179.23	N30°53'01"E
L125	70.87	S82°27'19"E
L126	239.81	N63°48'28"E
L127	203.84	N78°35'48"E
L128	277.64	N67°18'24"E
L129	225.25	N07°19'11"W
L130	309.71	N54°48'04"W
L131	184.82	N21°00'33"W
L132	33.32	N05°42'57"E
L133	125.60	N06°24'48"E
L134	34.44	N24°28'21"E
L135	48.54	N38°57'03"W
L136	41.23	N34°43'18"E
L137	87.24	N34°48'04"E
L138	130.23	N81°26'08"E
L139	353.42	S02°24'12"E
L140	68.46	N77°33'13"W
L141	128.00	N33°10'44"E
L142	0.00	N49°32'04"W
L143	222.82	N48°27'41"W
L144	482.34	S84°19'26"W
L145	159.40	S10°37'36"W
L146	143.76	S72°25'21"W
L147	58.38	S04°17'58"W
L148	47.85	S22°16'57"E
L149	48.54	N38°57'03"W
L150	41.23	N34°43'18"E
L151	87.24	N34°48'04"E
L152	130.23	N81°26'08"E
L153	141.65	S42°27'13"E
L154	100.48	S23°06'53"E
L155	36.18	N80°28'21"E
L156	767.04	N70°01'57"E
L157	476.23	N43°29'00"W
L158	67.48	N23°09'29"W
L159	337.88	S00°25'29"E
L160	45.96	S86°06'44"E
L161	39.19	N33°30'19"E
L162	137.37	N82°30'39"E
L163	84.69	S85°30'39"E
L164	223.08	N74°58'41"E
L165	197.36	N89°22'21"E
L166	100.48	N23°08'53"W
L167	269.46	S00°25'09"E
L168	0.01	N89°21'53"E
L169	143.32	N80°28'02"E
L170	134.22	N13°24'35"E
L171	136.32	N00°00'00"E
L172	35.15	N87°37'45"W
L173	229.14	S39°33'56"W
L174	183.22	N01°34'44"W
L175	136.63	S00°50'26"W

CURVE TABLE					
CURVE	ARC	RADIUS	CHORD	LENGTH	DELTA
C1	36.48	100.00	N08°54'37"E	36.44	20°59'46"
C2	164.49	150.00	S11°58'22"E	156.37	62°49'44"
C3	105.70	150.00	S63°34'31"E	103.93	40°22'33"
C4	65.03	75.00	N58°35'25"W	63.01	49°40'45"
C5	47.28	210.00	S27°01'54"W	47.29	13°23'29"
C6	47.86	210.00	S37°29'34"W	47.69	13°02'55"
C7	48.05	39.00	N49°19'48"W	45.88	72°33'36"
C8	55.41	725.25	N10°37'01"W	55.39	4°28'38"
C9	72.21	70.00	N63°28'55"W	69.05	59°06'16"
C10	70.87	60.00	S00°33'08"W	66.82	67°40'21"
C11	67.41	280.00	S44°22'41"W	67.10	19°18'46"
C12	47.85	100.00	S37°44'54"W	47.37	27°24'44"
C13	168.45	200.00	N57°18'24"E	163.31	48°19'24"
C14	56.56	200.00	S41°19'24"W	56.67	16°17'20"
C15	97.77	82.72	N18°36'28"E	92.18	67°43'12"
C16	39.26	100.00	S02°25'16"E	34.56	31°59'43"
C17	21.00	100.00	N07°09'32"E	21.76	12°29'26"
C18	41.60	83.50	N13°21'18"W	41.18	28°38'33"
C19	56.63	46.50	S07°19'37"W	53.83	61°48'43"
C20	62.06	96.90	N69°28'29"W	61.03	36°48'29"
C21	63.50	39.00	S86°03'36"E	56.71	33°17'03"
C22	124.21	300.44	N34°38'13"E	123.33	23°41'18"
C23	88.03	93.26	S49°47'03"W	84.80	54°04'57"
C24	84.20	182.43	N63°36'15"E	83.46	26°26'33"
C25	91.64	182.43	N35°59'37"E	90.68	28°46'42"
C26	40.86	200.00	S27°01'54"W	40.73	11°42'18"
C27	64.34	89.58	S47°18'24"W	61.24	53°56'36"
C28	69.79	39.00	N41°59'40"W	60.40	101°00'00"
C29	106.54	100.00	S21°45'44"E	101.57	61°02'26"
C30	138.70	600.00	S58°54'18"E	138.39	13°14'42"
C31	55.07	600.00	S68°09'24"E	55.05	8°13'38"
C32	82.65	100.00	N47°06'28"W	80.32	47°21'21"
C33	58.81	174.06	N13°45'01"W	58.33	19°21'29"
C34	183.75	36.11	N47°04'38"E	180.31	105°17'45"
C35	151.22	208.00	S74°32'53"W	147.64	43°19'14"
C36	101.75	457.18	S48°31'43"W	101.54	12°45'37"
C37	108.77	44.00	S28°39'31"E	83.11	141°38'00"
C38	144.36	100.00	N58°07'28"W	138.15	82°45'46"
C39	43.22	119.00	N09°22'17"E	42.98	20°48'26"
C40	164.49	150.00	S11°58'22"E	156.37	62°49'44"
C41	105.70	150.00	S63°34'31"E	103.93	40°22'33"
C42	66.52	75.00	N58°35'25"W	64.36	50°48'39"
C43	31.73	191.3	S73°16'12"E	28.22	90°01'19"
C44	30.07	81.00	N08°48'17"E	29.90	21°16'25"
C45	23.43	80.00	N46°45'18"W	22.11	67°06'37"
C46	89.89	128.43	N69°23'50"E	89.25	26°43'00"
C47	55.22	76.50	S89°33'11"E	49.71	43°04'57"
C48	42.49	66.90	N57°43'01"E	41.50	43°09'24"
C49	25.63	65.84	N79°21'41"W	25.49	22°19'15"
C50	78.82	115.90	N59°46'00"W	77.31	38°37'31"
C51	32.56	20.00	S86°55'36"E	29.06	95°17'59"
C52	116.36	281.44	N34°38'13"E	115.33	23°41'18"
C53	105.96	112.26	S49°47'03"W	102.67	54°04'57"
C54	3.99	153.45	N75°12'54"E	3.99	1°01'41"
C55	67.53	203.45	N67°09'32"E	67.61	19°19'17"
C56	70.89	74.26	S49°47'03"W	67.32	54°04'57"
C57	132.07	319.44	N34°38'13"E	131.13	23°41'18"
C58	94.43	58.00	S86°55'36"E	84.34	93°17'09"
C59	48.29	77.90	N56°56'23"W	44.65	33°18'37"
C60	128.09	2469.89	S39°33'56"W	128.06	2°08'17"
C61	151.68	204.32	S75°32'53"E	147.64	48°21'28"
C62	183.48	38.51	N47°04'38"E	180.31	105°17'45"
C63	58.81	174.06	N13°45'01"W	58.33	19°21'29"
C64	82.65	100.00	N47°06'28"W	80.32	47°21'21"
C65	143.09	619.00	S58°54'18"E	142.78	13°14'42"
C66	126.78	119.00	S21°45'44"E	120.87	61°02'26"
C67	35.43	20.00	N41°59'40"W	30.98	101°30'20"
C68	64.45	70.58	S89°33'11"E	44.32	33°06'26"
C69	36.98	181.00	S27°01'54"W	36.91	11°42'18"
C70	126.22	201.45	N59°33'15"E	124.17	35°53'58"
C71	71.05	89.00	N10°04'58"W	69.16	45°44'23"
C72	48.43	41.00	S00°53'08"W	45.66	67°40'21"
C73	61.01	181.00	S44°22'41"W	60.78	19°18'46"
C74	36.74	81.00	S57°44'54"W	35.37	27°24'44"
C75	62.56	210.00	S41°19'24"W	62.20	16°17'20"
C76	99.81	58.00	N40°32'23"W	87.94	98°25'44"
C77	96.29	81.00	S81°45'44"E	82.27	61°02'26"
C78	63.74	361.00	S39°29'31"E	63.71	6°17'08"
C79	49.87	19.00	N44°13'56"E	36.74	150°23'67"
C80	3.55	51.00	N60°57'33"W	3.55	3°09'00"
C81	83.3				

DEDICATION AND AFFIDAVIT

Know all persons by this presents that White Bear Properties, LLC, a New Mexico corporation, as the owner (the "Owner") of the lands shown on this subdivision plat (the "Plat") which are located within Santa Fe County, New Mexico, containing an area of _____ acres, more or less, has caused the lands to be subdivided as shown on this plat and that said subdivision is named and shall be known as High Summit III - Phase _____ (the "Subdivision"). All that appears on this plat is made with the free consent and in accordance with the desires of the Owner.

Grants of Easements:

Roadway Rights-of-way Grant of Easements. The roadway rights-of-ways shown hereon are hereby made subject to a non-exclusive easement for ingress, egress and utilities in favor of the High Summit III - Phases 3-6 Homeowners' Association for the benefit of its members, and such rights of way are hereby made subject to an easement for public ingress, egress and utilities. Until such time as Owner shall transfer the ownership of the rights-of-way to the Association, Owner shall be the record title owner of the rights-of-way subject to the grants of easements in favor of the Association and the public as contained in this paragraph. The roadway improvements shall be maintained by the Association, until such time as they are accepted, by resolution, for maintenance by the Santa Fe County Board of Commissioners, as provided by N.M.S.A., 1978, as amended, Section 47-6-5 or any other entity having the power and authority to accept the improvements for maintenance.

Utility Easements. The utility companies identified hereon, and their successors in interest, and executing the Plat, are granted easements as shown hereon within the roadway rights-of-way for the construction, maintenance, repair and operation of utilities in providing utility service to the Subdivision.

Open Space Reservation. Tracts L, O and W are hereby reserved for use as open space, utilities, road cut and fill slopes, retaining walls, pedestrian trails, drainage control structures and use by the Association and such other parties as Owner may grant easements to for their use and enjoyment. The members of the Association are hereby granted the right to use these Tracts subject to the Declaration of Restrictive Covenants for High Summit III - Phases 3-6, recorded on _____, in the records of the Santa Fe County Clerk, under Reception No. _____ (the "Declaration"), the By-laws of the Association, any rules and regulations adopted by the Association.

Grant of Trail Easements. The public pedestrian trail easements shown within Tract L are hereby granted for public use, subject to the rules and regulations adopted by the Association.

Grant of Drainage Easements. Drainage easements are granted as shown for the purpose of maintaining the flow of storm waters. Such easements are granted to the Association, its members and to the adjoining lot owners whose surface drainage naturally flows through such easements. The Association is responsible for maintaining all drainage structures and easements.

Excavation Easements. Excavation easements for cut and fill slopes for all roadway improvements and related drainage structures are hereby granted to the Association and reserved by Owner, for the placement, construction, maintenance, repair and replacement of roadways and roadway appurtenances including easements for road retaining walls, cut and fill slopes, drainage improvements, which easements will vary in width as construction and maintenance requires. Any roadway improvements, cut or fill slopes and drainage improvements installed or constructed by Owner within the boundary of any lots or tracts shown hereon are deemed to be within the easement granted hereby.

Sewer Service Sewer service for this development is connected to the City of Santa Fe Public Sewer System, that is located within Hyde Park Road, through a private, low-pressure sewer system owned and maintained by the High Summit Association.

Jurisdiction. This subdivision lies within the planning and plotting jurisdiction of the County of Santa Fe, New Mexico.

OWNER

WHITE BEAR PROPERTIES, LLC.
A New Mexico corporation

President

The foregoing was sworn, acknowledged and subscribed before me by _____ President of White Bear Properties, LLC., a New Mexico corporation, on behalf of the corporation, this _____ day of _____, 20____.

My commission expires: _____ Notary Public

LOT LINE ADJUSTMENT
TRACT L
AND FINAL
SUBDIVISION PLAT
HIGH SUMMIT III SUBDIVISION
PHASE 3

LYING WITHIN SECTION 16 T17N, R10E, NMPM, SANTA FE CO., NM.

RICK CHATROOP
PROFESSIONAL LAND SURVEYOR
NEW MEXICO REGISTRATION NO. 11011
(505) 470-0637 110 WAGON TRAIL - CERRILLOS, NM 87010

INDEXING INFORMATION FOR THE COUNTY CLERK

OWNER: WHITE BEAR PROPERTIES, LLC.
LOCATION: LYING WITHIN SECTION 16 T17N, R10E, NMPM, SANTA FE CO., NM

COUNTY AND CITY APPROVALS

Approved by the Board of County Commissioners at their meeting of _____

Chairman _____ Date _____

Attested by _____
County Clerk _____ Date _____

County Development Permit No. 16- _____

Approved by _____
County Land Use Administrator _____ Date _____

Approved by _____
County Fire Marshal _____ Date _____

Approved by _____
County Public Works Director _____ Date _____

Approved by _____
County Utility Division Director _____ Date _____

Approved by _____
County Treasurer _____ Date _____

Approved by _____
County Rural Addressing Director _____ Date _____

NOTES AND CONDITIONS

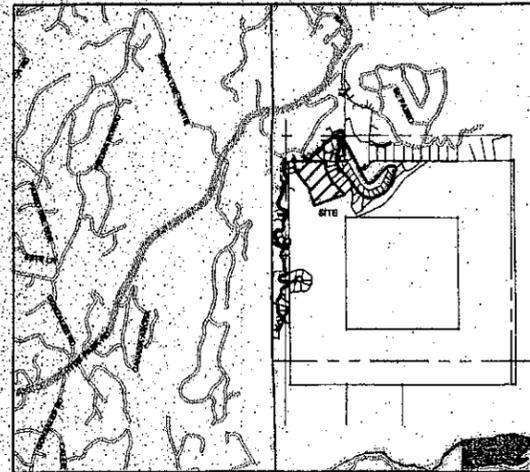
- Maintenance of access roads, utility easements and drainage structures to be the responsibility of the Association. Shared driveway and utility easements are to be maintained by the owners of the lots using these easements.
- Lands shown hereon lie within Zone X - outside of the 500-year flood plain as shown on F.I.R.M. Panel #35C49C0409E effective on 12/04/2012.
- The approval of this plat does not constitute the approval of any further development including building permits.
- Existing natural drainage ways will not be modified or impeded without the written approval of the Land Use Administrator. Development shall not impede historic flow rates or patterns to or from these lots.
- These lots are subject to Santa Fe County Fire and Rescue Impact fees at the time of the application of building permit.
- These lots must be connected to the private sewer system installed by the Owner that is connected to and served by the City of Santa Fe sewer system. All lot owners must install an E-1 Grinder pump or Association approved equal to connect to the low-pressure sewer. Sanitary sewer individual service lines within the lots shall be the responsibility of the lot owner to construct and maintain. No individual wastewater system shall be allowed.
- The low-pressure sewer line located within the utility easements shall be maintained by the Association.
- These lots are served by the City of Santa Fe, Sangre de Cristo Water System. Individual wells are prohibited.
- No building permits shall be granted until such time as the fire hydrants have been tested and approved by the Fire Marshal and the access roads are deemed passable by the Fire Marshal.
- All residential structures are to have NFPA 13D compliant residential sprinkler systems. Designs for these to be approved by the County Fire Marshal prior to individual building permit issuance. A final inspection by the County Fire Marshal is required prior to building occupancy.
- This subdivision shall comply with all applicable portions of Ordinance 2001-11, Urban-Wildland Interface Code, including exterior building materials and vegetation management.
- All outdoor lighting shall be shielded.
- All utility lines shall be underground.
- All lots are subject to a 10-Foot utility easement adjacent to all road rights-of-way and access easements.
- This plat is subject to that certain Declaration of Restrictive Covenants for High Summit III - Phase 3-6, recorded as Document No. _____
- The High Summit Subdivision III - Phase 3-6 Disclosure Statement is filed in the office of the County Clerk and recorded as Document No. _____
- This development is not subject to a Housing Opportunity Program Agreement (HOP).
- The Public Trail Easements are for pedestrian use only between dawn and dusk, and shall not be used for any picnicking, camping, lettering or other uses. The trails shall be unimproved and shall meet the Forest Service standard for unimproved trails.
- The minimum building setback from lot lines is 5' and from road easements is 10' unless the Homeowner Association Covenants provide for larger setbacks.
- Santa Fe County's approval of this survey plat does not include the construction of the private easements and roads as shown prior to the construction of said private easements and roads, it is required that an additional development permit be applied for and then approved by the Santa Fe County Land Use Administrator.
- Water use on these lots is restricted by the Declaration of Restrictive Covenants for High Summit Subdivision III - Phases 3-6, recorded as Document No. _____. A water meter must be installed for each dwelling unit and annual readings must be submitted to the County Hydrologist by December 31st of each year.
- Centralized storm water detention ponds have been constructed to mitigate impacts of the subdivision roads and up to 10,000 SF of impervious area on each lot. If lot development exceeds 10,000 SF, the lot owner must provide additional detention ponds to compensate for the increase stormwater runoff.

VARIANCES:

APPROVED SLDG VARIANCES FOR PHASES 3-6 OF HIGH SUMMIT III:
7.17.4.3 AND 7.17.10.4.1 TO ALLOW 30%+ SLOPE DISTURBANCES FOR ROADS AND DRIVEWAYS; 7.15.3.3 TO NOT REQUIRE DEVELOPED OPEN SPACE;
TABLE 7-12 TO ALLOW ROAD AND DRIVEWAY GRADES UP TO 11.6% , TO ALLOW 33? ROW FOR B50? OF CUESTA BRAVA AND TO ALLOW LOCAL ROADS WITH A 36? ROW; 7.11.15 TO NOT REQUIRE SIDEWALKS; 7.17.9.2.1 AND 7.17.4.2 TO ALLOW STRUCTURES ON RIDGETOPS, RIDGELINE AND SHOULDERS; 7.17.9.2.2 AND 7.17.10.6 TO REDUCE SETBACKS FROM SHOULDERS TO 5 FEET WHERE SLOPE CHANGES FROM GREATER THAN 30% TO LESS THAN 30%; 7.17.10.1.3 TO ALLOW BUILDINGS SITES WHICH ARE NOT THE CLOSEST SITES TO THE ROADWAY; 7.17.10.3.1 TO EXCLUDE DRIVEWAYS AND EMERGENCY TURNAROUNDS FROM THE DISTURBED AREA LIMITATION; 7.17.11.2 TO NOT REQUIRE A CONDITIONAL USE PERMIT FOR LOT DEVELOPMENT WITHIN THIS PROJECT; AND 7.17.10.1.1 TO NOT REQUIRE THAT 50% OF THE DEVELOPMENT BE ON SLOPES OF LESS THAN 20%.

PURPOSE STATEMENT

The purpose of this subdivision plat is to create _____ residential lots.



VICINITY MAP NOT TO SCALE

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- NEW MEXICO GAS COMPANY for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- PUBLIC SERVICE COMPANY OF NEW MEXICO for the installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- CENTURY LINK for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- CABLE TV for the installation, maintenance, and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from, and over said right of way and easement, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, and to trim and remove trees, shrubs or bushes which interfere with the purpose set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGCO) do not conduct a title search of the properties shown hereon. Consequently, PNM and NMGCO do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

UTILITIES APPROVAL

NEW MEXICO GAS COMPANY _____ DATE _____

PNM ELECTRIC SERVICES _____ DATE _____

CENTURY LINK _____ DATE _____

COMCAST _____ DATE _____

SURVEYORS CERTIFICATE

I, RICHARD A. CHATROOP, A NEW MEXICO PROFESSIONAL SURVEYOR NO. 11011, DO HEREBY CERTIFY THAT THIS SURVEY PLAT AND THE ACTUAL FIELD SURVEY UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECTION ON SEPT. 8TH, 2016; THAT I AM RESPONSIBLE FOR THIS SURVEY AND THAT IT MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

RICHARD A. CHATROOP _____ N.M.P.L.S.#11011

COUNTY OF SANTA FE)
STATE OF NEW MEXICO)
I hereby certify that this instrument was filed
for record at the _____ day of _____ A.D.
20____ at _____ o'clock _____
and was duly recorded in book _____ of the records of
page _____ Santa Fe County.

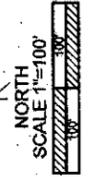
Witness my Hand and Seal of Office
Geraldine Salazar
County Clerk, Santa Fe County, N.M.

Deputy

SH-BET 6A

OWNER: WHITE BEAR PROPERTIES, LLC
 INDEXING INFORMATION FOR THE COUNTY CLERK
 LOCATION: LYING WITHIN SECTION 16 T17N, R10E, N1/4PM, SANTA FE CO., NM.
 (606) 470-0057 110 WAGON TRAIL RD. CERRILLOS, NM 87010
RICK CHATROOP
 PROFESSIONAL LAND SURVEYOR
 NEW MEXICO REGISTRATION NO. 11011

**LOT LINE ADJUSTMENT
 AND FINAL
 SUBDIVISION PLAT
 HIGH SUMMIT III SUBDIVISION
 PHASE 3**



CITY OF SANTA FE
 TRACT 45
 158.38 AC.F

LEGEND AND NOTES

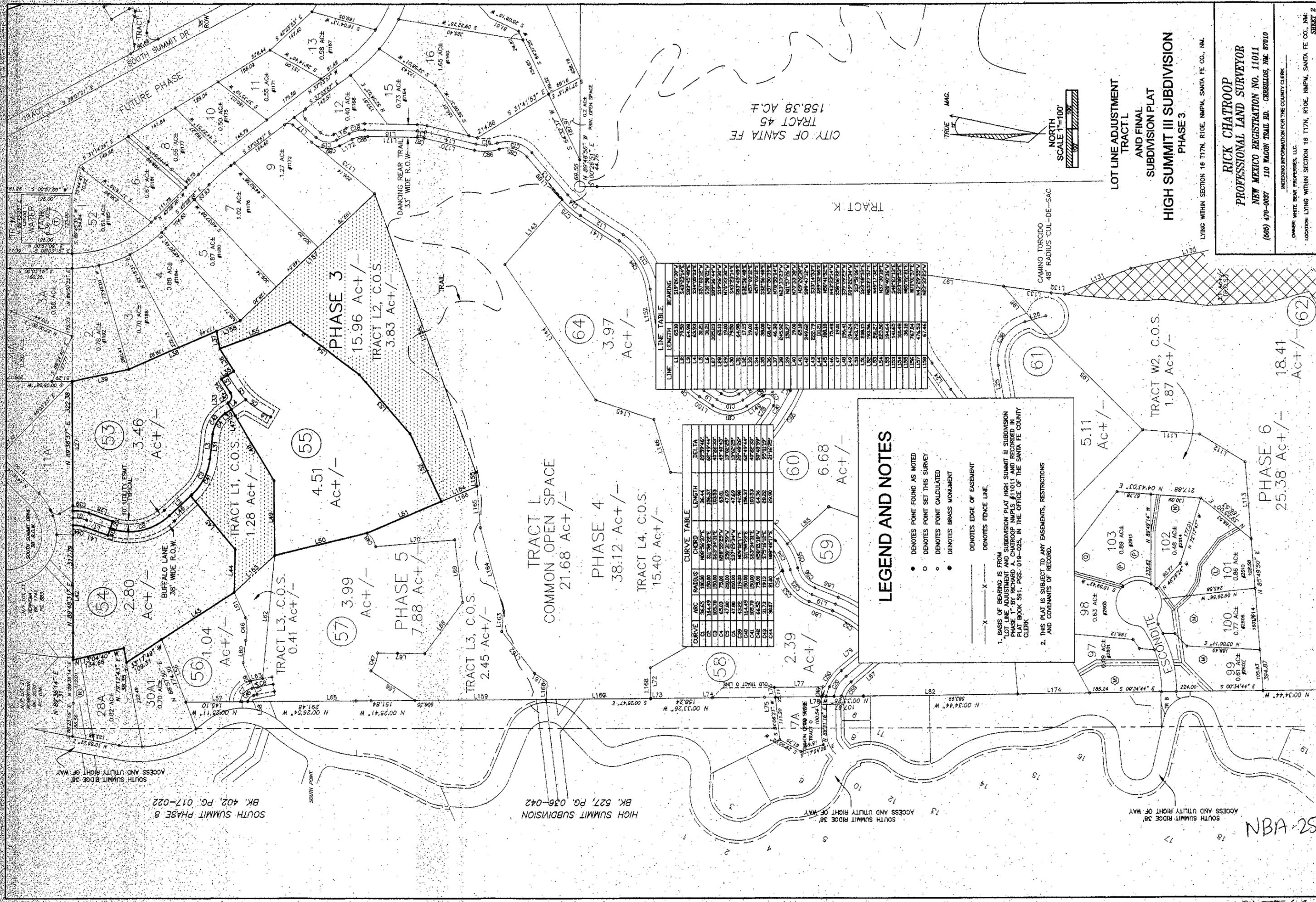
- DENOTES POINT FOUND AS NOTED
- DENOTES POINT SET THIS SURVEY
- DENOTES POINT CALCULATED
- DENOTES BRASS MONUMENT
- DENOTES EDGE OF EASEMENT
- X-X- DENOTES FENCE LINE.

1. BASIS OF BEARING IS FROM "LOT LINE ADJUSTMENT AND SUBDIVISION PLAT HIGH SUMMIT III SUBDIVISION PHASE 1" BY RICHARD A. CHATROOP N1/4PM, PLAT #11011 AND RECORDED IN PLAT BOOK 591, PGS. 019-025, IN THE OFFICE OF THE SANTA FE COUNTY CLERK

2. THIS PLAT IS SUBJECT TO ANY EASEMENTS, RESTRICTIONS AND COVENANTS OF RECORD.

LINE	LENGTH	BEARING
L1	63.30	S10°26'30"W
L2	64.50	S87°45'48"E
L3	64.50	S34°05'03"E
L4	62.53	S37°03'18"E
L5	31.24	S37°03'18"E
L6	32.25	S37°03'18"E
L7	63.10	S37°03'18"E
L8	63.10	S37°03'18"E
L9	63.10	S37°03'18"E
L10	63.10	S37°03'18"E
L11	63.10	S37°03'18"E
L12	63.10	S37°03'18"E
L13	63.10	S37°03'18"E
L14	63.10	S37°03'18"E
L15	63.10	S37°03'18"E
L16	63.10	S37°03'18"E
L17	63.10	S37°03'18"E
L18	63.10	S37°03'18"E
L19	63.10	S37°03'18"E
L20	63.10	S37°03'18"E
L21	63.10	S37°03'18"E
L22	63.10	S37°03'18"E
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L24	63.10	S37°03'18"E
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L28	63.10	S37°03'18"E
L29	63.10	S37°03'18"E
L30	63.10	S37°03'18"E
L31	63.10	S37°03'18"E
L32	63.10	S37°03'18"E
L33	63.10	S37°03'18"E
L34	63.10	S37°03'18"E
L35	63.10	S37°03'18"E
L36	63.10	S37°03'18"E
L37	63.10	S37°03'18"E
L38	63.10	S37°03'18"E
L39	63.10	S37°03'18"E
L40	63.10	S37°03'18"E
L41	63.10	S37°03'18"E
L42	63.10	S37°03'18"E
L43	63.10	S37°03'18"E
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L52	63.10	S37°03'18"E
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L56	63.10	S37°03'18"E
L57	63.10	S37°03'18"E
L58	63.10	S37°03'18"E
L59	63.10	S37°03'18"E
L60	63.10	S37°03'18"E

CURVE	ARC	RADIUS	CHORD	LENGTH	DELTA
C1	36.65	100.00	100.00	36.64	87°59'46"
C2	164.49	150.00	116.56	156.37	62°19'44"
C3	105.70	150.00	85.74	103.55	41°22'33"
C4	65.09	75.00	58.55	63.01	49°47'45"
C5	47.86	200.00	159.31	47.65	15°02'25"
C6	41.28	150.00	102.97	41.28	20°46'22"
C7	164.49	150.00	116.56	156.37	62°19'44"
C8	105.70	150.00	85.74	103.55	41°22'33"
C9	65.09	75.00	58.55	63.01	49°47'45"
C10	47.86	200.00	159.31	47.65	15°02'25"
C11	41.28	150.00	102.97	41.28	20°46'22"
C12	164.49	150.00	116.56	156.37	62°19'44"
C13	105.70	150.00	85.74	103.55	41°22'33"
C14	65.09	75.00	58.55	63.01	49°47'45"
C15	47.86	200.00	159.31	47.65	15°02'25"
C16	41.28	150.00	102.97	41.28	20°46'22"



PHASE 6
 25.38 Act +/-

TRACT W2, C.O.S.
 1.87 Act +/-

5.11 Act +/-

61

60
 6.68 Act +/-

58

TRACT L4, C.O.S.
 15.40 Act +/-

PHASE 4
 38.12 Act +/-

TRACT L
 COMMON OPEN SPACE
 21.68 Act +/-

PHASE 5
 7.88 Act +/-

57
 3.99 Act +/-

TRACT L3, C.O.S.
 0.41 Act +/-

56
 1.04 Act +/-

2.80 Act +/-

54

53
 3.46 Act +/-

55
 4.51 Act +/-

TRACT L1, C.O.S.
 1.28 Act +/-

3.46 Act +/-

PHASE 3
 15.96 Act +/-

TRACT L2, C.O.S.
 3.83 Act +/-

64
 3.97 Act +/-

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 CITY OF SANTA FE

TRACT 222
 158.38 AC.F
 CITY OF SANTA FE

TRACT 223
 158.38 AC.F
 CITY OF SANTA FE

TRACT 224
 158.38 AC.F
 CITY OF SANTA FE

TRACT 225
 158.38 AC.F
 CITY OF SANTA FE

TRACT 226
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TRACT 227
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TRACT 228
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TRACT 232
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TRACT 233
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TRACT 242
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TRACT 243
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TRACT 245
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TRACT 246
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TRACT 251
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TRACT 252
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TRACT 254
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TRACT 255
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TRACT 256
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 CITY OF SANTA FE

TRACT 257
 158.38 AC.F
 CITY OF SANTA FE

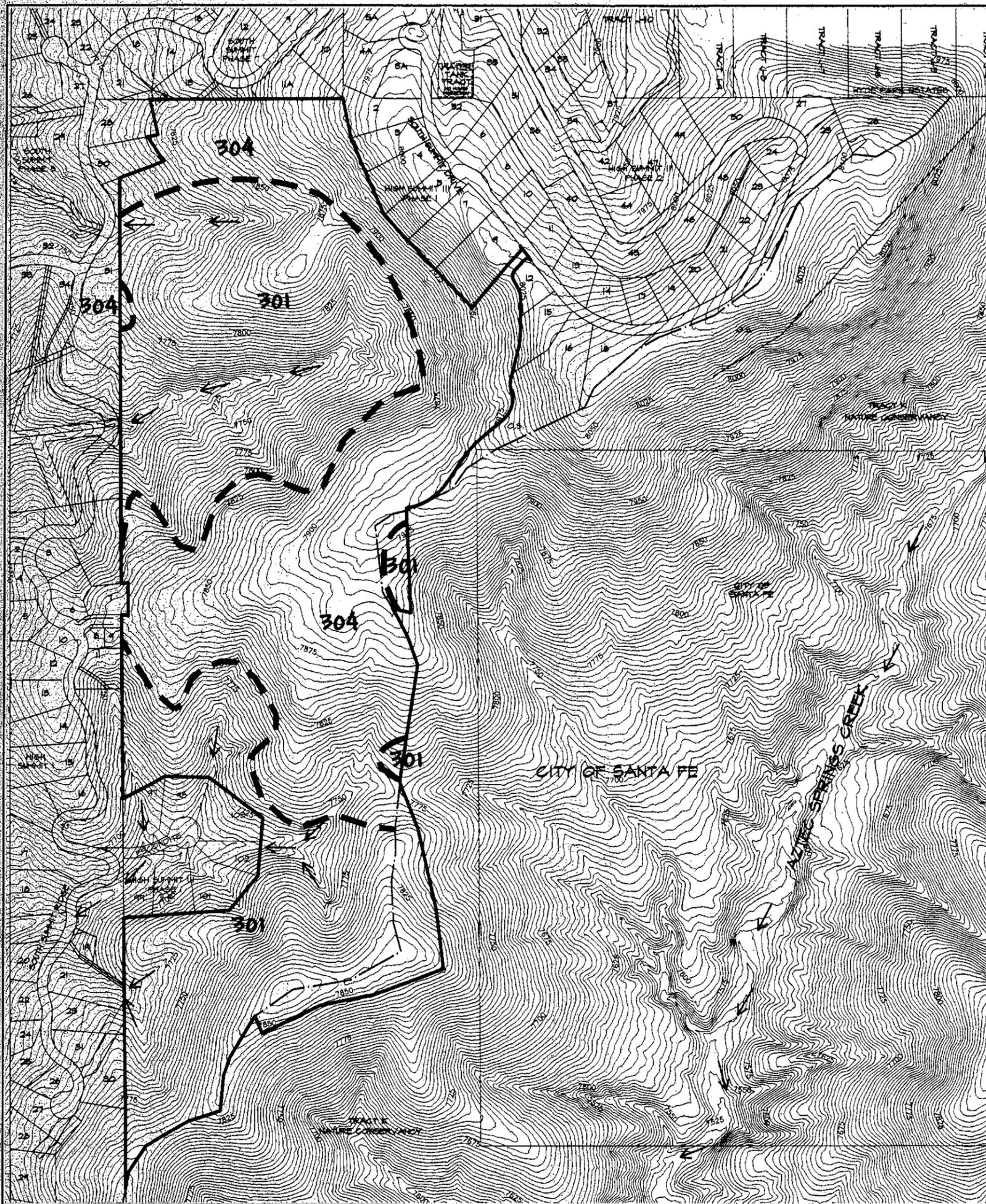
TRACT 258
 158.38 AC.F
 CITY OF SANTA FE

TRACT 259
 158.38 AC.F
 CITY OF SANTA FE

TRACT 260
 158.38 AC.F
 CITY OF SANTA FE

TRACT 261
 158.38 AC.F
 CITY OF SANTA FE

TRACT 262
 158.38 AC.F



SOIL LEGEND

56.6% (304) ENMEDIO-ATALAYA-ROCK OUTCROP COMPLEX - 0-24" EXTREMELY COBBLY SANDY LOAM; 1"-46" COBBLES; 46"+ BEDROCK. SOME ROCK OUTCROPS.

48.4% (304) LEGATE-YOHALES-ZARHAND COMPLEX - 0-24" GRAVELLY SANDY LOAM, SOME CLAYS; 15"+ BEDROCK.

SOURCE: NATURAL RESOURCE CONSERVATION SERVICE. <http://websoilsurvey.sc.egov.usda.gov>

← DRAINAGE WAY

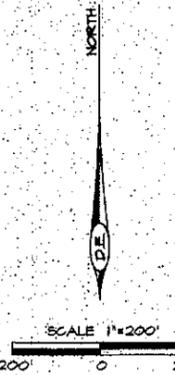
VEGETATION:

VEGETATION CONSISTS OF WHEAT GRASS, BLUE GRAMA, NEEDLE GRASS, TRUE MOUNTAIN MAHONIA, ROCKY MOUNTAIN JUNIPER, PONDEROSA PINE, AND PINON PINE.

(SOURCE: SANTA FE PLANNING GROUP, INC. MASTER PLAN FOR "THE PEAKS")

FEMA DESIGNATION:

ZONE X - AREA OUTSIDE OF 500-YEAR FLOOD PLAIN. FEMA HAS MAPPED NO FLOOD HAZARD AREAS WITHIN OR ADJACENT TO THE PROJECT. COMMUNITY PANEL NUMBER 2804420404E.



REV
DATE

NBA-26

DESIGN ENGINEER

1801 LUNA STREET, SUITE 6
SANTA FE, NEW MEXICO 87505
(505) 991-1991

HIGH SUMMIT III - PHAS

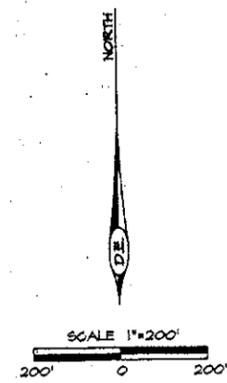
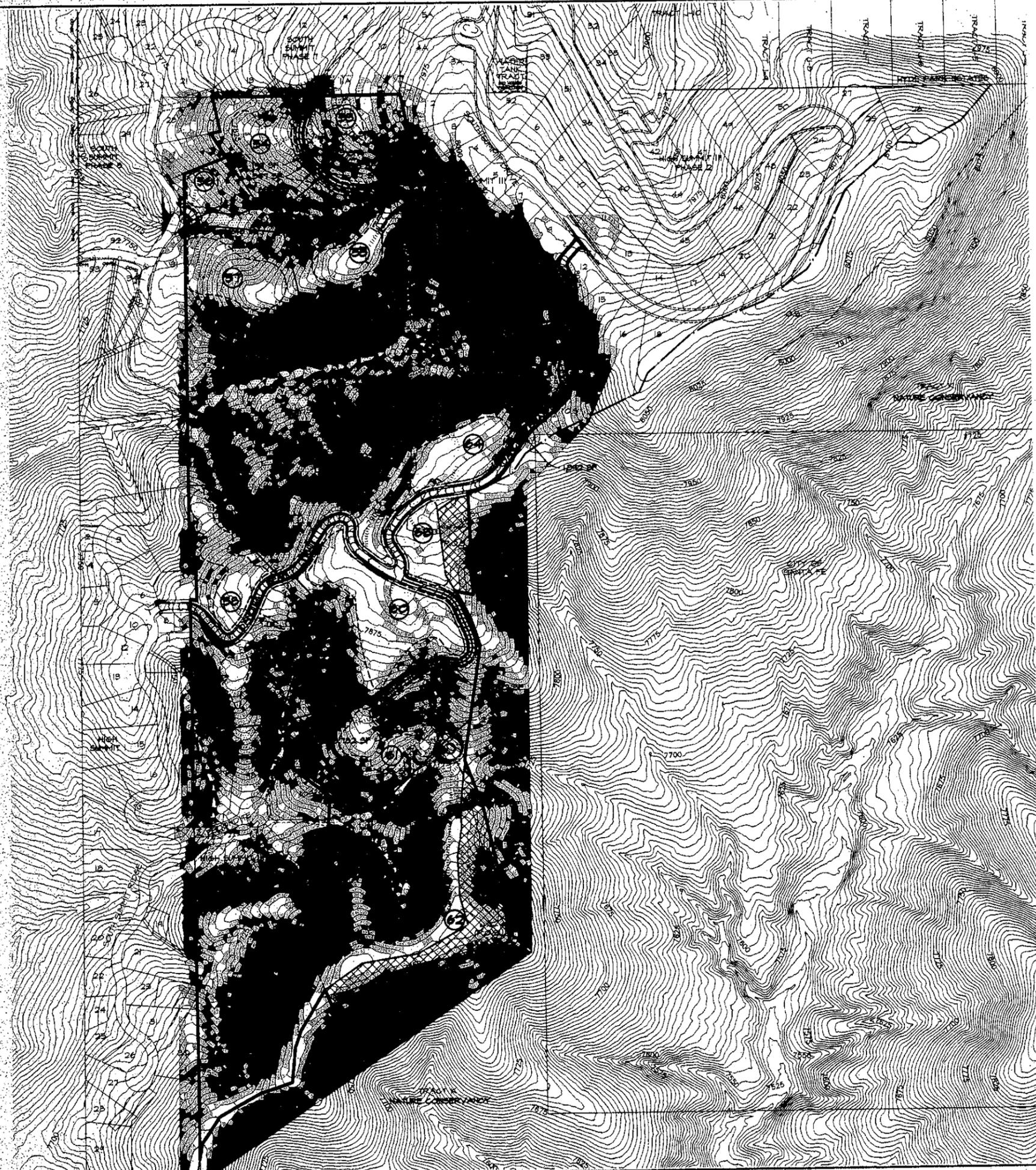
EXISTING CONDITIONS & SOIL

SCALE 1"=200'

DATE

SHEET





SLOPE LEGEND

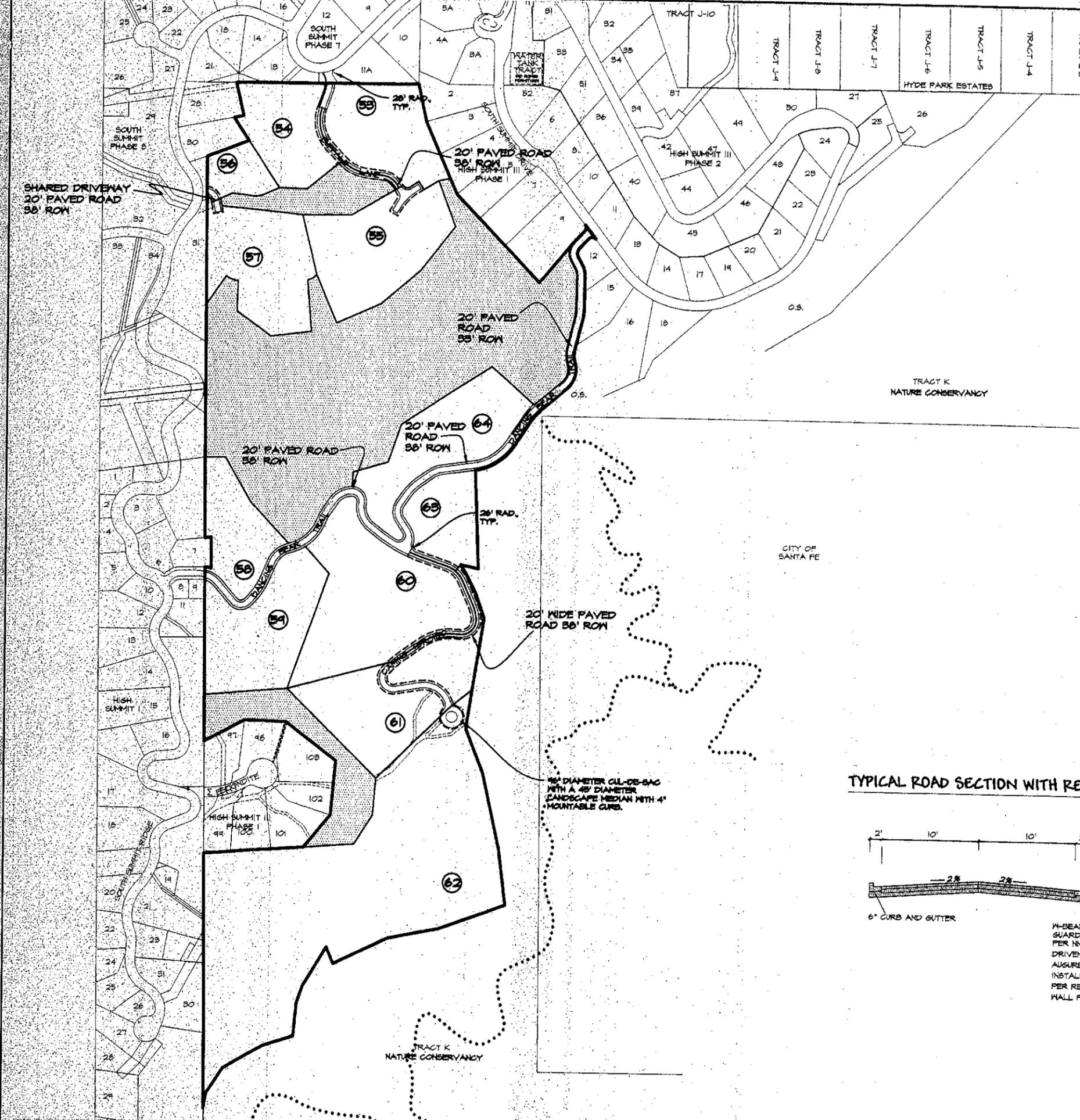
- 0-20% SLOPE
- 20%-30% SLOPE
- 30% AND GREATER SLOPE

LEGEND

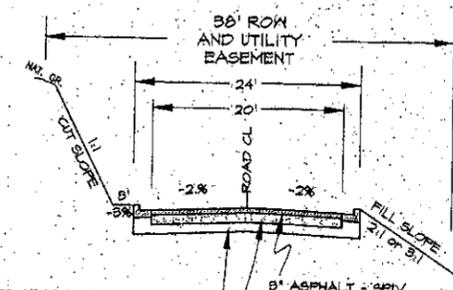
- PROPOSED ROAD
- POTENTIAL DRIVE
- LOT NUMBER
- RECOMMENDED BUILDING AREA
(ACTUAL SIZE AND LOCATION MAY DIFFER)



	REV DATE
NBA-27	
DESIGN ENGINEER	
<small>1401 LUNA STREET, SUITE C SANTA FE, NEW MEXICO 87505 (505) 991-1997</small>	
HIGH SUMMIT III - PHASE	
SLOPE ANALYSIS	
SCALE 1"=200'	DRAWN BY DHE

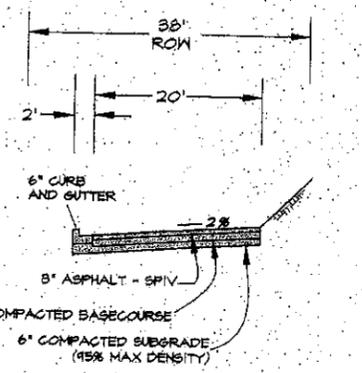


TYPICAL 20' WIDE ASPHALT ROAD SECTION

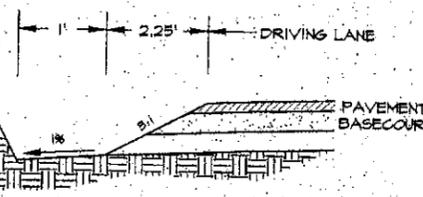


CUTS OF 1:1 ARE PROPOSED BASED ON ASSUMPTION THAT THE MATERIALS COMPETENCY IS SIMILAR TO MATERIALS IN ADJACENT PROJECT. CUTS TO BE APPROVED IN FIELD BY COUNTY INSPECTOR AND PROJECT ENGINEER. IF CUT SLOPES ARE NOT STABLE, 2:1 CUTS OR RETAINING WALLS WILL BE USED.

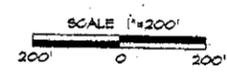
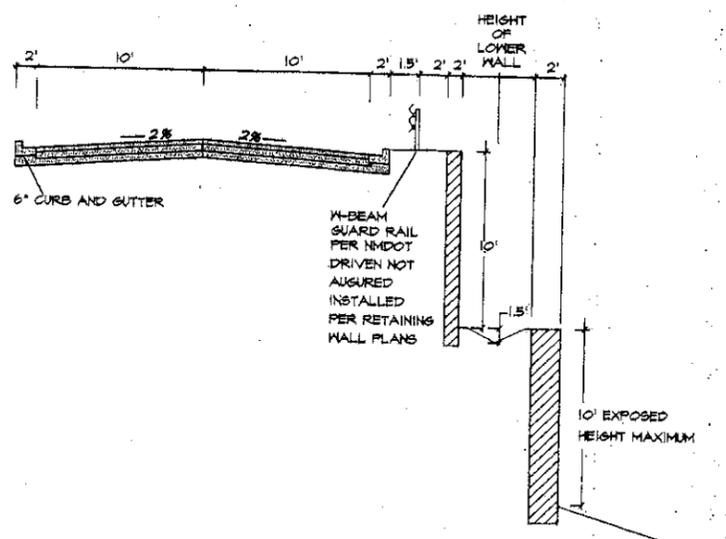
20' WIDE ASPHALT SUPERELEVATION ROAD SECTION



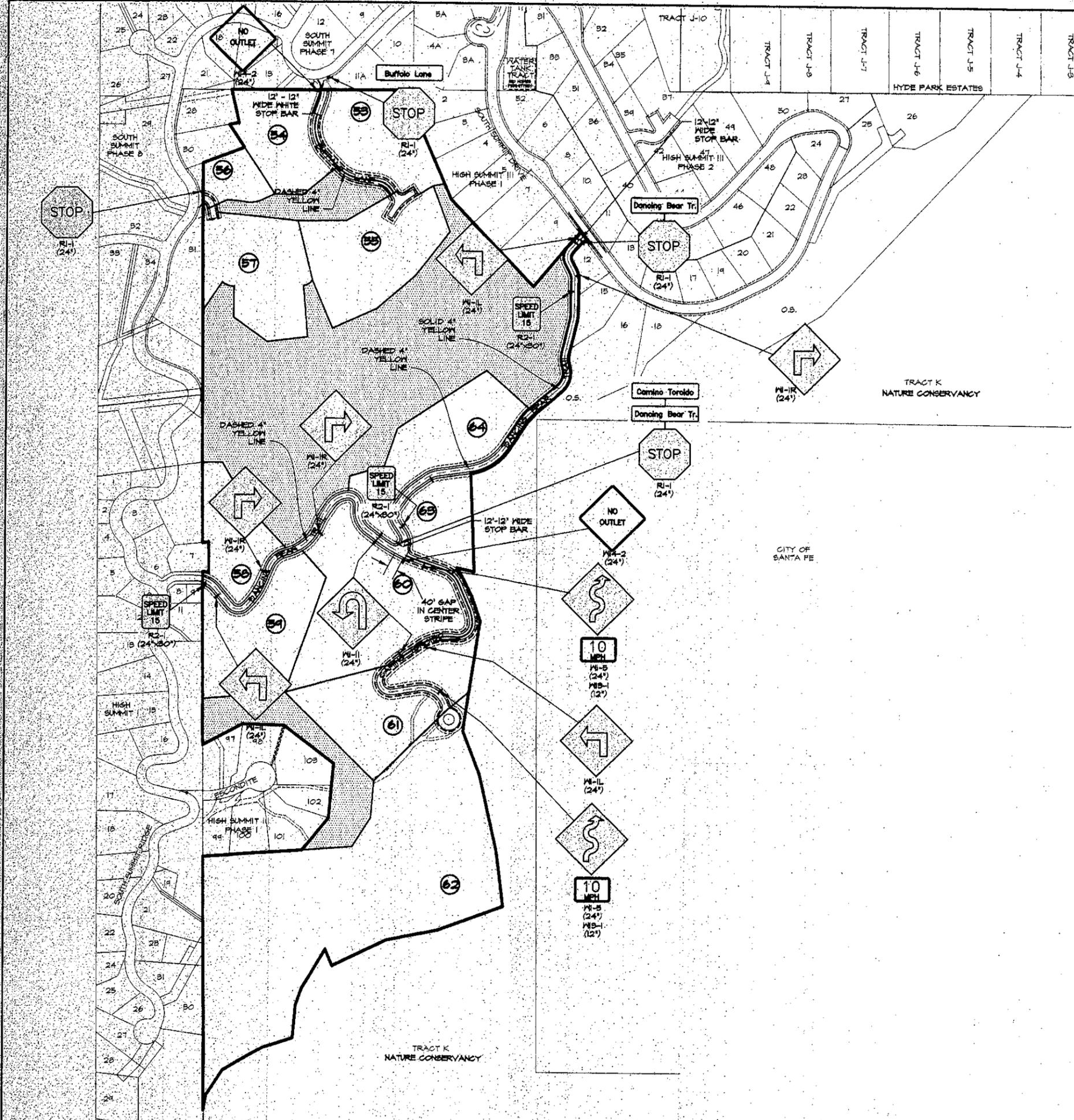
DITCH SECTION IN ROCK



TYPICAL ROAD SECTION WITH RETAINING WALL



REVISION	DATE
<p>NBA-28</p> <p>DESIGN ENGINEERING</p> <p>1401 LUISA STREET, SUITE C SANTA FE, NEW MEXICO 87505 (505) 991-9991</p> <p>HIGH SUMMIT III - PHASE</p> <p>ROADWAY TYPICAL SECTION</p>	
SCALE 1"=200'	DWG. NO.
SHEET NO.	



SIGN AND POST REQUIREMENTS:

1. ALL ALUMINUM PANEL SIGNING AND STEEL POSTS SHALL COMPLY WITH THE NHDOT CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR BRIDGE CONSTRUCTION.
2. ALL SIGNING SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES - CURRENT EDITION.
3. SIGN POSTS WITH APPROVED BREAKAWAY DEVICE SHALL BE "MARION" BRAND 4 LEFT U CHANNEL BLACK NO SUBSTITUTES ALLOWED.
4. SIGN SHEETING SHALL BE "M-1" BRAND HIGH INTENSITY, NO SUBSTITUTIONS.
5. SIGN HEIGHT SHALL BE A MINIMUM OF 7' HIGH FROM THE BOTTOM OF THE LOWEST SIGN.
6. S.F. COUNTY APPROVED ROAD NAME STREET SIGNS (DS-1) SHALL BE PLACED AT ALL ROAD INTERSECTIONS MOUNTED ABOVE STOP SIGNS. ALL STREET NAME SIGNS SHALL HAVE 4" LETTERS ON 6" BLANK WHITE ON GREEN, EXCEPT AT SR14 WHERE 6" LETTERS ON 6" BLANK WHITE LETTERS ON BACKGROUND GREEN.

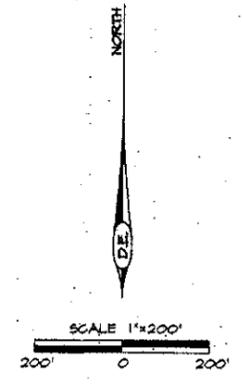
STRIPPING AND PAINT NOTES:

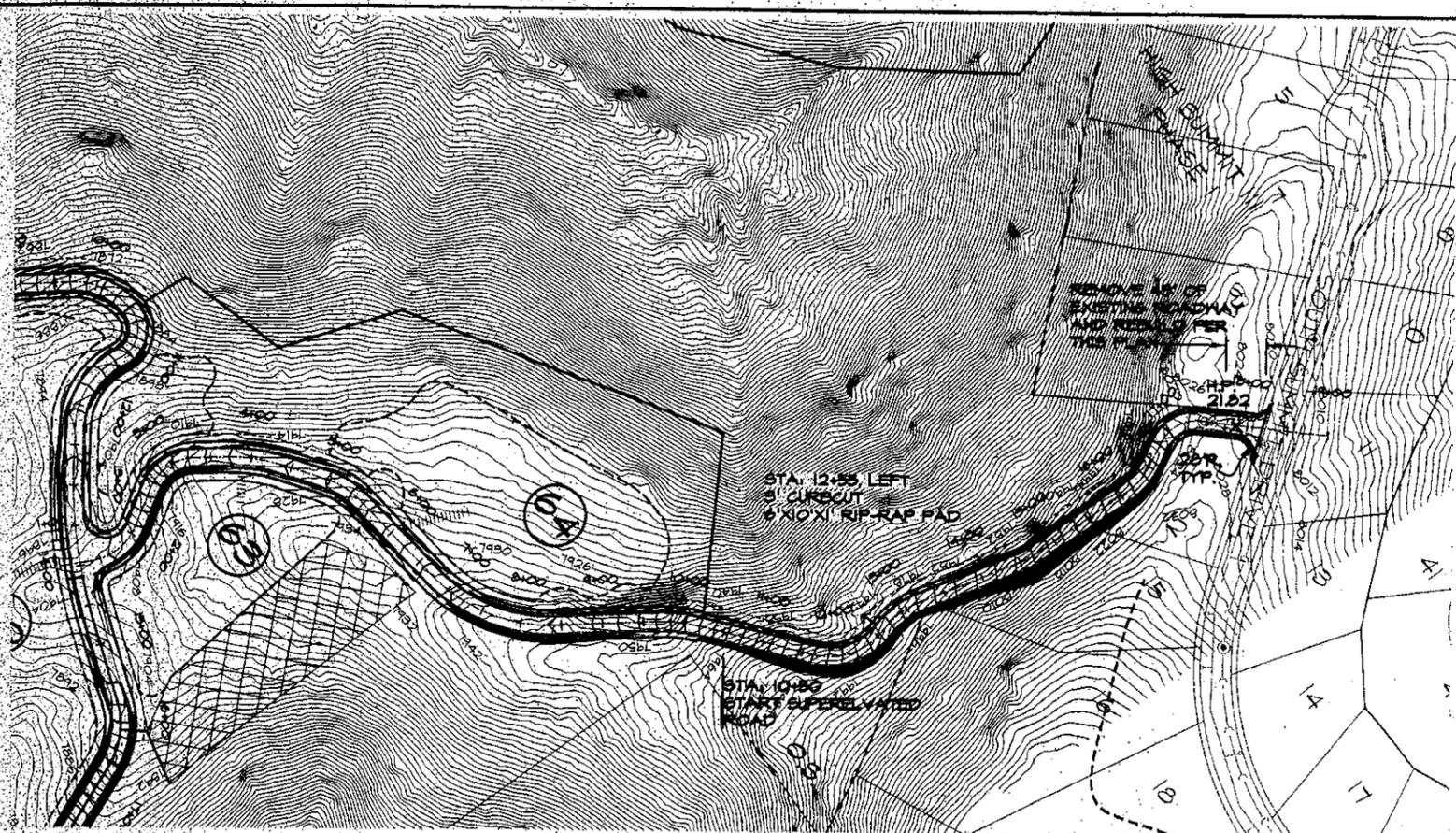
1. ALL PRE-FORMED PAVEMENT MARKINGS SHALL BE 800 IES BY "3M". NO SUBSTITUTIONS.
2. RETRO-REFLECTORIZED PAINTED PAVEMENT MARKING STRIPES - FOR HIGH-BUILT PAINT, USE TWO COATS AND FOR REGULAR PAINT USE THREE COATS. (DOUBLE APPLICATION TO BE APPLIED WITHIN 14 DAYS)
3. ALL STRIPPING SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. (MUTCD) CURRENT EDITION.
4. CURBS SHALL BE PAINTED RED 10' EITHER SIDE OF ALL FIRE HYDRANTS.



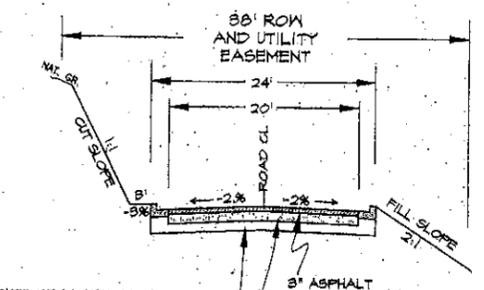
NBA-29

DESIGN ENGINEER	
1401 LUISA STREET, SUITE 2	
SANTA FE, NEW MEXICO 87505	
(505) 991-9997	
HIGH SUMMIT III - PHASE	
SIGNING AND PAVEMENT MARKING	
SCALE	DATE
1"=200'	
SHEET NO.	



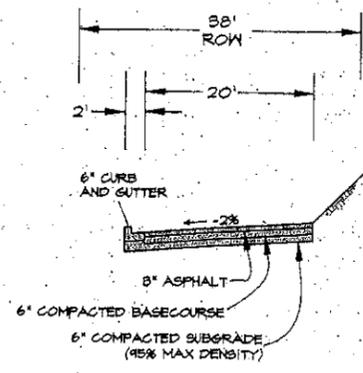


TYPICAL 20' WIDE ASPHALT ROAD SECTION
STA: 14+50.50 - 10+50



CUTS OF 1:1 ARE PROPOSED BASED ON ASSUMPTION THAT THE MATERIALS' COMPETENCY IS SIMILAR TO MATERIALS IN ADJACENT PROJECT CUTS TO BE APPROVED IN FIELD BY COUNTY INSPECTOR AND PROJECT ENGINEER. IF CUT SLOPES ARE NOT STABLE, 2:1 CUTS OR RETAINING WALLS WILL BE USED.

20' WIDE ASPHALT SUPERELEVATED SECTION STA: 10+50 - STA: 18+2



HORZ. 1"=100'
VERT. 1"=20'
2' CONTOUR INTERVAL

DANCING BEAR TRAIL

STA 14+25 DANCING BEAR TRAIL
= STA 18+51.71 CAMINO TORCIDO

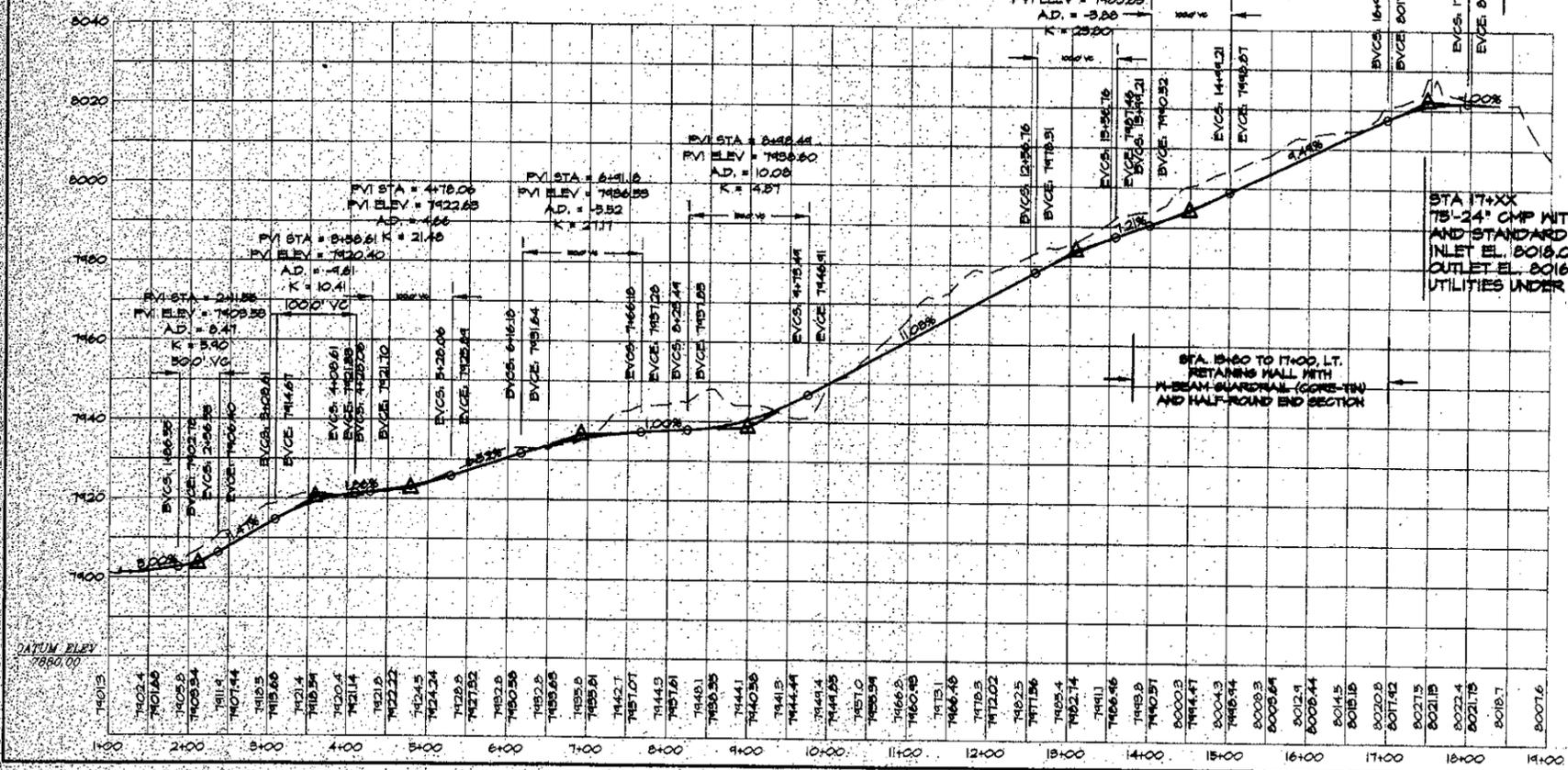
HIGH POINT ELEV = 8021.82
HIGH POINT STA = 17+56.18
PVI STA = 17+45.71
PVI ELEV = 8022.27
A.D. = -10.44
K = 4.88

PVI STA = 14+44.21
PVI ELEV = 7444.12
A.D. = 2.24
K = 48.74

STA 18+56 DANCING BEAR TRAIL
SOUTH SUMMIT DRIVE CENTERLINE

STA 17+XX
15'-24" CMP WITH DROP INLET
AND STANDARD END SECTION
INLET EL. 8018.0
OUTLET EL. 8016.0
UTILITIES UNDER CULVERT

STA 18+60 TO 17+00, LT.
RETAINING WALL WITH
N-BEAM GUARDRAIL (CORNER-TIN)
AND HALF-ROUND END SECTION



NBA-32

DESIGN ENGINEER

1801 LUISA STREET, SUITE C
SANTA FE, NEW MEXICO 87505
(505) 991-1991

HIGH SUMMIT III - PHASE

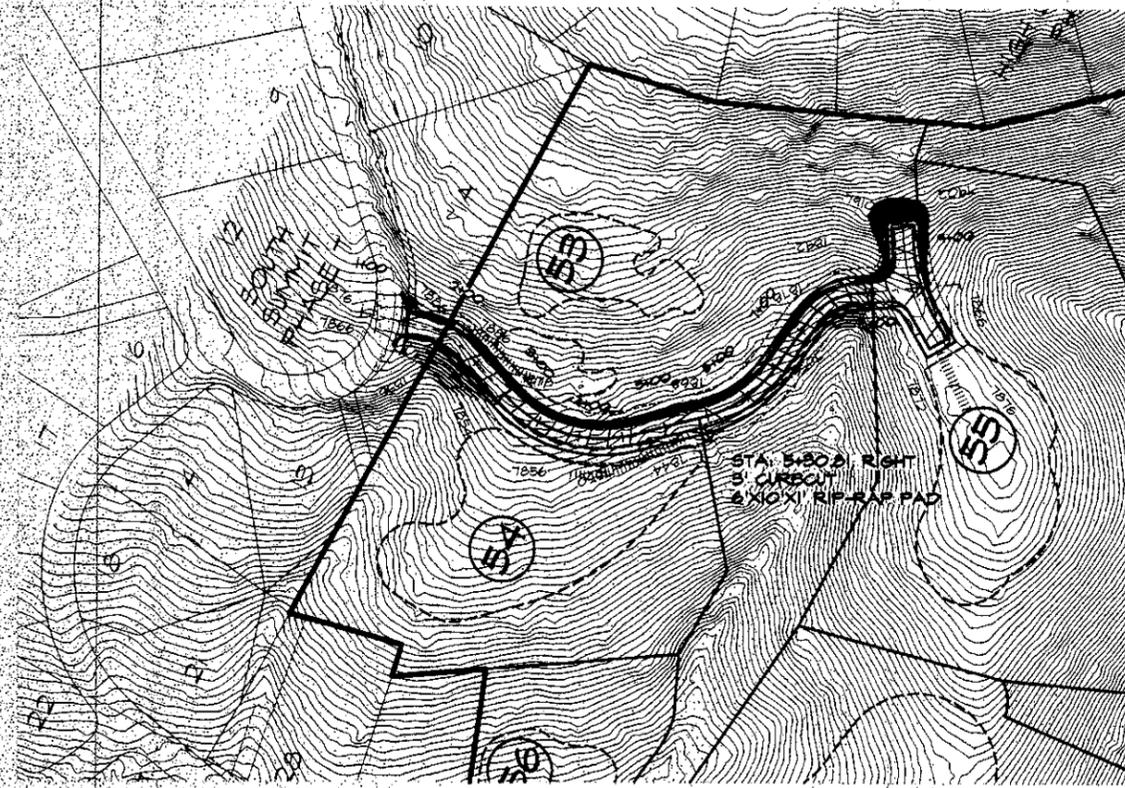
ROAD PLAN AND PROFIL

SCALE: 1"=100'

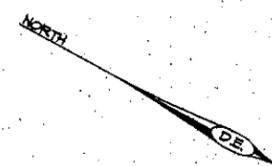
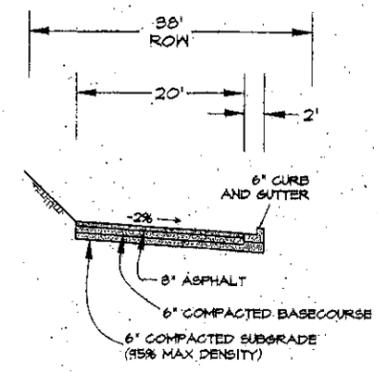
DWG. NO.

DATE

REV. DATE



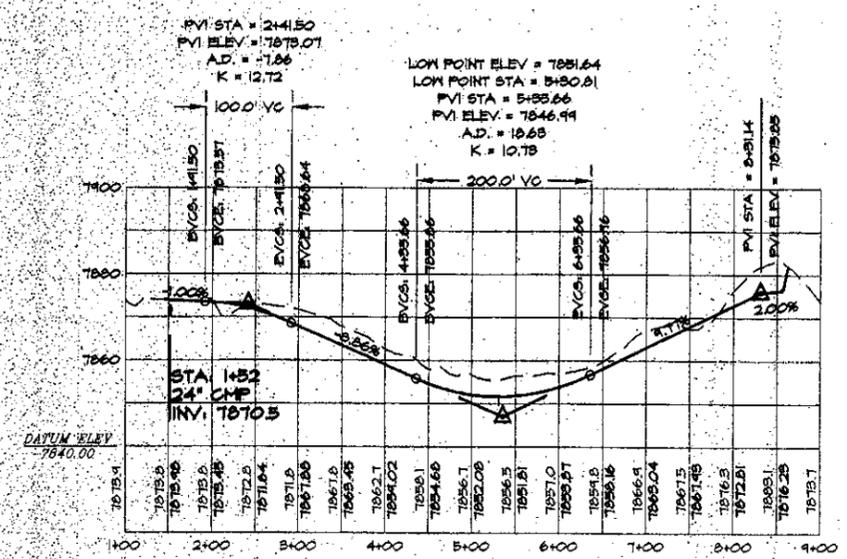
20' WIDE ASPHALT SUPERELEVATED ROAD
SECTION STA: 1+50 - 8+30



HORZ. 1"=100'
VERT. 1"=20'
2' CONTOUR INTERVAL

STA 1+52
40'-24" CMP
MEDIAN DROP INLET AT
ENTRANCE
GRATE ELEV. 7876.00
INV. IN 7871.00
INV. OUT 7870.00
WITH STANDARD END SECTION
6'X10'X1' RIP-RAP PAD
AT OUTLET

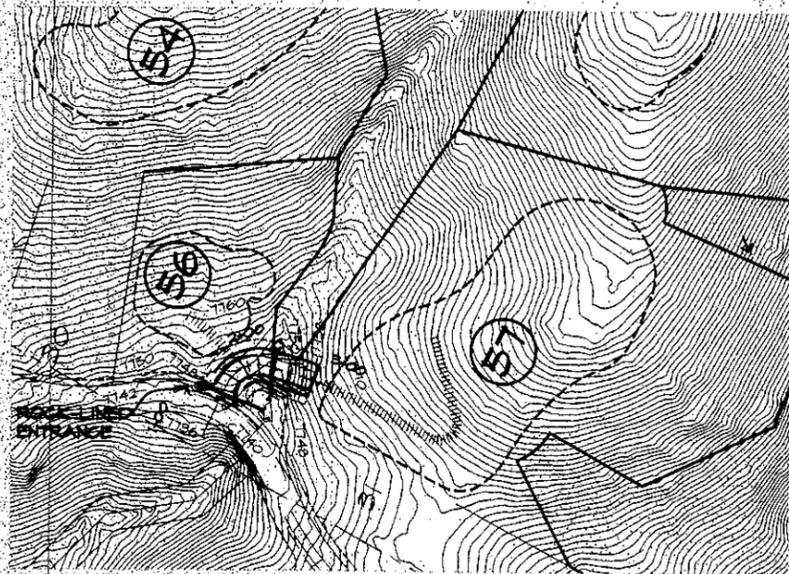
BUFFALO LANE



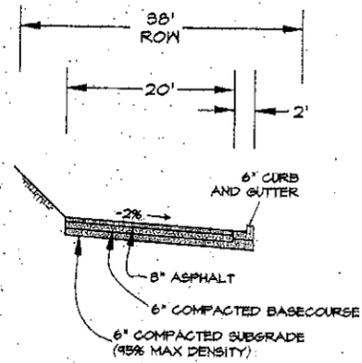
NBA-33

DESIGN ENGINEER	
181 LUISA STREET, SUITE E SANTA FE, NEW MEXICO 87505 (505) 791-1997	
HIGH SUMMIT III - PHASE	
ROAD PLAN AND PROFIL	
SCALE 1"=100'	DWG NO.
SHEET NO.	

REV:	DATE



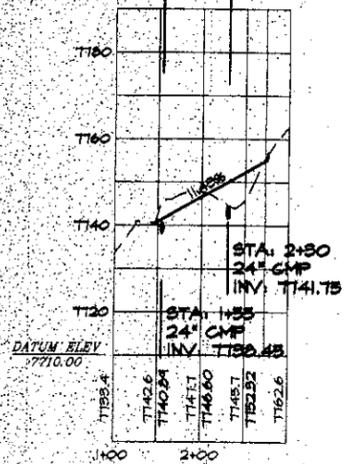
SHARED DRIVEWAY
N.T.S.



STA: 1+40
SAWCUT EXISTING
PAYMENT.
NEW PAVEMENT FLUSH
WITH EXISTING

STA: 1+55
60'-24" CMP WITH
STANDARD END SECTIONS
INLET ELEV. 7784.00
OUTLET ELEV. 7781.00

STA: 2+30
60'-36" CMP WITH
STANDARD END SECTIONS
INLET ELEV. 7745.00
OUTLET ELEV. 7736



HORZ. 1"=100'
VERT. 1"=20'
2' CONTOUR INTERVAL



NBA-34

REVISION
DATE

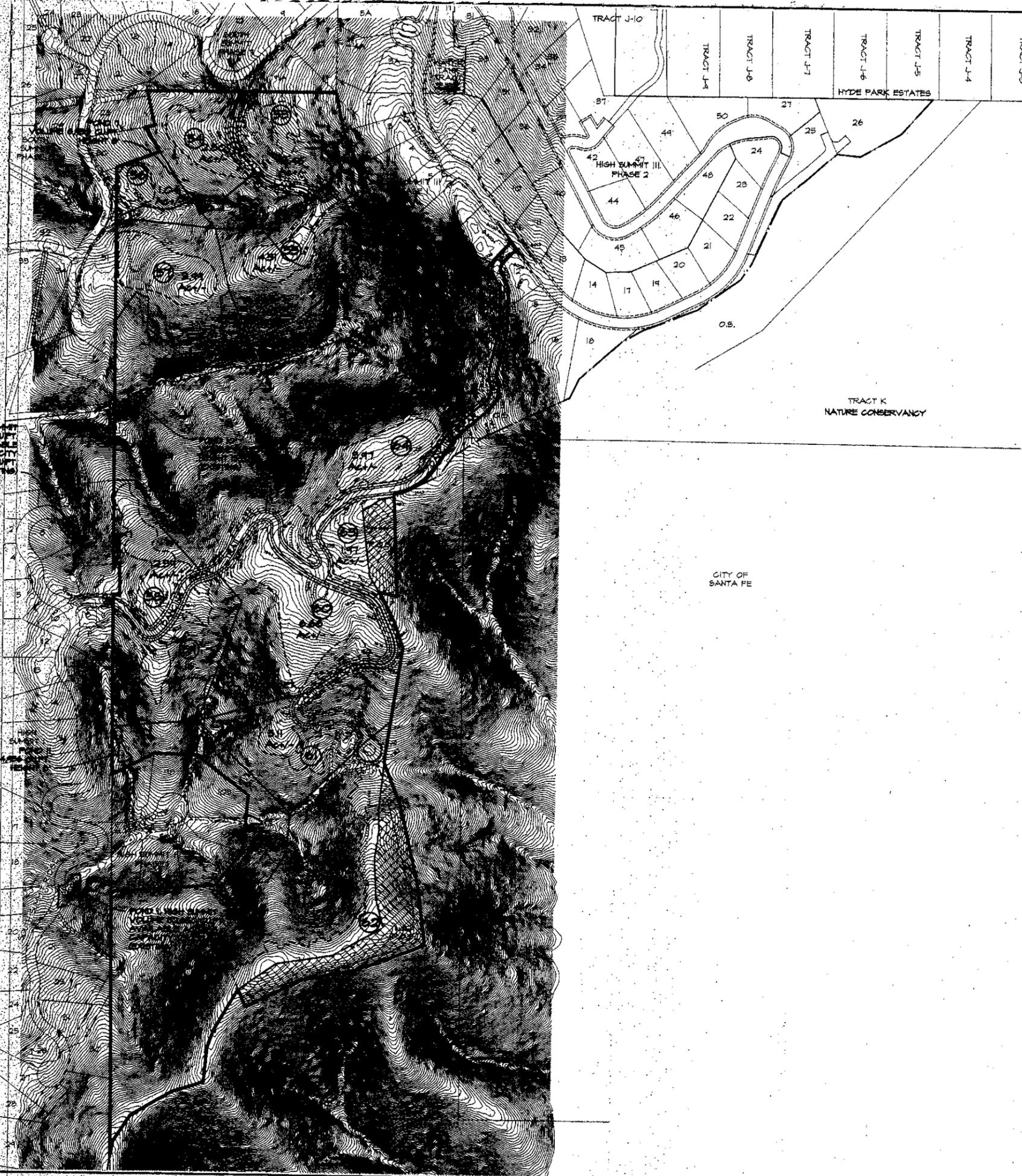
DESIGN ENGINEER

1801 LIBRA STREET, SUITE C
SANTA FE, NEW MEXICO 87505
(505) 791-1991

HIGH SUMMIT III - PHASE

ROAD PLAN AND PROFILE

SCALE: 1"=100' DWG NO. SHEET NO.



POND 3 HIGH SUMMIT
 VOLUME 26,500 CUFT.
 AVAILABLE
 EXCESS CAPACITY
 = 22,888 CUFT.
 (EXISTING)

HIGH
 SUMMIT
 POND 1
 VOL. 1,888
 CUFT.



REV#	DATE

NBA-35

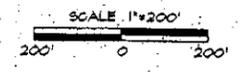
DESIGN ENGINEERING

1401 LUISA STREET, SUITE C
 SANTA FE, NEW MEXICO 87505
 (505) 994-1997

HIGH SUMMIT III - PHASE

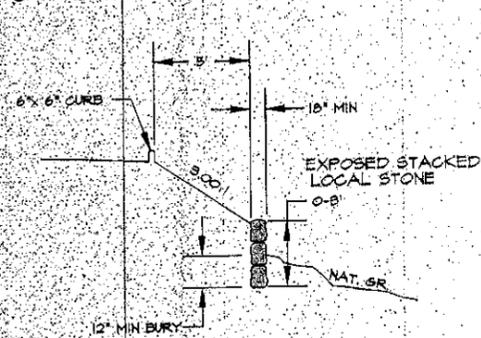
DRAINAGE PLAN

SCALE 1"=200'

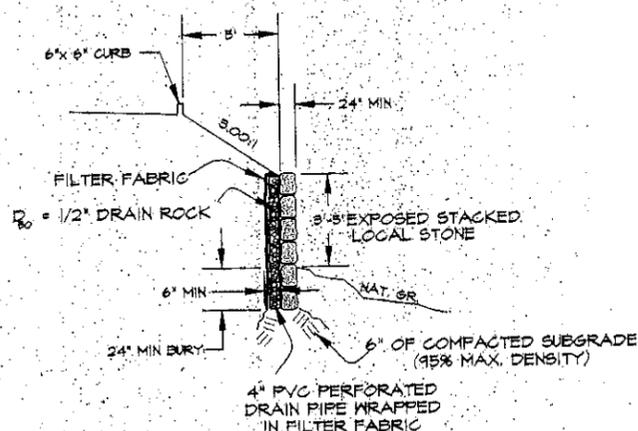


SHEET NO.

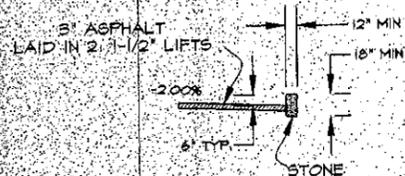
ROCK RETAINING WALL DETAIL
0' - 3' EXPOSED HEIGHT



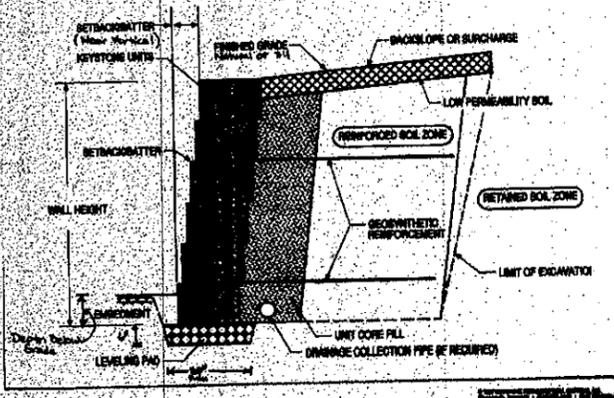
ROCK RETAINING WALL DETAIL
3' - 5' EXPOSED HEIGHT



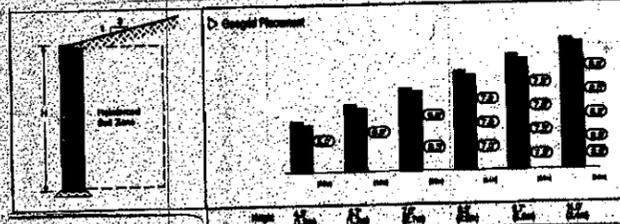
TYP. STONE CURB DETAIL



RETAINING WALLS



- NOTES:**
- Wall Height (H) is the total height from top to bottom.
 - Minimum wall embedment is 6" (120mm) or Height/10.
 - Subsurface soils must be capable of supporting wall system.
 - Unit core fill is 3/4" (20mm) clean crushed stone.
 - Leveling pad is crushed stone base installed.
 - All backfill materials are compacted to 95% max. density.
 - Complete detail of appropriate type and length per the design.
 - Finished grade must provide positive drainage.
 - The symbol ϕ indicates location and length of geogrid as measured from the connection point to the end of the geogrid.



KEYSTONE RETAINING WALL
(NTS)

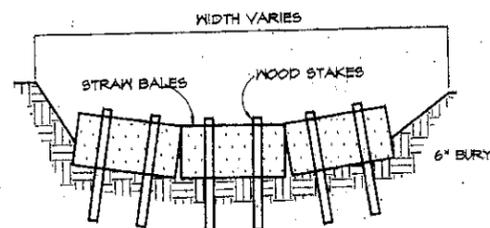
RETENTION POND DATA

POND NO.	PHASE	POND VOLUME (CU.FT)	EXPOSED HEIGHT	PIPE INVERT. H1	ELEV. TOP OF WEIR. H2	WEIR LENGTH. L1	WEIR DEPTH. D1	PIPE DIAMETER. O	EXPOSED LENGTH EL	BOTTOM WIDTH BW	RIP-RAP PAD WIDTH, W	LENGTH L2	THICKNESS D2
7	3	6950	3'	7777	7785	3.3'	3'	18"	60'	12'	10'	15'	2'
8	5	5446	6'	7809	7815	3.5'	3'	18"	60'	9'	10'	15'	2'
10	4	46,937	3.5'	N/A	N/A	N/A	N/A	18", 24", 36"	N/A	N/A	10'	15'	2'
11	6	4956	8'	7699	7707	2.9'	3'	18"	50'	12'	10'	15'	2'
12	4	5083	7.5'	7702.5	7710	3'	3'	18"	50'	12'	10'	15'	2'
13	6	3718	5.5'	7699.5	7705	3'	3'	18"	40'	9'	10'	15'	2'

* POND 10 IS IN PLACE AT SOUTH SUMMIT RIDGE ARROYO CROSSING NORTH OF HIGH SUMMIT. A 15' HIGH VERSOLock WALL DAMS THE ARROYO WITH 3 ROPS WITH A CAPACITY OF 189 CFS.

TEMPORARY EROSION CONTROL PLAN

1. STRAW BALE CHECK DAMS SHALL BE INSTALLED DOWNSTREAM OF ALL PLANNED CULVERTS PRIOR TO BEGINNING ROAD CONSTRUCTION.
2. DISTURBED SOILS SHALL BE WATERED AS NECESSARY TO MINIMIZE WIND EROSION.
3. SILT FENCES SHALL BE PLACED BELOW ALL FILL SLOPES.



TEMPORARY STRAW BALE CHECK DAM

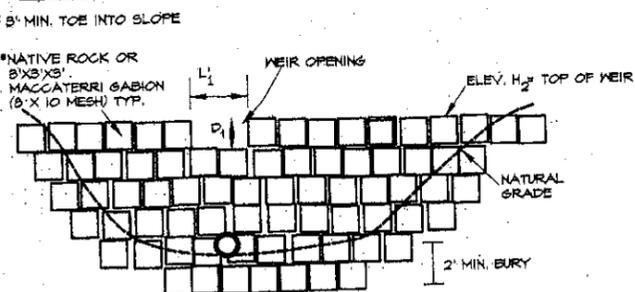
- NOTES:**
1. USE THIS ARRANGEMENT 50 FT. DOWNSTREAM OF ALL PLANNED CULVERTS INSTALLED IN NATURAL CHANNELS BEFORE ROAD CONSTRUCTION.
 2. INSTALL 1 TO 3 STRAW BALES TO SPAN THE CHANNEL'S WIDTH. 3. WOOD STAKES TO BE 2'X2'X4'

PERMANENT EROSION CONTROL PLAN

1. RIP-RAP PADS SHALL BE INSTALLED AT THE OUTLET OF ALL CULVERTS PER PLANS.
2. ALL DISTURBED AREAS OUTSIDE OF ROADBEDS SHALL BE RESEDED AS NOTED IN GENERAL CONSTRUCTION REQUIREMENTS.

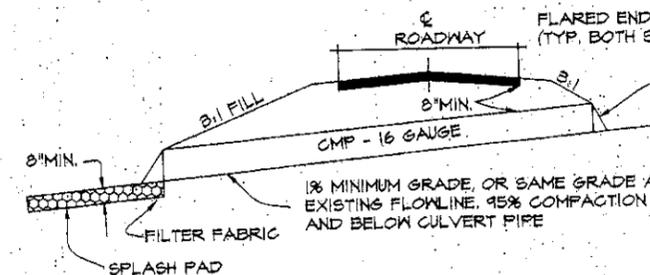
* NATIVE ROCK IN PREVIOUS SUMMIT PROJECTS IS TYPICALLY A BLOCKY LIMESTONE, SUITABLE FOR STACKING. IF ON SITE CUTS GENERATE SUITABLE MATERIAL (2'X2' OR LARGER) THIS MATERIAL SHALL BE USED FOR BUILDING STACKED ROCK DAMS. SUITABILITY OF ROCK IS AT THE ENGINEER'S DISCRETION.

RETENTION POND TYPICAL



ELEV. H₁ = PIPE INVERT
 ϕ = DRAIN PIPE DIAMETER, CMP UNLESS OTHERWISE NOTED

EL = EXPOSED LENGTH
N.T.S.



TYPICAL CULVERT SECTION
NTS

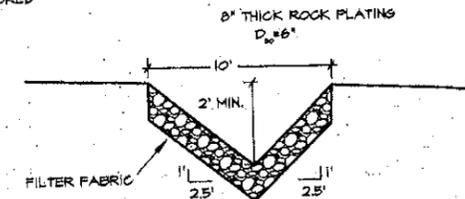
SPLASH PADS ARE TO BE CONSTRUCTED TO FIELD CONDITIONS AS APPROVED BY THE ENGINEER. IF ROCK EXISTS AT OUTLET, THE DISCRETION OF THE ENGINEER THE SPLASH PAD MAY BE ELIMINATED. GENERALLY SPLASH PADS WILL HAVE A 6' WIDTH AND 8' LENGTH CONSTRUCTED OF ON-SITE NATIVE ROCK 6" OR LARGER.

RIP RAP PAD SIZES FOR ALL CULVERTS

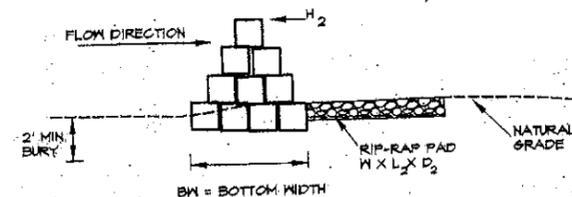
STA/PIPE SIZE	WIDTH	LENGTH
18"	4'	6'
24"	6'	8'
30"	7'	9'
36"	8'	10'
42"	10'	13'
48"	10'	15'

- NOTES:**
1. RIP RAP SHALL BE WIRE END WITH FILTER FABRIC.
 2. USE 6" RIVER ROCK MINIMUM.
 3. 2' MIN. SPACING BETWEEN MULTIPLE CULVERTS.
 4. PAD SHALL BE ANCHORED TO STEEL PIPE, 5' LONG SET 4' LONGITUDINALLY ALTERNATE.
 4. IF D₅₀ = 10" RIVER ROCK AND MINIMUM THICKNESS, WIRE-END MAY BE ELIMINATED.
 6. SEE ALSO COUNTY DETAIL.
 7. 8' CULVERT DELINEATORS SHALL BE SET 2' BEHIND CURB, EACH

TYPICAL V-CHANNEL
NTS



GABION RETENTION POND SIDE VIEW TYPICAL



REVISIONS

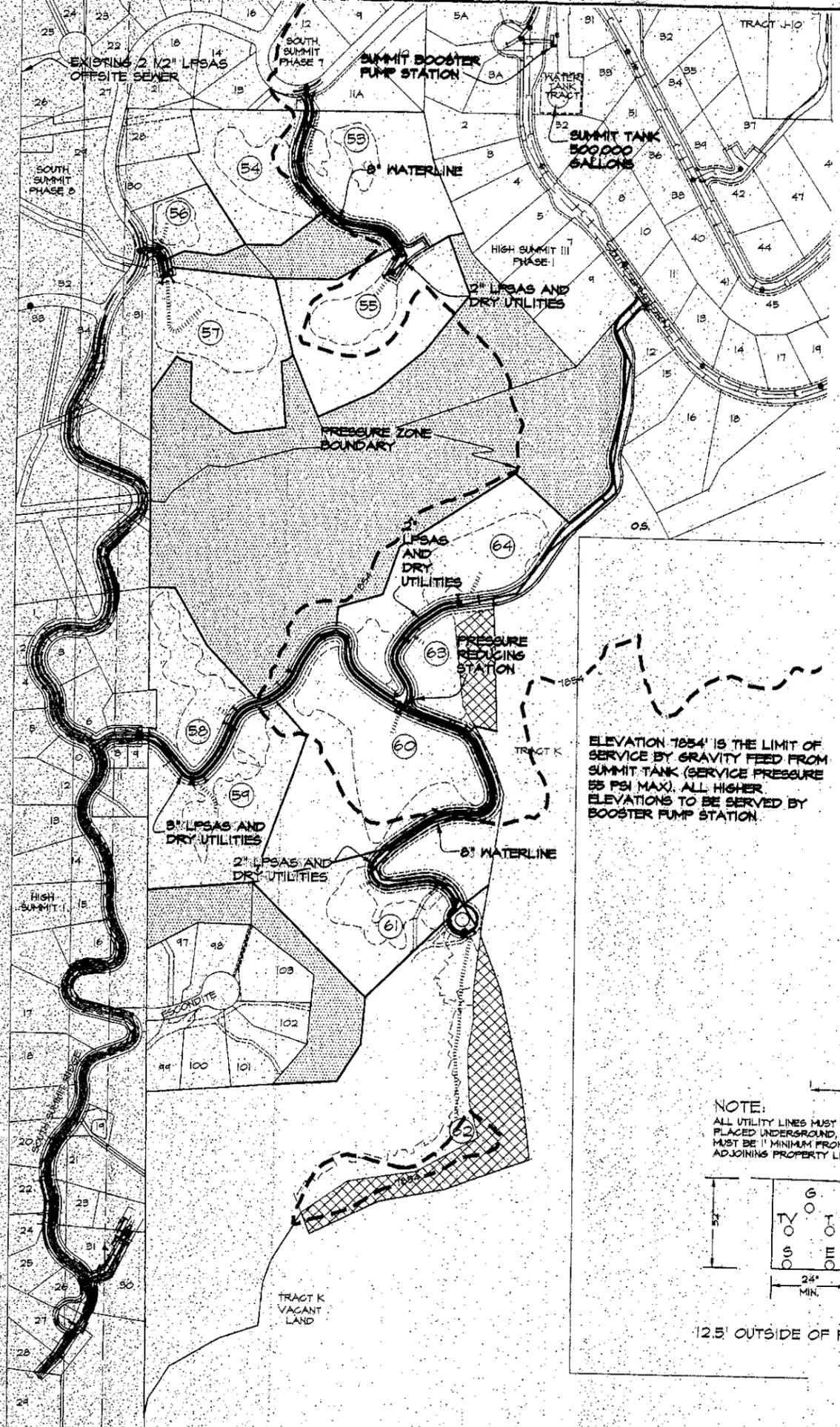
NO.	DATE	DESCRIPTION

NBA-36
DESIGN ENGINEER

181 LUNA STREET, SUITE C
SANTA FE, NEW MEXICO 87505
(505) 941-1971

HIGH SUMMIT III - PHASE I
DRAINAGE DETAILS

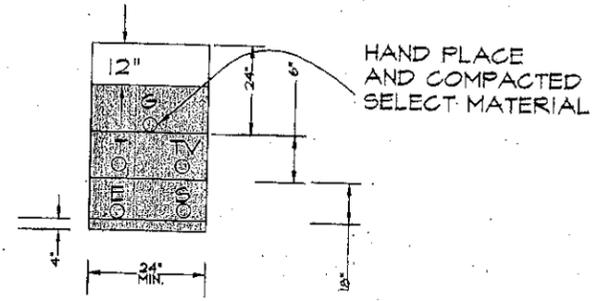
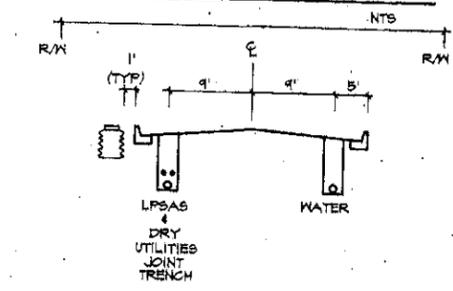
SCALE: 1"=200'
DWS NO.:



ELEVATION 7654' IS THE LIMIT OF SERVICE BY GRAVITY FEED FROM SUMMIT TANK (SERVICE PRESSURE 55 PSI MAX). ALL HIGHER ELEVATIONS TO BE SERVED BY BOOSTER PUMP STATION.

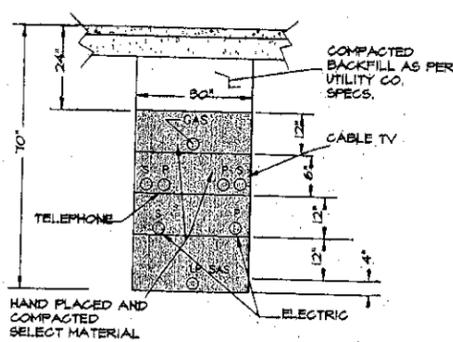
NOTE:
ALL UTILITY LINES MUST BE PLACED UNDERGROUND AND MUST BE 1' MINIMUM FROM ADJOINING PROPERTY LINES.

UTILITY/STREET CROSS SECTION
NTS

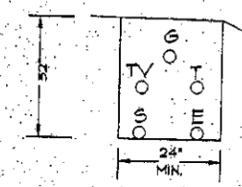


LOT SERVICE TRENCH
NTS

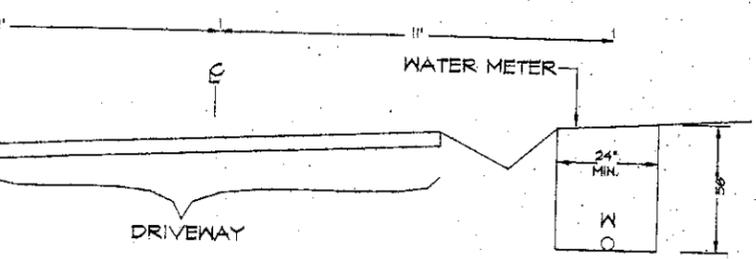
(CONTAINS SECONDARY ELECTRIC, TELEPHONE AND CATV CABLES, SEWER AND GAS SERVICES)



UTILITIES COMMON TRENCH
NTS

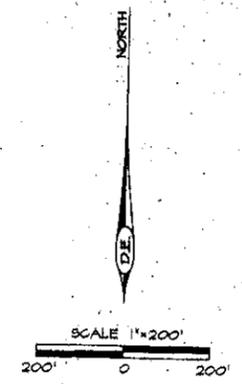


12.5' OUTSIDE OF ROAD ROW



WATER METER SHALL BE PLACED INSIDE ROAD ROW. SEE DETAILS SHET.

UTILITY LOCATION AT DRIVEWAYS
NTS



LEGEND

- IN-LINE FLUSHING STATION/LPSAS LINE
- AIR & VACUUM RELEASE VALVE/LPSAS LINE
- SERVICE LINE
- NEW WATER
- EXISTING WATER
- NEW FIRE HYDRANT
- 1" WATER SERVICE CONNECTION WITH 1" METER SERVICE
- 2-1/2" FLUSHING HYDRANT
- GATE VALVE AND VALVE BOX
- WATER LINE END CAP
- AIR & VACUUM RELIEF VALVE AND VALVE VAULT



REVISION	DATE

NBA-37

DESIGN ENGINEERING

1401 LUNA STREET, SUITE 5
SANTA FE, NEW MEXICO 87505
(505) 991-9951

HIGH SUMMIT III - PHASE I

MASTER UTILITY PLAN

SCALE: 1"=200' DATE: SHEET NO.:

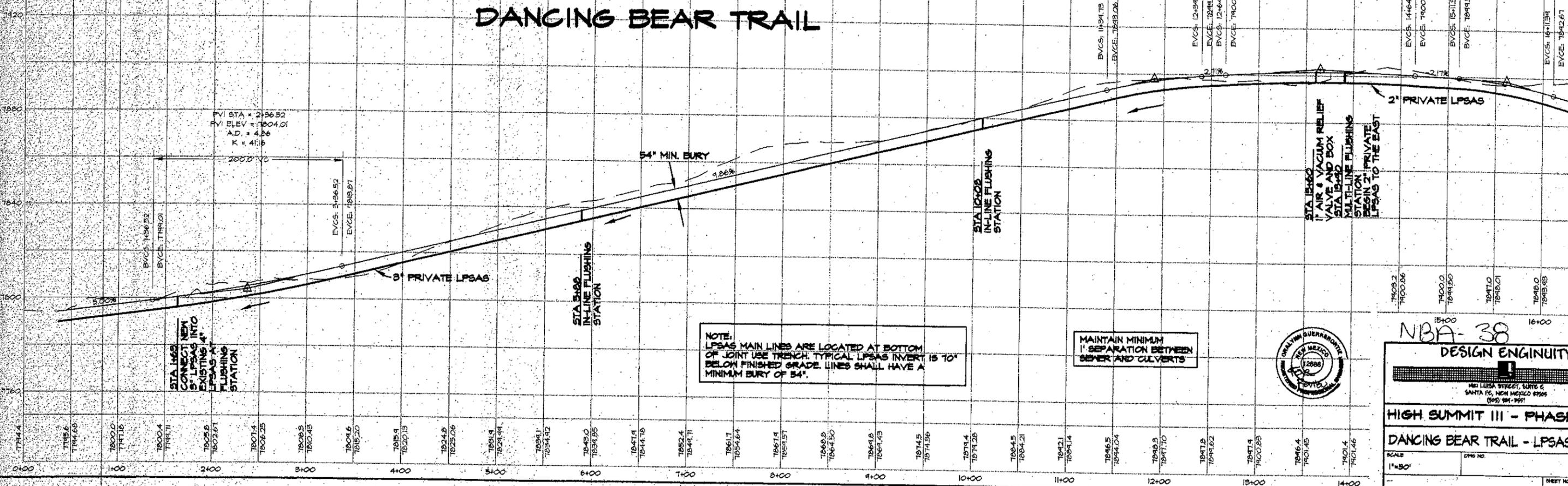


- LEGEND**
- IN-LINE FLUSHING STATION/LPSAS LINE
 - AIR & VACUUM RELEASE VALVE/LPSAS LINE
 - SERVICE LINE

HORZ. 1" = 100'
 VERT. 1" = 10'
 2' CONTOUR

HIGH POINT ELEV = 7901.53
 HIGH POINT STA = 13+75.84
 PVI STA = 11+89.78
 PVI ELEV = 7847.99
 A.D. = -7.15
 K = 13.99
 PVI STA = 13+64.85
 PVI ELEV = 7902.74
 A.D. = -4.88
 K = 40.46
 PVI STA = 15+61.39
 PVI ELEV = 7890.47
 A.D. = -9.48
 K = 12.61

DANCING BEAR TRAIL



STA 1+66.52
 CONNECT NEW
 3" LPSAS INTO
 EXISTING 4"
 LPSAS AT
 FLUSHING
 STATION

STA 3+82
 IN-LINE FLUSHING
 STATION

STA 12+02
 IN-LINE FLUSHING
 STATION

STA 15+62
 AIR & VACUUM RELIEF
 VALVE AND BOX
 STA 15+62
 MULTILINE FLUSHING
 STATION
 BEGIN 2" PRIVATE
 LPSAS TO THE EAST

NOTE:
 LPSAS MAIN LINES ARE LOCATED AT BOTTOM
 OF JOINT USE TRENCH. TYPICAL LPSAS INVERT IS 10"
 BELOW FINISHED GRADE. LINES SHALL HAVE A
 MINIMUM BURY OF 54".

MAINTAIN MINIMUM
 1" SEPARATION BETWEEN
 SENSER AND CULVERTS



NBA-38

DESIGN ENGINEER

1101 LINDA STREET, SUITE 6
 SANTA FE, NEW MEXICO 87505
 (505) 891-1997

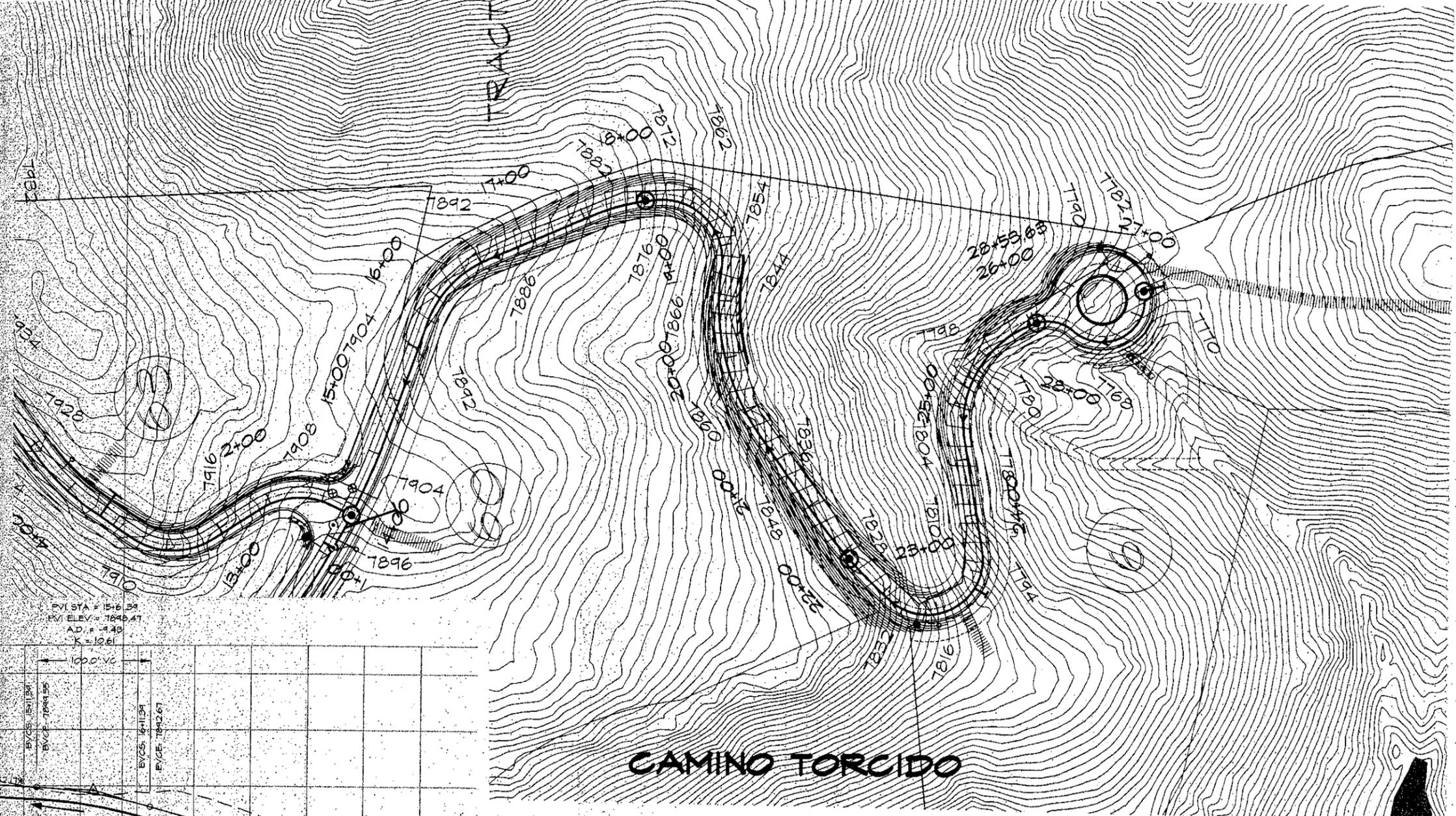
HIGH SUMMIT III - PHASE

DANCING BEAR TRAIL - LPSAS

SCALE 1" = 30'

DATE: 1/16/11

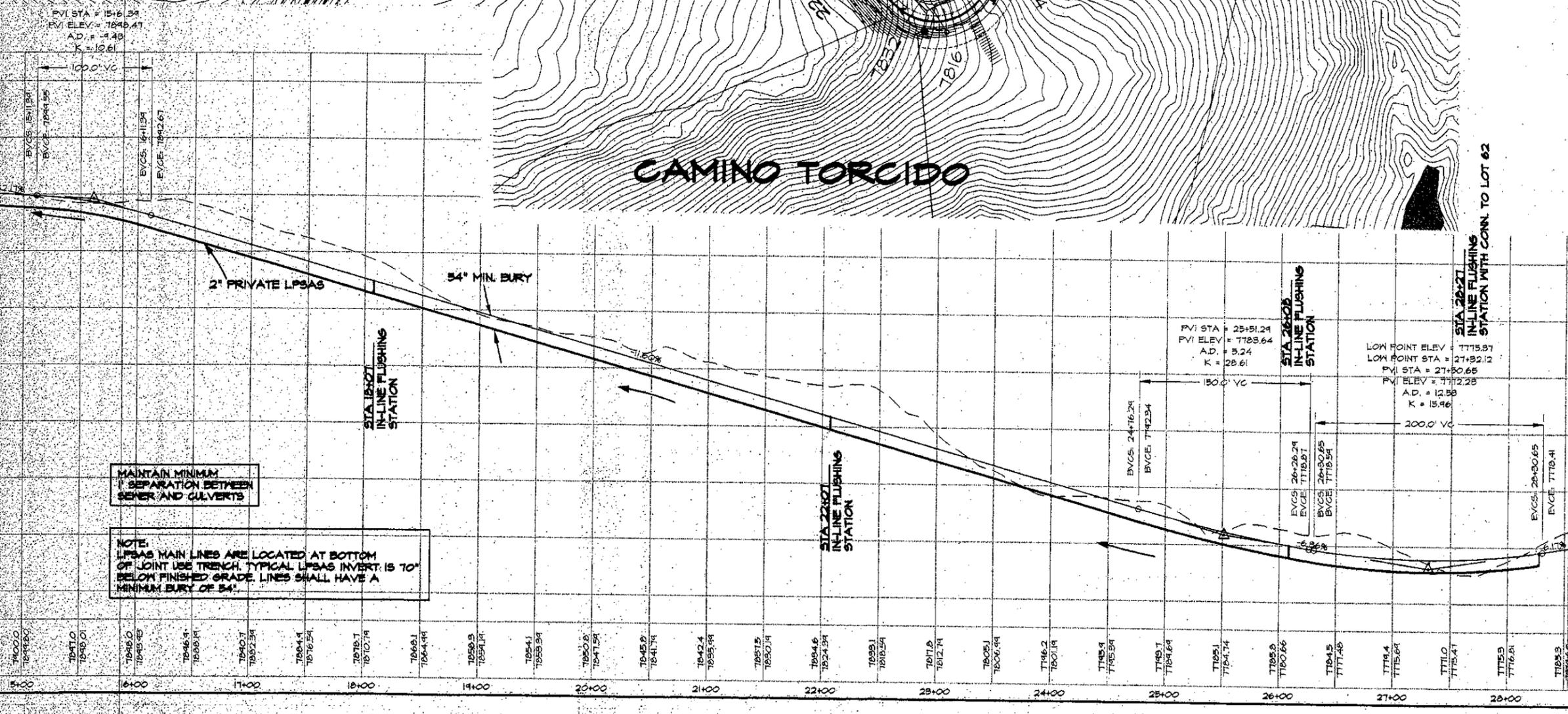
SHEET NO.



- LEGEND**
- IN-LINE FLUSHING STATION/LPSAS LINE
 - AIR & VACUUM RELEASE VALVE/LPSAS LINE
 - SERVICE LINE

NORTH

HORIZ. 1"=50'
VERT. 1"=20'
2' CONTOUR INTERVAL



MAINTAIN MINIMUM SEPARATION BETWEEN SENSER AND CULVERTS

NOTE: LPSAS MAIN LINES ARE LOCATED AT BOTTOM OF JOINT USE TRENCH. TYPICAL LPSAS INVERT IS 70" BELOW FINISHED GRADE. LINES SHALL HAVE A MINIMUM BURY OF 54"



NBA-39

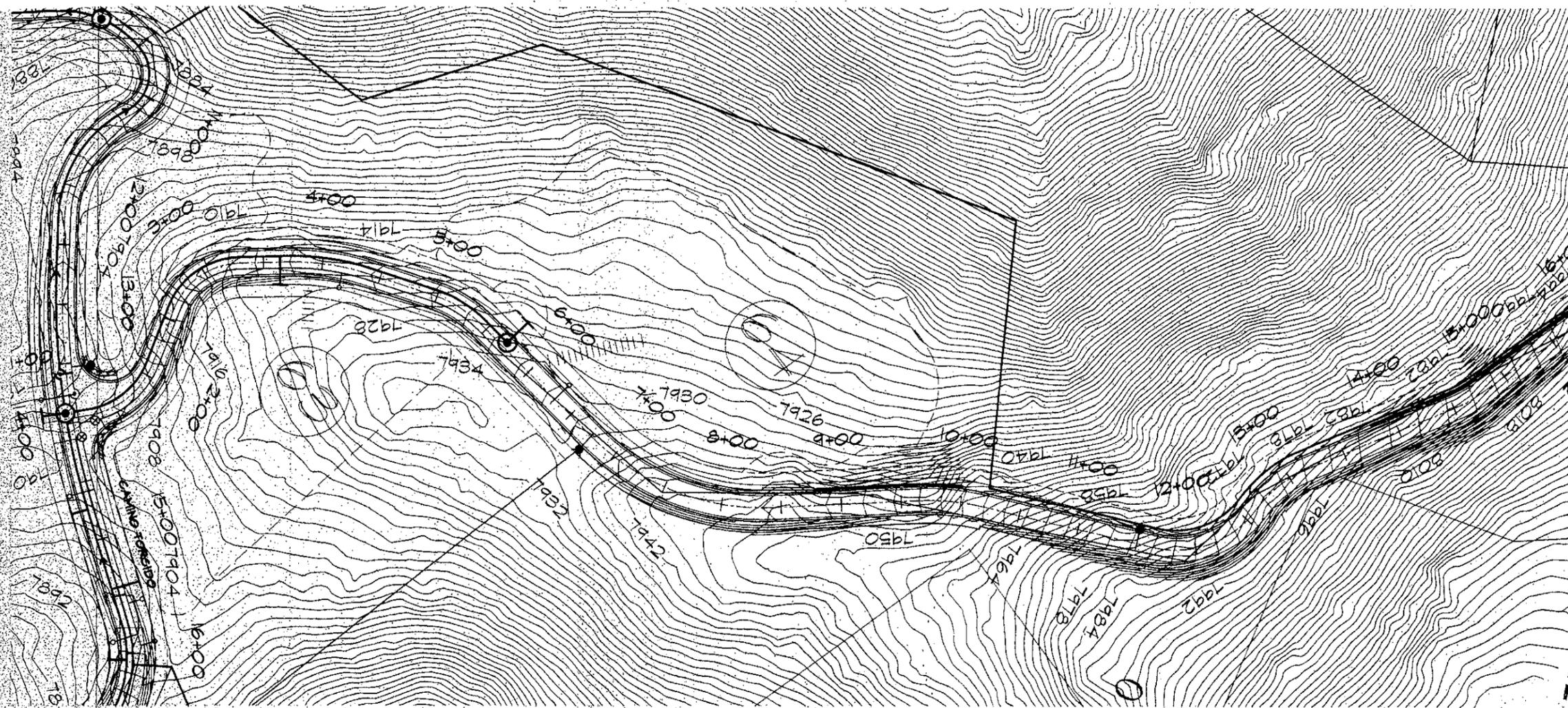
DESIGN ENGINEER

1401 LUISA STREET, SUITE 6
SANTA FE, NEW MEXICO 87505
(505) 994-1997

HIGH SUMMIT III - PHASE

CAMINO TORCIDO - LPSAS

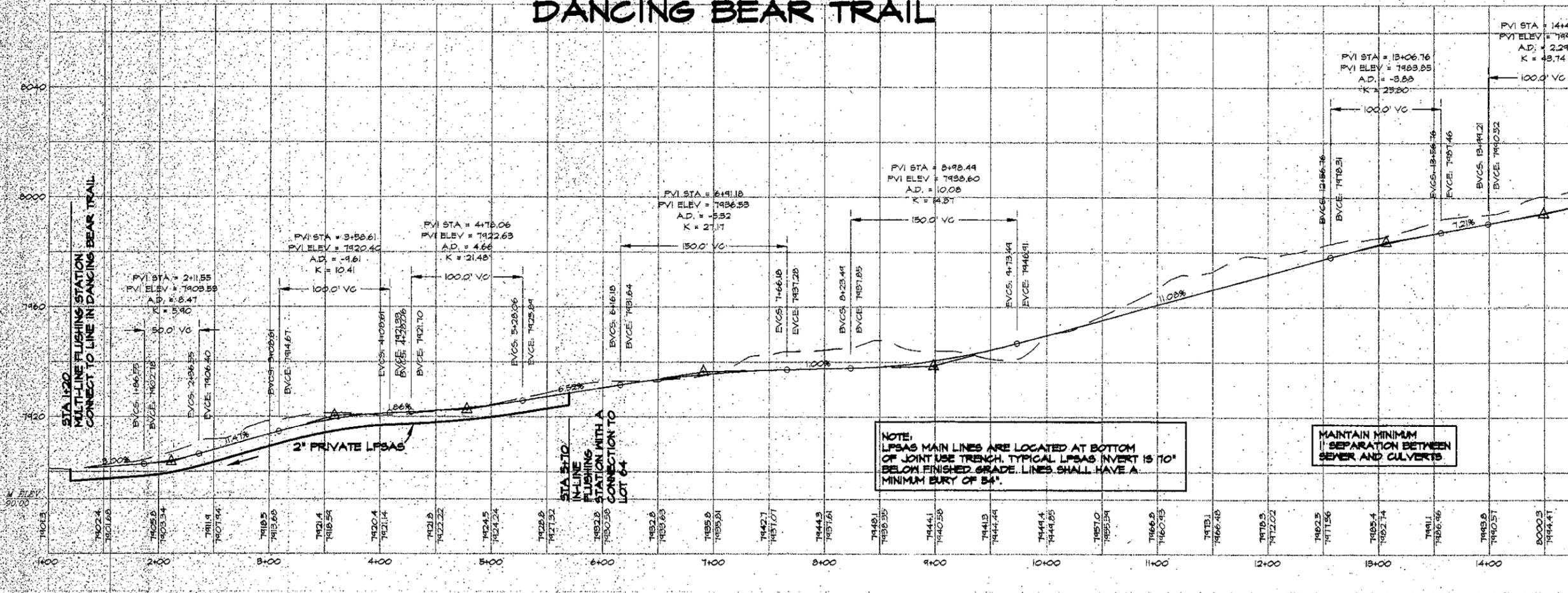
SCALE: 1"=50' DATE: SHEET NO.:



- LEGEND**
- IN-LINE FLUSHING STATION/LPSAS LINE
 - AIR & VACUUM RELEASE VALVE/LPSAS LINE
 - SERVICE LINE

HORZ. 1"=50'
 VERT. 1"=20'
 2' CONTOUR INTERVAL

DANCING BEAR TRAIL



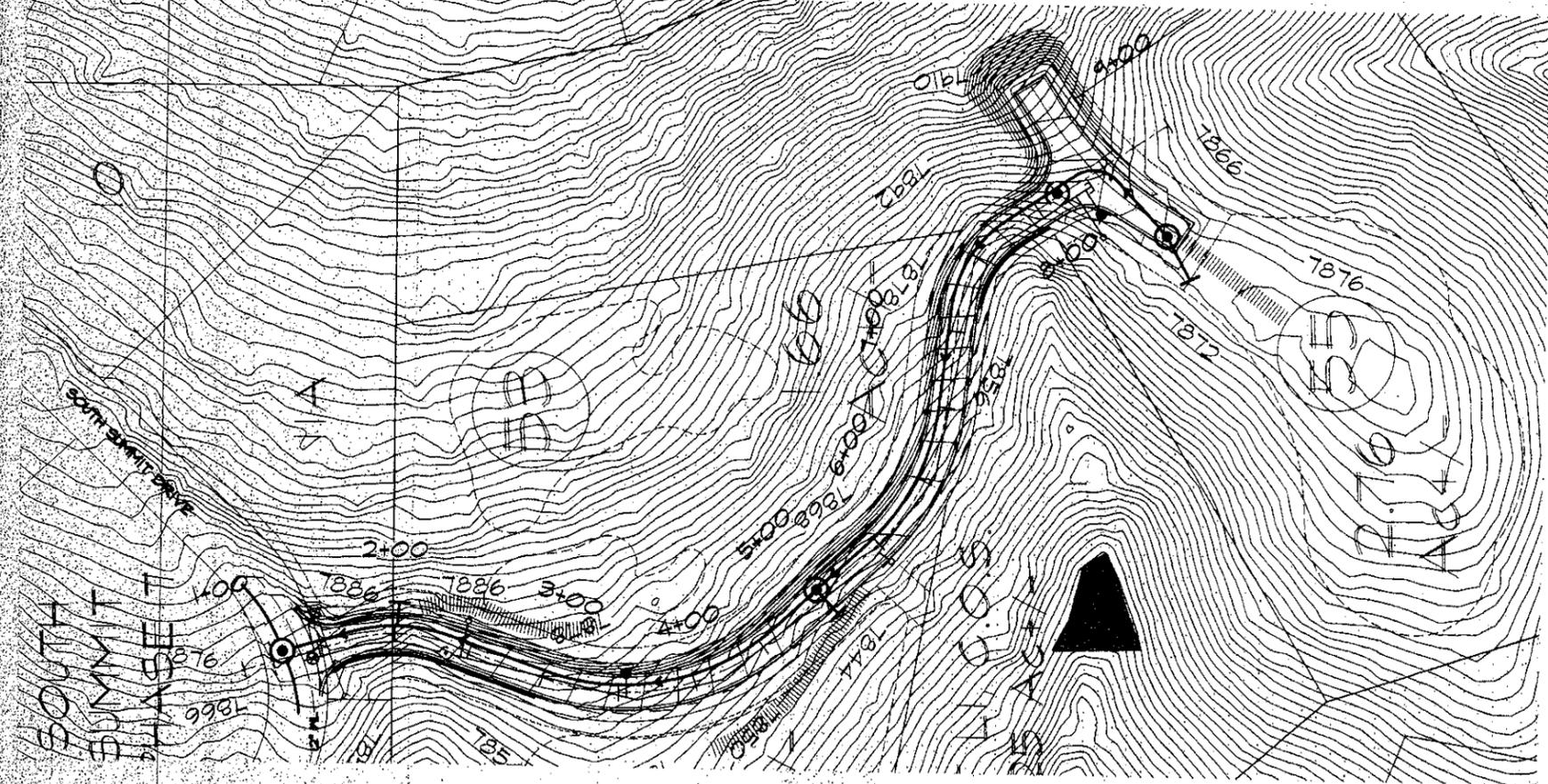
DESIGN ENGINEER

HIGH SUMMIT III - PHASE I

DANCING BEAR TRAIL - LPSAS

SCALE: 1"=50'

DATE: _____



SAS SERVICE CONNECTION SCHEDULE				
LOT #	STA	LENGTH	CONN. TYPE/SIZE	ADDRESS
64	17+18	24'	S 1-1/4"	
65	18+96	24'	S 1-1/4"	
66	19+53	24'	S 1-1/4"	
67	20+28	14'	S 1-1/4"	

LEGEND

- IN-LINE FLUSHING STATION/LPSAS LINE
- AIR & VACUUM RELEASE VALVE/LPSAS LINE
- SERVICE LINE

NORTH

HORZ. 1"=50'
 VERT. 1"=20'
 2' CONTOUR INTERVAL

BUFFALO LANE

MAINTAIN MINIMUM 1' SEPARATION BETWEEN SEWER AND CULVERTS

NOTE:
 LPSAS MAIN LINES ARE LOCATED AT BOTTOM OF JOINT USE TRENCH. TYPICAL LPSAS INVERT IS 10" BELOW FINISHED GRADE. LINES SHALL HAVE A MINIMUM BURY OF 54".

STA. 1+20 LOCATION TO BE VERIFIED BY CONTRACTOR. SOUTH SUMMIT DRIVE INSTALL MULTI-LINE FLUSHING STATION ON EXISTING 3" LPSAS

STA. 6+00 MULTI-LINE FLUSHING STATION WITH CONNECTION TO LOT 54

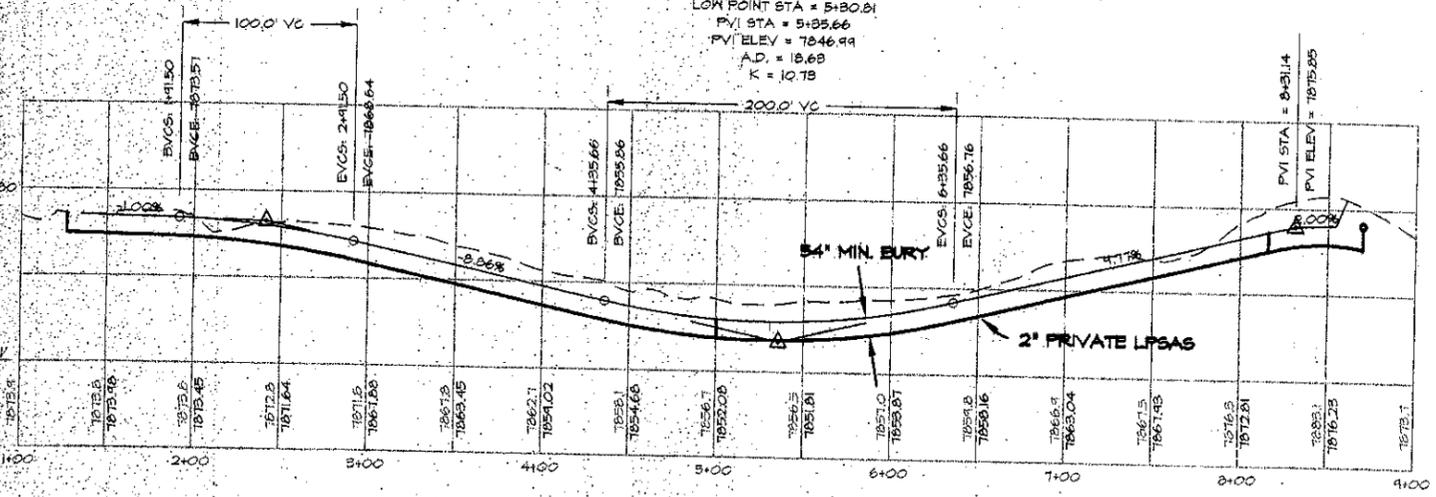
STA. 8+16, 3' ST. 1" AIR & VACUUM RELIEF VALVE AND BOX

STA. 8+10, 3' ST. IN-LINE FLUSHING STATION WITH CONNECTION TO LOT 55

PVI STA = 2+41.50
 PVI ELEV = 7873.01
 A.D. = -1.26
 K = 12.12

LOW POINT ELEV = 7851.64
 LOW POINT STA = 5+20.21
 PVI STA = 5+25.66
 PVI ELEV = 7846.91
 A.D. = 18.68
 K = 10.18

PVI STA = 8+31.4
 PVI ELEV = 7875.25



DESIGN ENGINEERING

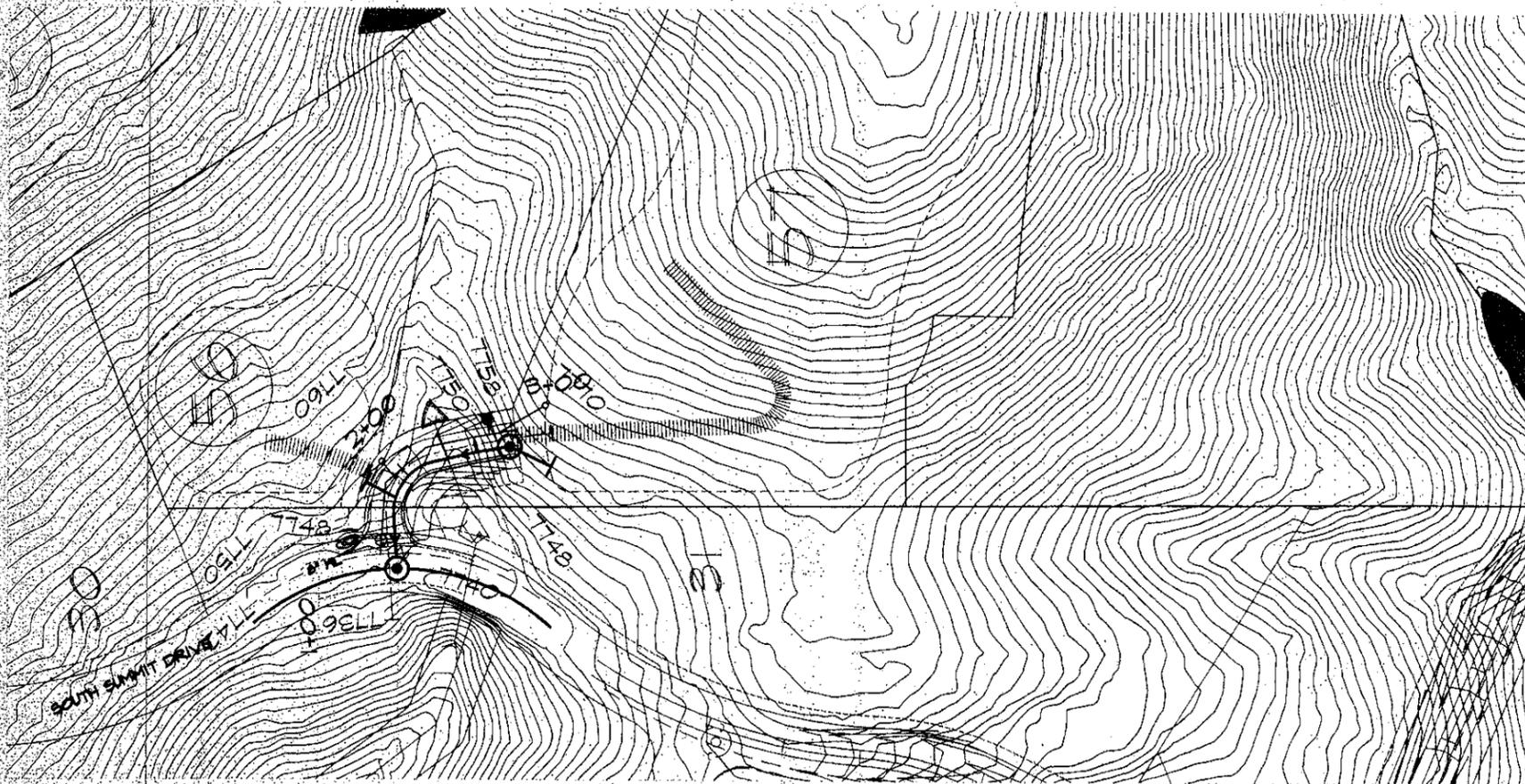
181 LUNA STREET, SUITE 2
 SANTA FE, NEW MEXICO 87505
 (505) 944-7727

HIGH SUMMIT III - PHASE
BUFFALO LANE - LPSAS -

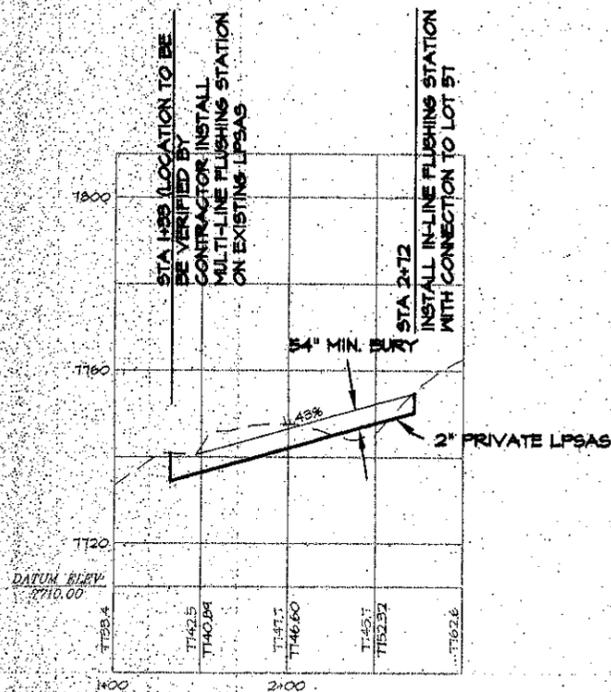
SCALE: 1"=50' SHEET NO. 1

REVISION DATE

NBA-41



SHARED DRIVEWAY



MAINTAIN MINIMUM
1' SEPARATION BETWEEN
SEWER AND CULVERTS

NOTE:
LPSAS MAIN LINES ARE LOCATED AT BOTTOM
OF JOINT USE TRENCH. TYPICAL LPSAS INVERT IS 10"
BELOW FINISHED GRADE. LINES SHALL HAVE A
MINIMUM BURY OF 54".



HORZ. 1"=50'
VERT. 1"=20'
2' CONTOUR INTERVAL

LEGEND

- IN-LINE
FLUSHING
STATION/LPSAS LINE
- AIR & VACUUM
RELEASE
VALVE/LPSAS LINE
- SERVICE LINE



NBA-42

DESIGN ENGINEER

164 LEEA STREET, SUITE 6
SANTA FE, NEW MEXICO 87505
(505) 891-1927

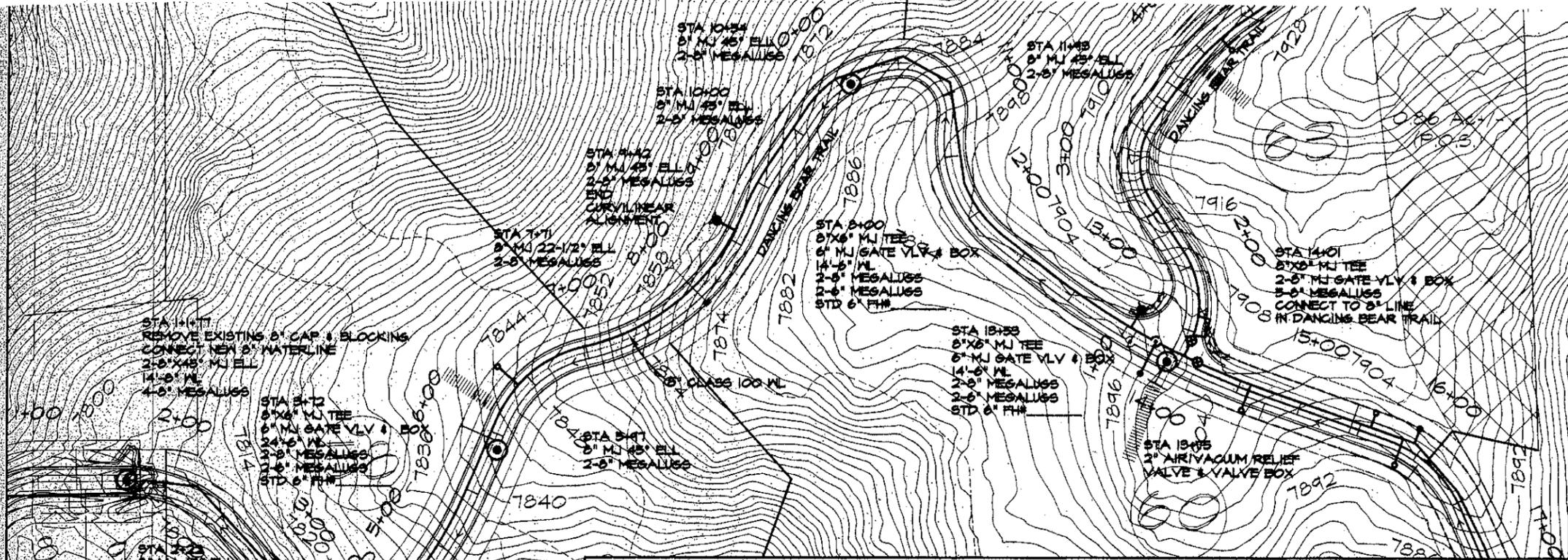
HIGH SUMMIT III - PHASE

DRIVEWAY 53 & 54 - LPSAS

SCALE: 1"=50' DATE: _____

DATE: _____ SHEET NO: _____

REVI
DATE

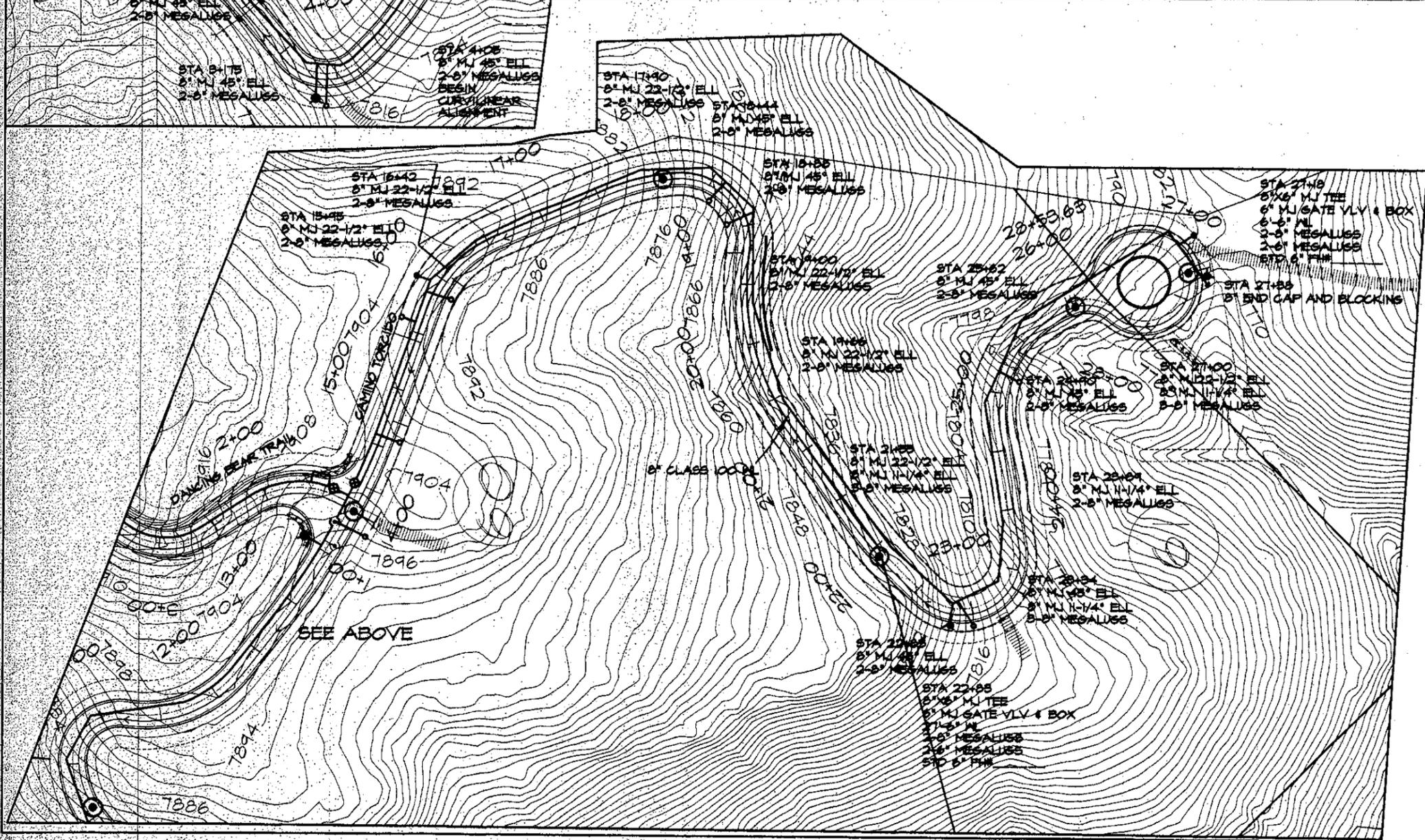


NORTH

 SCALE: 1"=50'

LEGEND

	NEW WATER
	EXISTING WATER
	NEW FIRE HYDRANT
	WATER SERVICE CONN
	2-1/2" FLUSHING H
	GATE VALVE
	WATER LINE END CAP
	AIR & VACUUM RELIEF



RECORDED MAPPING

	INITIALS	DATE
AS BUILT	___	___/___/___
VALVE MAPS	___	___/___/___
GIS (MAPPING)	___	___/___/___
INSPECTOR APPROVED	___	___/___/___

NORTH

 HORZ. 1"=50'



NBA
DESIGN ENGINEER

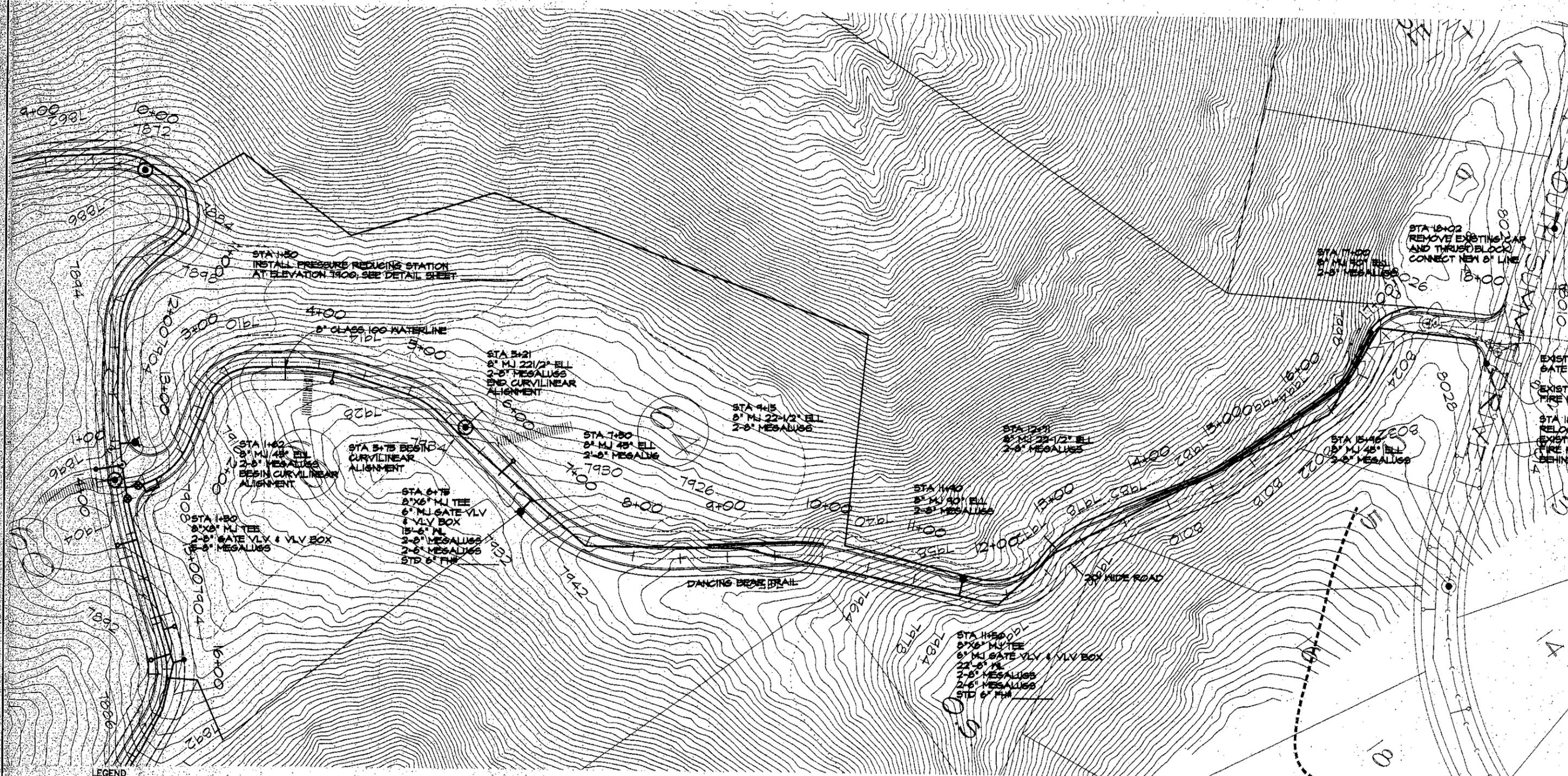
 481 LUNA STREET, SUITE C
 SANTA FE, NEW MEXICO 87505
 (505) 991-7977

HIGH SUMMIT III - PHASE
DANCING BEAR TRAIL & CAMINO TORCIDO - WATER AND F

SCALE: 1"=50' DWG NO. _____
 PLOT CASE # _____ SHEET NO. _____

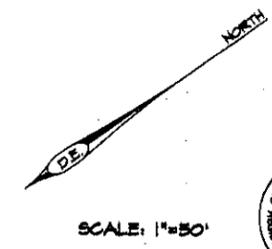
REVISIONS		APPROVED	
DATE	BY	CITY OF SANTA FE WATER DIVISION	DATE

PLAT RECORDING INFORMATION	BOOK _____
	PAGE _____
	FILE _____
	DATE _____



- LEGEND**
- NEW WATER
 - EXISTING WATER
 - NEW FIRE HYDRANT
 - WATER SERVICE CONNECTION
 - 2-1/2" FLUSHING HYDRANT
 - GATE VALVE
 - WATER LINE END CAP
 - AIR & VACUUM RELIEF VALVE

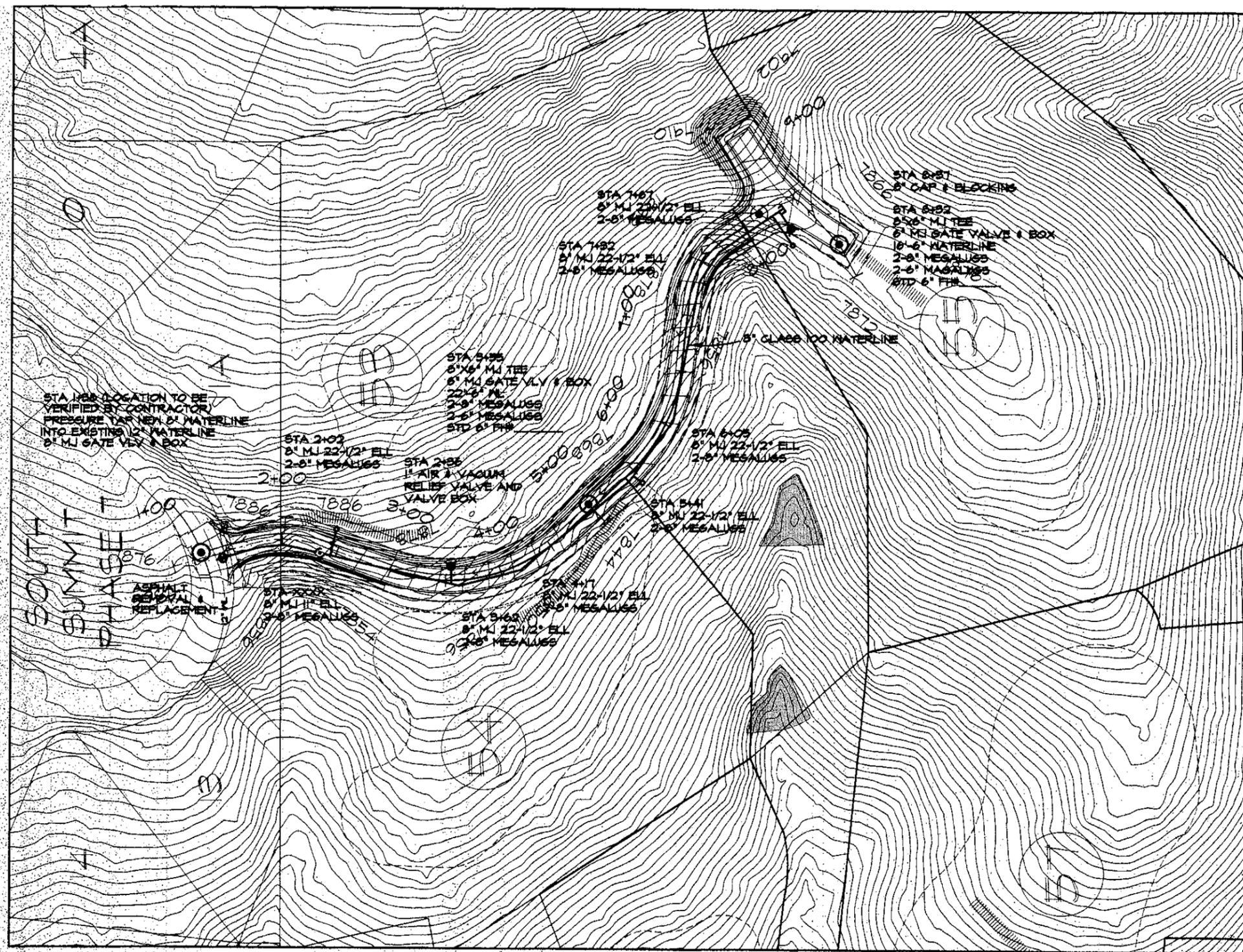
RECORDED MAPPING		
	INITIALS	DATE
AS BUILT	—	—
VALVE MAPS	—	—
GIS (MAPPING)	—	—
INSPECTOR APPROVED	—	—



DESIGN ENGINEER		
1411 LIBRA STREET, SUITE C SANTA FE, NEW MEXICO 87505 (505) 191-1991		
HIGH SUMMIT III - PHASES 3-6		
DANCING BEAR TRAIL - WATER AND FIRE PROTECTION		
SCALE 1"=50'	DWG. NO.	DATE 10/01/2016
PROJECT CASE #	SHEET NO. 16B	

APPROVED	
CITY OF SANTA FE WATER DIVISION	DATE
SANTA FE FIRE DEPARTMENT	DATE
AERIAL, TOWNSHIP, RANGE, SECTION	WORK ORDER NO.

REV: _____
DATE _____



NORTH D.E.
SCALE: 1"=50'

- LEGEND
- NEW WATER
 - EXISTING WATER
 - NEW FIRE HYDRANT
 - WATER SERVICE CONNECTION
 - 2-1/2" FLUSHING HYDRANT
 - GATE VALVE
 - WATER LINE END CAP
 - AIR & VACUUM RELIEF VALVE

STA 1468 LOCATION TO BE VERIFIED BY CONTRACTOR. PRESSURE TAP NEAR 8" WATERLINE INTO EXISTING 12" WATERLINE 8" MI GATE VALVE & BOX

ASPHALT REMOVAL & REPLACEMENT

RECORDED MAPPING		
	INITIALS	DATE
AS BUILT	—	—/—/—
VALVE MAPS	—	—/—/—
GIS (MAPPING)	—	—/—/—
INSPECTOR APPROVED	—	—/—/—



REVISIONS	
DATE	BY

PLAT RECORDING INFORMATION		APPROVED	
BOOK		CITY OF SANTA FE WATER DIVISION	DATE
PAGE		SANTA FE FIRE DEPARTMENT	DATE
FILE		AERIAL, TOWNSHIP, RANGE, SECTION	WORK ORDER NO.
DATE			

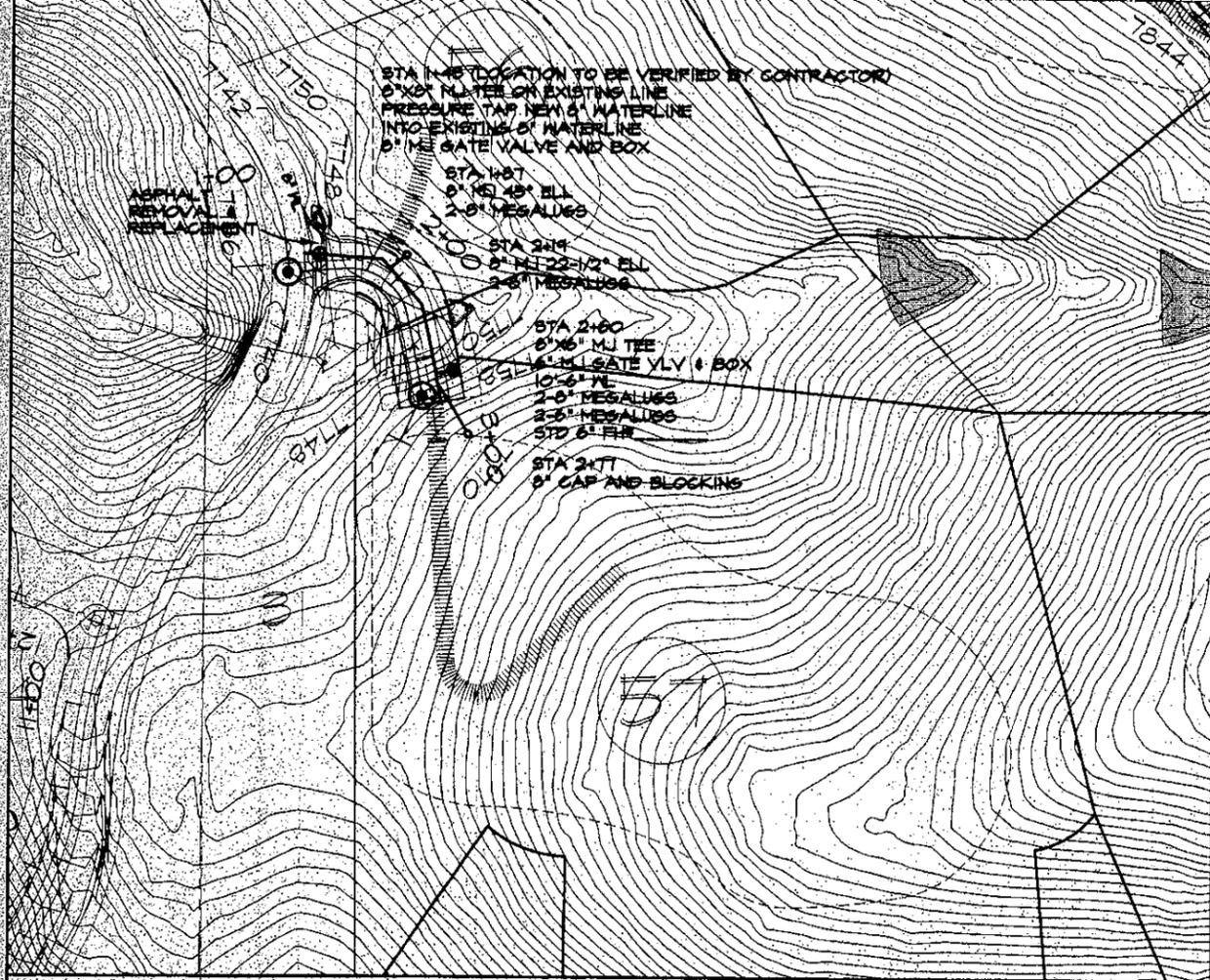
NBA-
DESIGN ENGINEERING

1611 LIBRA STREET, SUITE C
SANTA FE, NEW MEXICO 87505
(505) 991-1977

HIGH SUMMIT III - PHASE
BUFFALO LANE- WATER AND FIRE PL

SCALE: 1"=50' DWP NO. SHEET NO.

PIOR CASE #



- LEGEND**
- NEW WATER
 - EXISTING WATER
 - NEW FIRE HYDRANT
 - WATER SERVICE CONNECTION
 - 2-1/2" FLUSHING HYDRANT
 - GATE VALVE
 - WATER LINE END CAP
 - AIR & VACUUM RELIEF VALVE



SCALE: 1"=50'

RECORDED MAPPING		
	INITIALS	DATE
AS BUILT	—	—/—/—
VALVE MAPS	—	—/—/—
GIS (MAPPING)	—	—/—/—
INSPECTOR APPROVED	—	—/—/—

NBA

DESIGN ENGINEERING

1401 LIBRA STREET, SUITE C
SANTA FE, NEW MEXICO 87505
(505) 991-7977

HIGH SUMMIT III - PHASE

DRIVENWAY 53 & 54 - WATER AND FIRE F

SCALE: 1"=50' DWP NO. _____

PLAT CASE # _____ SHEET NO. _____



REVISIONS	
DATE	BY

PLAT RECORDING INFORMATION		APPROVED	
BOOK _____	CITY OF SANTA FE WATER DIVISION	DATE _____	DATE _____
PAGE _____	SANTA FE FIRE DEPARTMENT		DATE _____
FILE _____	AERIAL TOWNSHIP RANGE SECTION	WORK ORDER NO. _____	
DATE _____			

GENERAL
1. IN GENERAL, ALL CONSTRUCTION, RE-CONSTRUCTION AND REPAIR WORK PERFORMED ON PUBLIC AND PRIVATE INFRASTRUCTURE SHALL COMPLY WITH THE PROJECT'S SET OF APPROVED CONSTRUCTION DRAWINGS (ACD). IN ADDITION THE FOLLOWING SHALL APPLY:
2. THE ENGINEER OF RECORD (EOR) SHALL BE A NEW MEXICO LICENSED ENGINEER (N.M.P.E.) WITH DEMONSTRATED EXTENSIVE EXPERIENCE IN THE DESIGN, CONSTRUCTION, ADMINISTRATION, AND REGULATORY REQUIREMENTS OF PUBLIC INFRASTRUCTURE PROJECTS.
3. THE OWNER'S PROJECT REPRESENTATIVE (OPR) SHALL BE AN INDIVIDUAL WITH A COMBINATION OF FORMAL TRAINING AND DEMONSTRATED FIELD EXPERIENCE IN MANAGING AND ADMINISTERING THE EXECUTION OF CONSTRUCTION PROJECTS THAT INCLUDE THE INSTALLATION OF PUBLIC INFRASTRUCTURE IN COMPLIANCE WITH APPROVED DRAWINGS AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
4. THE OPR SHALL BE PRESENT ON THE CONSTRUCTION AS OFTEN AS NECESSARY TO ASSURE CONTRACTOR REASONABLY MEETS ALL ACD REQUIREMENTS WHILE MEETING THE COST AND TIME REQUIREMENTS OF THE CONTRACT. THE OPR AND THE EOR SHALL WORK TOGETHER TO REPRESENT THE OWNER'S BEST INTEREST.
5. THE OPR SHALL BE THE PRIMARY POINT OF CONTACT OR LIAISON BETWEEN THE CONTRACTOR AND THE OWNER.
6. THE OPR SHALL DESIGNATE BOTH THE EOR AND THE OPR, NO LATER THAN FIVE (5) DAYS FOLLOWING THE AWARD OF THE CONSTRUCTION CONTRACT.
7. UNLESS OTHERWISE SPECIFIED BY THE OWNER, THE COUNTY SHALL ASSUME THE EOR TO BE THE SAME AS THE DESIGN ENGINEER.
8. THE OPR MAY DESIGNATE THE SAME PERSON TO BE EOR AND OPR FOR THIS PROJECT, AND ALL PARTIES SHALL BE ADVISED OF THAT DESIGNATION AT THE PRE-CONSTRUCTION MEETING, IF NOT EARLIER.
PRE-CONSTRUCTION
9. THE OPR SHALL TRANSMIT TO THE CONTRACTOR THE OWNER'S NOTICE TO PROCEED (NTP), AND ARRANGE A PRE-CONSTRUCTION MEETING TO BE HELD WITHIN 14 DAYS OF THE AWARD OF THE CONTRACT. THE MEETING SHALL BE HELD AT THE SITE UNTIL A COUNTY DOWNGRADE PERMIT HAS BEEN PROVIDED TO THE CONTRACTOR AND WHEN NOT BEEN PROVIDED, THE MEETING SHALL BE HELD AT THE COUNTY OFFICE.
10. AS A MINIMUM, IN ATTENDANCE TO THE PRE-CONSTRUCTION MEETING SHALL BE THE OPR, APPROPRIATE COUNTY REPRESENTATIVES, THE CONTRACTOR, AND UTILITY COMPANY REPRESENTATIVES.
11. THE CONTRACTOR SHALL PROVIDE THE NAMED ROLE AND CONTACT INFORMATION, INCLUDING NORMAL AND EMERGENCY PHONE NUMBERS, FOR THE CONTRACTOR'S EMPLOYEES RESPONSIBLE FOR THE CONSTRUCTION WORK, AT LEAST ONE EMERGENCY TELEPHONE NUMBER SHALL BE ACTIVE ON A 24-HOUR, 7-DAYS A WEEK BASIS. THIS INFORMATION SHALL BE AVAILABLE AT THE PRE-CONSTRUCTION MEETING AND BE UPDATED BY THE CONTRACTOR AS NECESSARY THROUGHOUT THE PROJECT'S EXECUTION PERIOD.
ISLAND PLAN CHANGES
12. CONTRACTOR REQUESTS FOR INFORMATION (RFI) SHALL BE SUBMITTED TO THE OPR THIRTY (30) DAYS IN WRITING. CONTRACTOR SHALL ALLOW 24 HOURS FOR THE OPR'S WRITTEN ACKNOWLEDGEMENT OF RECEIPT.
13. THE EOR SHALL MAKE EVERY EFFORT TO RESPOND TO THE CONTRACTOR'S RFI WITHIN THE INITIAL 24 HOURS. WHEN THE EOR IS UNABLE TO RESPOND WITHIN 24 HOURS, HE/SHOULD PREPARE THE RFI RESPONSE. THE EOR SHALL PROVIDE THE CONTRACTOR, AS SOON AS POSSIBLE, THE ESTIMATED TIME FRAME FOR THE RESPONSE.
14. REQUESTS FOR DEVIATIONS FROM ANY PROVISIONS SPECIFIED IN THESE ACD OR THE CONTRACT DOCUMENTS MAY BE CONSIDERED ONLY WHEN THE CONTRACTOR ANTICIPATES IMPROVED OUTCOMES IN COST, TIME AND QUALITY OF THE CONSTRUCTED PROJECT, AS THE PRIMARY RESULT OF IMPLEMENTING DEVIATIONS TO THE ACD, WHILE KEEPING INTACT THE DESIGNER'S INTENT.
15. CONTRACTOR SHALL SUBMIT ALL PLAN DEVIATION REQUESTS TO THE OPR. NO DEVIATIONS TO THE ACD SHALL PROCEED UNTIL THE CHANGE HAS BEEN APPROVED IN WRITING BY THE OPR.
GENERAL
16. THROUGHOUT THE PROJECT'S EXECUTION PERIOD, THE CONTRACTOR SHALL MAINTAIN AT THE PROJECT SITE A COPY OF ALL RELEVANT FIELD NOTES, AND THESE SHALL BE MADE AVAILABLE TO THE OPR AT ANY TIME DURING WORKING HOURS. THE UPDATING OF SUCH NOTES AND DRAWINGS SHALL BE DONE AS FREQUENTLY AS NECESSARY, NOT LESS THAN ONCE A WEEK.
RECORDS
17. CONTRACTOR SHALL RETAIN THE SERVICES OF A NEW MEXICO LICENSED PROFESSIONAL SURVEYOR (N.M.P.S.) FOR VERIFICATION OF ALL CRITICAL HORIZONTAL AND VERTICAL CONTROL DATA, AND CERTIFICATION OF RECORD DRAWINGS.
18. RECORD DRAWINGS SHALL INCLUDE INFORMATION SPECIFICALLY STATED IN THESE ACD, OR WHEN THE OPR SPECIFICALLY IDENTIFIES IN THE FIELD, CRITICAL DATA (X, Y, AND Z) RELATED TO WATER VALVES OF ALL KINDS, WATER METERS, FIRE HYDRANTS, GILVERT INLET OR OUTLET INVERTS, MANHOLE INVERTS AND RISES, END OF WASTEWATER SERVICE CONNECTIONS WHICH SHALL BE COLLECTED BY THE CONTRACTOR'S. VOLUME OF DRAINAGE PONDS AND POND OUTLET INVERTS SHALL ALSO BE SHOWN ON THE RECORD DRAWINGS.
19. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PROTECTION OF SURVEY MONUMENTS OR MARKS. IN THE EVENT THAT ACCIDENTAL DAMAGE IS CAUSED TO THESE MARKS DURING PROJECT CONSTRUCTION, AN HELPERS RETAINED BY THE CONTRACTOR SHALL RE-ESTABLISH THE MARKS IN COMPLIANCE WITH STANDARDS AND PROCEDURES SET FORTH BY THE GEODETIC MARK PRESERVATION HANDBOOK. FOR MORE INFORMATION CONTACT THE MARK PRESERVATION CENTER, NOAA (508) 786-3848. CONTRACTOR SHALL NOT ATTEMPT TO CORRECT ANY ADDITIONAL COST FOR SUCH REPAIRS.
PROJECT LIMITATIONS/CONSTRAINTS
20. CONTRACTOR SHALL CONFINE ALL CONSTRUCTION OPERATIONS TO THE DESIGNATED PROJECT BOUNDARIES SHOWN IN THESE ACD. NO PERSONNEL, MATERIALS, OR EQUIPMENT SHALL EVER ENCROACH ONTO AREAS OUTSIDE SUCH BOUNDARIES, UNLESS SPECIFICALLY AUTHORIZED BY THE OPR.
21. EVEN WITHIN THE PROJECT BOUNDARIES, CLEARING AND GRUBBING SHALL BE KEPT TO THE MINIMUM NECESSARY TO EXECUTE THE PROJECT. STABILIZATION OF DISTURBED SURFACES SHALL BEGIN AS SOON AS PRACTICAL AFTER INITIATION OF ANY CONSTRUCTION ACTIVITIES.
22. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR EROSION CONTROL INCIDENTAL TO THE CONSTRUCTION ACTIVITIES. IF REQUIRED BY THE ACD, THE CONTRACTOR SHALL SUBMIT TO THE OPR A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND EVIDENCE OF A FILED NOT 10 DAYS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.
23. SWPPP SHALL COMPLY WITH THE PROVISIONS OF NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT REQUIREMENTS FOR POINT SOURCE CONTROL. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL SWPPP BEST MANAGEMENT PRACTICES AND REQUIRED PAPERWORK. THE SWPPP AND ASSOCIATED PAPERWORK SHALL BE PROVIDED TO THE OPR FOR INSPECTION WHEN REQUESTED.
24. AT A MINIMUM, ALL AREAS DISTURBED BY CONSTRUCTION TRAFFIC SHALL BE SPRAYED WITH WATER ON A DAILY BASIS TO CONTROL DUST GENERATION. ADDITIONAL WATER SHALL BE APPLIED ON FINED DAYS AS NEEDED.
25. CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF ALL DISTURBED AREAS FOLLOWING RE-VEGETATION THROUGH THE FIRST GROWING SEASON AFTER COMPLETION OF THIS PROJECT. IN THE EVENT THAT THE REVEGETATION PLAN IMPLEMENTATION HAS NOT BEEN ACCOMPLISHED BEFORE SEPTEMBER 1, DUE TO CONSTRUCTION DELAYS, OR BECAUSE DISTURBED SURFACES MUST REMAIN EXPOSED AFTER THIS DATE, THE CONTRACTOR SHALL INSTALL TEMPORARY PROTECTION SUCH AS A COVER CROP OR MULCH TO PROTECT SOIL FROM EROSION AND TO PROMOTE SOIL TO THE OWNER.
26. CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING STRUCTURES, INCLUDING UNDERGROUND UTILITY CONDUITS LOCATED WITHIN AND WITHOUT THE PROJECT BOUNDARIES, FREE OF DIRT AND/OR CONSTRUCTION DEBRIS AT ALL TIMES DURING THE EXECUTION OF THE PROJECT. CLEARING AND FULL RESTORATION OF SUCH STRUCTURES TO THEIR ORIGINAL CONDITION OR BETTER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR ALONE, AND ALL RELATED COSTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THIS PROJECT.
27. CONTRACTOR AND THEIR AGENTS SHALL NOT BE HELD RESPONSIBLE FOR THE COSTS OF REPAIRING ANY DAMAGE OR ALTERATIONS CAUSED DURING EXECUTION OF THIS PROJECT, TO THE ORIGINAL CONDITION OF THIRD PARTY'S PROPERTY (E.G. STRUCTURES, EXISTING UTILITIES OR UTILITY EASEMENTS) LOCATED WITHIN OR WITHOUT THE PROJECT BOUNDARIES.
28. EXISTING ROAD AND DRIVEWAY ACCESS FOR ADJACENT PROPERTIES SHALL BE MAINTAINED TRAFFICABLE UNDER ALL WEATHER CONDITIONS.
29. NO ALTERATION OR MODIFICATION SHALL BE PERMITTED ON ANY DRAINAGE MAY OR ARROYO, UNLESS IT IS SPECIFICALLY SHOWN ON THE ACD.
30. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PROTECTION OF ALL SPECIFIED MATERIALS OR EQUIPMENT, WHETHER IN STORAGE OR INSTALLED, UNTIL FINAL WRITTEN APPROVAL OF THE PROJECT BY THE OPR AND THE COUNTY.
31. BORROW MATERIAL, CONSTRUCTION WASTE, VEGETATIVE DEBRIS, ETC. SHALL NOT BE PLACED IN PETA-LAND AREAS, OR ANY AREAS WHERE THEY MAY AFFECT ENDANGERED SPECIES OR ARCHAEOLOGICAL RESOURCES IN ANY MANNER.
32. ALL WORK DISTURBING THE GENERAL OR SPECIAL STREAMS, WATER IMPOUNDMENTS, WETLANDS, DRINKING OR IRRIGATION WATER SOURCES SHALL BE PERFORMED IN SUCH MANNER AS TO MINIMIZE VEGETATION DAMAGE OR REMOVAL, AS WELL AS SOIL EROSION.
33. CONSTRUCTION EQUIPMENT'S CROSSINGS OF EXISTING STREAMS, WHETHER THE STREAMS ARE EPIHEMERAL OR PERENNIAL, SHALL BE MINIMIZED, REFUGING OPERATIONS AND CONCRETE DUMPING IN THE VICINITY OF ANY BODY OF WATER SHALL BE STRICTLY PROHIBITED.
34. ALL AREAS DISTURBED BY THE CONSTRUCTION ACTIVITIES OF THIS PROJECT, INCLUDING ANY TEMPORARY ACCESS ROADS, SHALL BE RESTORED IN ACCORDANCE WITH THE GRADING PLANS, AND RESEEDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
RESEEDING
35. CONTRACTOR SHALL DESIGNATE AN AREA WITHIN THE PROJECT BOUNDARIES FOR THE TEMPORARY STORAGE OF CONSTRUCTION DEBRIS AND WASTE. SUCH DEBRIS MAY INCLUDE REMOVED TREES AND BRUSH AND ANY MATERIALS THAT MAY BE INEARTHED WHICH ARE DEEMED NOT SUITABLE FOR REUSE AS CONSTRUCTION MATERIALS ON THIS PROJECT.
36. CONSTRUCTION DEBRIS AND WASTE SHALL BE PREVENTED FROM BEING SCATTERED BY WIND, SURFACE RUNOFF, OR ANIMALS (DOMESTIC OR WILD) AND BECOMING A NUISANCE TO ANYONE OUTSIDE THE PROJECT BOUNDARIES.
37. FROM TIME TO TIME, DEBRIS AND WASTE SHALL BE TRANSPORTED OUT OF THE SITE AND DISPOSED OF PROPERLY AT A NE STATE APPROVED LANDFILL. CONTRACTOR SHALL SUBMIT CORRESPONDING TIPPING RECEIPTS TO THE OPR TO ACCOUNT FOR PROPER WASTE DISPOSAL. THE COST OF CONSTRUCTION WASTE DISPOSAL SHALL BE INCIDENTAL TO THE COST OF PROJECT.
38. WASTE TO BE REMOVED FROM THE PROJECT SHALL BE IDENTIFIED AND RECORDED IN WRITING. WASTE NOT PREVIOUSLY IDENTIFIED SHALL BE THE SUBJECT OF CONSIDERATION AS A CHANGE ORDER DUE TO UNKNOWN SUBSURFACE CONDITIONS.
39. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP SPILLS ASSOCIATED WITH THE PROJECT'S CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL REPORT AND PROPERLY RESPOND TO SPILLS OF HAZARDOUS MATERIALS SUCH AS GASOLINE, DIESEL, MOTOR OIL, SOLVENTS, TOXIC AND CORROSIVE SUBSTANCES, AND OTHER MATERIALS WHICH MAY REPRESENT A THREAT TO THE HEALTH AND SAFETY OF THE GENERAL PUBLIC, OR TO THE ENVIRONMENT.
40. CONTRACTOR SHALL REPORT IMMEDIATELY ANY UNEXPECTED SPILLS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES ON THE PROJECT. REPORTS SHALL BE MADE TO THE OPR, AS WELL AS TO THE APPROPRIATE STATE AGENCY. CLEAN UP OF ANY SPILLS THAT HAVE OCCURRED DURING THE CONSTRUCTION OF THIS PROJECT, WHENEVER THEY MAY BECOME EVIDENT, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
CONCRETE
41. CONTRACTOR SHALL PROVIDE THE INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL DEVICES IN COMPLIANCE WITH THESE ACD. TRAFFIC CONTROL DEVICES SHALL COMPLY WITH THE MOST CURRENT EDITION OF THE MANUAL UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), BUT MAY BE REVISED UNDER WRITTEN DIRECTION FROM THE COUNTY TRAFFIC ENGINEER.
ONE CALL
42. INFORMATION SHOWN FOR EXISTING UTILITIES HAS BEEN INCLUDED ON THESE ACD FOR REFERENCE PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES THAT EACH UTILITY COMPANY SPOT LOCATES ITS EXISTING UNDERGROUND FACILITIES. CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL AT (800)822-2867 TO COORDINATE SUCH SPOT LOCATIONS NO LATER THAN 48 HOURS PRIOR TO INITIATING ANY WORK.
43. ALL MATERIAL QUALITY TESTS SHALL BE PERFORMED BY A RECOGNIZED LABORATORY. SUCH LABORATORY SHALL BE OPERATED UNDER THE SUPERVISION/DIRECTION OF AN N.M.P.E. NAME AND CONTACT OF THE LABORATORY SHALL BE SUBMITTED BY THE CONTRACTOR TO THE OPR AS SOON AS PRACTICAL, AFTER THE CONTRACTOR'S RECEIPT OF THE NOTICE TO PROCEED.
44. IF PROVISIONS FOR A TESTING COST ALLOWANCE HAVE BEEN MADE IN THE CONSTRUCTION CONTRACT FOR TESTING SPECIFICALLY REQUIRED IN THESE ACD, OR REQUIRED BY THE OPR, THE CONTRACTOR SHALL SUBMIT TESTING LABORATORY INVOICES TO THE OPR FOR REIMBURSEMENT. TESTING FOR BELOW-STANDARD RESULTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO PAYMENT SHALL BE MADE FOR SUCH TESTING.
45. IF THE CONSTRUCTION CONTRACT DOES NOT HAVE A TESTING COST ALLOWANCE, THE COST OF ALL REQUIRED TESTING AND RE-TESTING FOR EITHER MATERIALS OR INSTALLATION REQUIREMENT COMPLIANCE SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT AND SHALL BE BORNE BY THE CONTRACTOR.
46. CONTRACTOR SHALL OBTAIN ONE SET OF BACKFILL DENSITY TESTS FOR THE FOLLOWING: EVERY 100 FEET FOR EVERY LIFT OR EVERY 15 FEET FOR EVERY LIFT OF BACKFILL. TESTS AND BENEATH ALL DROP INLET BARRIERS TEST RESULTS SHALL BE SUBMITTED BY THE LABORATORY DIRECTLY TO THE OPR. FIELD TEST RESULTS SHALL BE SUBMITTED TO THE OPR AT THE TIME OF FIELD TESTING.
47. CONTRACTOR SHALL SUBMIT TO THE OPR MATERIAL QUALITY TEST RESULTS TO THE OPR, AS WELL AS TO CERTIFICATES OF MATERIALS COMPLIANCE, NO LATER THAN 5 DAYS PRIOR TO INITIATING ANY WORK INVOLVING SUCH MATERIALS.
48. SUBGRADE, BASE MATERIAL, ASPHALT-TREATED BASE, AND ASPHALT SURFACE COURSE SHALL BE TESTED FOR COMPACTION EVERY 100 LINEAR FEET OF ROADWAY. IN ADDITION, ONE ASPHALT SAMPLE SHALL BE TAKEN FOR EVERY 500 TONS INSTALLED, OR ONCE A DAY, IF LESS THAN 500 TONS ARE USED. BAKERS SHALL BE TESTED AND THE RESULTS SENT BY THE LAB DIRECTLY TO THE OPR.
49. CONTRACTOR SHALL OBTAIN ONE SET OF BACKFILL DENSITY TESTS FOR THE FOLLOWING: EVERY 100 FEET FOR EVERY LIFT OR EVERY 15 FEET FOR EVERY LIFT IN THE GREATEST NUMBER OF TESTS WITHIN THE FOLLOWING: EVERY 100 FEET FOR EVERY LIFT OR EVERY 15 FEET FOR EVERY LIFT OF TRENCH BACKFILL, OR FOR EACH 500 CUBIC YARDS OF FILL OF SIMILAR MATERIAL APPLIED, OR FOR EACH DAY OF CONSTRUCTION WORK, WHICHEVER RESULTS IN THE GREATEST NUMBER OF TESTS. TEST RESULTS SHALL BE SUBMITTED BY THE LABORATORY DIRECTLY TO THE OPR. FIELD TEST RESULTS SHALL BE SUBMITTED TO THE OPR AT THE TIME OF FIELD TESTING.
50. FOR ALL PORTLAND CEMENT CONCRETE (PCC) ONE SAMPLE SET SHALL BE CONDUCTED FOR EACH 500 LINEAR FEET (E.G. CURB AND GUTTER), 30 CURB YARDS, GATE, OR ONE SET PER 1000 CUBIC YARDS OF CASTING, WHICHEVER IS MOST RESTRICTIVE IN THE OPINION OF THE OPR. PCC CYLINDERS SHALL BE TESTED AT 7, 28 AND 90-DAY INTERVALS. THE LATEST INTERVAL MAY BE WAIVED IF SPECIFIED STRENGTH HAS BEEN REACHED AS DEMONSTRATED BY AN EARLIER TEST. ALL TEST RESULTS SHALL BE SUBMITTED BY THE TESTING LABORATORY DIRECTLY TO THE OPR.
51. CONTRACTOR SHALL SUBMIT TO THE OPR ASTM OR AASHTO CERTIFICATES OF MATERIALS COMPLIANCE, NO LATER THAN 5 DAYS PRIOR TO INITIATING ANY WORK INVOLVING SUCH MATERIALS.
52. ALL DRAINAGE PIPELINES OR CULVERTS SPECIFIED IN THESE ACD AS CORRUGATED METAL PIPE OR "CM" SHALL HAVE A MINIMUM 18-INCH, AND MINIMUM 12-INCH BURY.
SITE GRADING
53. ALL CUT AND FILL SLOPE, INCLUDING SETBACK REQUIREMENTS, SHALL COMPLY WITH THESE ACD, APPLICABLE PROVISIONS OF THE COUNTY CODES, AND 2008 IBC SECTION 1804.3 FOR SITE GRADING. WHEN IN CONFLICT, PROVISIONS OF THE COUNTY CODE SHALL PREVAIL, AS DETERMINED BY THE OPR.
54. SLOPES SPECIFIED IN THESE ACD ARE EXPRESSED IN TERMS OF THE HORIZONTAL RUN VERSUS THE VERTICAL RISE OF THE GROUND'S SURFACE (H:V).
55. IF THE CONTRACTOR IS PROVIDED A PROJECT GEOTECHNICAL REPORT, THEN THE PROVISIONS OF THAT REPORT SHALL PREVAIL OVER THE FOLLOWING SPECIFICATIONS.
56. AFTER CLEARING, THE SOIL SHALL BE MOISTURE CONDITIONED AND DENIFIED AS NOTED BELOW PRIOR TO PLACEMENT OF BACKFILL OR CONSTRUCTION.
57. EXISTING NATIVE SOILS SHALL BE SCARIFIED TO A DEPTH OF AT LEAST 8-INCHES, MOISTURE CONDITIONED TO THE OPTIMUM MOISTURE CONTENT AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-1557. THE MOISTURE CONTENT OF THE NATIVE SOILS SHOULD BE AT OR ABOVE THE OPTIMUM MOISTURE CONTENT.
58. ALL STRUCTURAL FILL OR BACKFILL SHALL BE FREE OF VEGETATION AND DEBRIS AND CONTAIN NO ROCKS LARGER THAN 6-INCHES.
59. FILL OR BACKFILL SHALL BE PLACED IN 8-INCH LOOSE LIFTS IF COMPACTED WITH APPROVED EQUIPMENT AND 4-INCH LOOSE LIFTS IF HAND HELD COMPACTION EQUIPMENT IS USED. EACH LIFT SHOULD BE FIRM AND NON-YIELDING. ALL FILL OR BACKFILL SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AND WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT, AS DETERMINED IN ACCORDANCE WITH ASTM D-1557.
ROAD AND FILL MATERIAL SPECIFICATIONS
60. FILL MATERIAL SHALL MEET NM STANDARD SPECIFICATIONS FOR DIVISION 200.
61. SUBGRADE SHALL MEET GRADATION REQUIREMENTS SPECIFIED IN TABLE 204.2.11 NM STANDARD SPECIFICATIONS.
62. ASPHALT BASE COURSE SHALL MEET GRADATION REQUIREMENTS SPECIFIED FOR SP-1V IN TABLE 428.2.2, NM STANDARD SPECIFICATIONS. SUBGRADE BENEATH ASPHALT SHALL BE COMPACTED TO 98% AASHTO D-1557 MODIFIED MOISTURE DENSITY TEST.
63. ALL PORTLAND CEMENT CONCRETE (PCC) SPECIFIED IN THESE ACD SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI AT 7 DAYS, AND 4000 PSI AT 28 DAYS. IN ADDITION, CONCRETE SHALL HAVE 7-BAGS OF PORTLAND CEMENT PER CUBIC YARD OF CONCRETE (7-BAG MIX). FILL MAXIMUM 84-HIGH AGGREGATE SIZE WITH AIR ENTRAINMENT BETWEEN 4% AND 7% AT DELIVERY TIME.
64. CURB AND GUTTER SHALL BE PLACED IN 4-INCH LOOSE LIFTS, NOT DEVIATE FROM SPECIFIED ANY MORE THAN 1/8-INCH IN 10 FEET. INSIDE FACE OF CURB SHALL BE FINISHED TO WITHIN 1/2 INCH OF FINISH GRADE.
65. OPR SHALL VERIFY THAT ALL CURB AND GUTTER SHALL BE FINISHED TO WITHIN 1/2 INCH OF FINISH GRADE PRIOR TO FINAL ACCEPTANCE, OR DURING COUNTY INSPECTION, WHATEVER OCCURS FIRST. ANY AREAS THAT FAIL SUCH A TEST SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
PAVING
66. A COMPLETION LETTER, WRITTEN BY EACH UTILITY COMPANY WHOSE STRUCTURES/CONDUITS ARE AFFECTED DURING THE EXECUTION OF THE PROJECT, SHALL BE DELIVERED BY THE CONTRACTOR TO THE OPR BEFORE THE CONTRACTOR CAN REQUEST TO BEGIN PAVING. PAVING SHALL NOT BEGIN UNTIL ALL UTILITY COMPANIES HAVE PROVIDED WRITTEN AUTHORIZATION BY THE OPR.
67. CONTRACTOR SHALL VERIFY THAT ALL PAVING SHALL BE FINISHED TO WITHIN 1/2 INCH OF FINISH GRADE PRIOR TO FINAL ACCEPTANCE, OR DURING COUNTY INSPECTION, WHATEVER OCCURS FIRST. ANY AREAS THAT FAIL SUCH A TEST SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
WATER LINE WORK
68. CONTRACTOR SHALL NOTIFY THE COUNTY UTILITY DIVISION AT LEAST FIVE (5) DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT THE OPERATION OF THE COUNTY UTILITY WATER SYSTEMS.
69. EXISTING OTHER WATER MAINS IN THE ACD, ALL WATER SYSTEM ITEMS SHALL BE MADE OF OR BE FULLY COMPATIBLE WITH DUCTILE IRON OR 4-200 SCH 40 PVC. IF INSTALLED OVER EXISTING EXPOSED MECHANICAL OR MECHANICAL JOINTS OR THERMALLY FUSED JOINTS AS APPLICABLE, ENCAVATION SHALL ADEQUATELY ACCOMMODATE THE PIPE BELL ENDS.
70. ALL WATER VALVES SHALL BE FULL-PORT GATE TYPE, RESILIENT SEATING, MECHANICAL OR METAL/BRASS JOINTS, USE PIPERUNIT, OR CONSIDERED EQUAL BY THE OPR, AND INSTALLED IN COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS AND THESE ACD.
71. UNLESS OTHERWISE INDICATED ON THESE ACD, WATER SERVICE CONNECTIONS AND METERS SHALL BE ONE (1) INCH IN DIAMETER. INSTALLATION OF THE WATER METER ITSELF SHALL BE THE RESPONSIBILITY OF THE HOME BUILDER AND SHALL NOT BE PART OF THE SCOPE OF THIS PROJECT. CONTRACTOR MUST REQUEST INSTALLATION OF METER FROM THE COUNTY UTILITY DIVISION.
72. ALL FIRE HYDRANTS SHALL BE SUPPLIED WITH THE TYPE OF THREADED CONNECTIONS SPECIFIED BY THE COUNTY FIRE MARSHAL FOR THE PROJECT LOCATION. EACH INSTALLED HYDRANT SHALL HAVE A PAINTED NUMBER SUPPLIED BY THE FIRE MARSHAL. HYDRANTS SHALL HAVE A MINIMUM HORIZONTAL CLEARANCE OF 7-FOOT RADIUS AROUND THEM.
73. ALL WATER LINES SHALL BE INSTALLED IN EXCLUSIVE TRENCHES, WITH NO OTHER UTILITY LINES (INCLUDING NON-PUBLIC POTABLE WATER), AND AT LEAST 48 INCHES OF COMPACTED BACKFILL COVER.
74. NO WATER LINE SHALL BE INSTALLED BEFORE THE FINAL GRADE HAS BEEN ACHIEVED WITHIN THE DESIGNATED WATER UTILITY CORRIDOR.
75. LOCATE LINES MEETING COUNTY OF SANTA FE STANDARDS SHALL BE INSTALLED ALONG ALL NEW WATERLINES.
76. ALL UTILITY LINES SHALL BE BORED UNDER ANY EXISTING PCC FEATURES, AND A MINIMUM OF 12 INCHES OF SEPARATION SHALL BE MAINTAINED BETWEEN SUCH LINES. ANY DAMAGE ON EXISTING PCC FEATURES (E.G. EXISTING CURB AND GUTTER, SIDEWALK), RESULTING FROM CONSTRUCTION ACTIVITIES ON THIS PROJECT, SHALL BE REPAIRED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE, BEFORE FINAL ACCEPTANCE.
77. PARALLEL PUBLIC WATER AND SANITARY SEWER LINES SHALL HAVE A MINIMUM HORIZONTAL CLEARANCE (SEPARATION BETWEEN THEM) OF 10 FEET, PLUS A VERTICAL CLEARANCE OF 8 FEET, UNLESS OTHERWISE SPECIFIED. WATER LINES SHALL ALWAYS BE ABOVE THE SAN LINE. IN THE EVENT THAT UNANTICIPATED FIELD CONDITIONS REQUIRE CLEARANCE CHANGES, ANY CHANGES TO BE REVISSED, THE BOR SHALL FORWALDTE A PROPOSED CHANGE ORDER TO PROVIDE ALTERNATIVE PROTECTION FOR THE WATER LINE. NO WORK SHALL BE PERFORMED ON SUCH A CHANGE ORDER WITHOUT FINAL CONCURRENCE BY THE COUNTY UTILITY DIVISION.
78. BURIED VESSELS, SUCH AS WATER STORAGE TANKS OF ANY KIND, SHALL BE INSTALLED IN STRICT COMPLIANCE WITH RECOMMENDATIONS PUBLISHED BY THE VESSEL MANUFACTURER FOR THE SPECIFIC APPLICATION. AT THE VERY MINIMUM, ALL VESSELS SHALL BE BEDDED ON 24 INCHES OF 3/4 DIAMETER CRUSHED GRAVEL. FOR CYLINDRICAL TANKS, DEPTH OF GRAVEL, WILL REACH THE "8 O'CLOCK" AND "4 O'CLOCK" MARKS ON THE TANK. CLASSIFIED BACKFILL SHALL BE PLACED ABOVE THAT ELEVATION.
79. AT THE POINT OF CONNECTION BETWEEN BURIED VESSELS AND PIPES, FLEXIBLE COUPLINGS (METALLIC OR EQUAL) SHALL BE INSTALLED, UNLESS SPECIFICALLY REQUIRED OTHERWISE IN THESE ACD.
80. OVER-EXCAVATION OF TRENCHES SHALL NOT BE ACCEPTABLE, UNLESS THE OPR PROVIDES WRITTEN AUTHORIZATION FOR THE CONTRACTOR TO DO SO, TO ADDRESS PREVIOUSLY UNKNOWN SUBSOIL CONDITIONS WHICH WOULD BE UNSUITABLE FOR FOUNDATION OR PIPELINE BEDDING.
81. CONTRACTOR SHALL REBURY AND REPAIR AT THE CONTRACTOR'S EXPENSE, ANY ACCIDENTAL OVER-EXCAVATION PERFORMED BY CONTRACTOR'S CREWS, BY INSTALLING AND COMPACTING CLASSIFIED FILL IN COMPLIANCE WITH CLASS-D BEDDING OR BETTER.
82. CONTRACTOR SHALL REBURY AND REPAIR, AT THE CONTRACTOR'S EXPENSE, ANY ACCIDENTAL OVER-EXCAVATION PERFORMED BY CONTRACTOR'S CREWS, BY INSTALLING AND COMPACTING CLASSIFIED FILL IN COMPLIANCE WITH CLASS-D BEDDING OR BETTER.
83. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE DISINFECTION, CHLORINATION, CHLORINE RESIDUAL TESTING, AND LEAK INTENSITY (PRESSURE) TESTING OF ALL WATER PIPES INSTALLED, OR ANY EXISTING WATER LINES THAT MAY HAVE BEEN AFFECTED BY THE PROJECT'S CONSTRUCTION. OPR SHALL WITNESS ALL SUCH TESTS.
84. CONTRACTOR SHALL COORDINATE WITH THE OPR SO THAT THE OPR IS PRESENT FOR PRESSURE TESTING OF ALL PIPELINES.
85. UPON FINISHING APPLICATION OF THE FINISH GRADE MATERIAL, CONTRACTOR SHALL ADJUST, AS NECESSARY, THE FINAL ELEVATION OF ALL VALVE RISES TO SUCH FINISH GRADE.
SANITARY SEWER WORK
86. CONTRACTOR SHALL NOTIFY THE COUNTY UTILITY DIVISION AT LEAST FIVE (5) DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT THE OPERATION OF THE COUNTY UTILITY WASTEWATER SYSTEMS.
87. SANITARY SEWER (SANITARY) LINES SHALL BE PVC SDR 35 OR AS APPROVED EQUIVALENT BY THE EOR, INSTALLED ON CLASS D BEDDING OR BETTER, AND WITH MINIMUM 48 INCHES OF COMPACTED BACKFILL COVER (IE, 8-FOOT ABOVE THE PIPE).
88. SANITARY SEWER CONNECTIONS SHALL BE MADE OF FITTINGS, SUCH AS PIPE TEES, FITES, OR MECHANICALLY-STRAPPED SADDLE-TYPE FITTINGS AS APPROVED BY COUNTY UTILITY DIVISION.
89. UNLESS OTHERWISE SHOWN ON THESE ACD, ALL LOW-PRESSURE SEWER LINES (LPSAS) SHALL BE PVC SDR 21, OR EQUIVALENT HDPE PIPE, BORED UNDER A MINIMUM OF 42 INCHES OF COMPACTED BACKFILL.
90. SANITARY SEWER MANHOLES AND FLUSHING STATIONS SHALL BE MADE OF FACTORY-PRE-CAST REINFORCED CONCRETE PIPE SEGMENTS. UNLESS OTHERWISE SHOWN ON THESE ACD, TYPICAL MANHOLE SECTIONS ARE 4 FEET IN DIAMETER HOWEVER, LARGER SIZES MAY BE SPECIFIED IN THESE ACD. TOP AND BOTTOM SLABS MAY BE EITHER FACTORY-PRE-CAST OR CAST IN-SITU REINFORCED CONCRETE.
91. LOCATE LINES OR OTHER COUNTY APPROVED UNDERGROUND UTILITY MARKERS SHALL BE INSTALLED FOR ALL SEWERS (SAS AND LPSAS), SO THAT THESE ARE VISIBLE INSIDE ALL MANHOLES AND FLUSHING STATIONS. COMPLIANCE WITH THIS REQUIREMENT SHALL BE VERIFIED BY THE OPR PRIOR TO INSTALLING PAVEMENT.
92. ALL UTILITY LINES SHALL BE BORED UNDER ANY EXISTING PCC FEATURES, AND A MINIMUM OF 12 INCHES OF SEPARATION SHALL BE MAINTAINED BETWEEN SUCH LINES. ANY DAMAGE ON EXISTING PCC FEATURES (E.G. EXISTING CURB AND GUTTER, SIDEWALK), RESULTING FROM CONSTRUCTION ACTIVITIES ON THIS PROJECT, SHALL BE REPAIRED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE, BEFORE FINAL ACCEPTANCE.
93. SEWER LINES SHALL BE PLACED BELOW STORM SEWERS WHEN THESE CROSS, UNLESS OTHERWISE SHOWN IN THESE ACD OR APPROVED BY THE OPR. IN CONSULTATION WITH THE COUNTY UTILITY DIVISION, A MINIMUM VERTICAL CLEARANCE OF 12 INCHES SHALL BE PROVIDED BETWEEN THE TOP OF A SAN LINE AND THE BOTTOM OF A STORM SEWER LINE, UNLESS OTHERWISE APPROVED IN WRITING BY COUNTY UTILITY DIVISION.
94. LPSAS SERVICE CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH DETAILS SHOWN ON THESE ACD. WHEN SERVICE LPSAS LINE CONNECTS TO EXISTING SEWER LINE, THE CONNECTION SHALL BE MADE AT THE TEE, KITE OR SADDLE DISCONNECT ABOVE USING REDUCER AND ADAPTER AS APPROPRIATE. WHEN LPSAS SERVICE CONNECTS TO AN LPSAS MAIN, APPROPRIATE FITTINGS SUCH AS REDUCERS AND TEES SHALL BE USED. FITTINGS SHALL BE OF THE SAME PRESSURE RATING AS THE MAIN.
95. FOR LPSAS SERVICE CONNECTIONS SHOWN ON THESE ACD TO BE MADE DIRECTLY ONTO FLUSHING STATIONS, CONTRA FOLLOW THE SAME DETAIL USED FOR IN-LINE FLUSHING STATIONS, REPLACING THE RESPECTIVE SEWER MAIN BRANCH WITH SERVICE LINE DIAMETER.
96. ANY LPSAS BRIDER PUMP STATIONS SPECIFIED ON THESE ACD SHALL BE MANUFACTURED BY ENVIRONMENT-ONE CORP. SUBSTITUTIONS SHALL BE ALLOWED. HOWEVER, THE SUPPLY AND INSTALLATION OF BRIDER PUMPS BEYOND THE LPSAS-1 SHALL BE THE RESPONSIBILITY OF THE HOME BUILDER, AND SHALL NOT BE PART OF THIS PROJECT'S SCOPE.
97. BURIED VESSELS, SUCH AS WATER STORAGE TANKS OF ANY KIND, SHALL BE INSTALLED IN STRICT COMPLIANCE WITH RECOMMENDATIONS PUBLISHED BY THE VESSEL MANUFACTURER FOR THE SPECIFIC APPLICATION. AT THE VERY MINIMUM, ALL VESSELS SHALL BE BEDDED ON 24 INCHES OF 3/4 DIAMETER CRUSHED GRAVEL. FOR CYLINDRICAL TANKS, DEPTH OF GRAVEL, WILL REACH THE "8 O'CLOCK" AND "4 O'CLOCK" MARKS ON THE TANK. CLASSIFIED BACKFILL SHALL BE PLACED ABOVE THAT ELEVATION.
98. AT THE POINT OF CONNECTION BETWEEN BURIED VESSELS AND PIPES, FLEXIBLE COUPLINGS (METALLIC OR EQUAL) SHALL BE INSTALLED, UNLESS SPECIFICALLY REQUIRED OTHERWISE IN THESE ACD.
99. OVER-EXCAVATION OF TRENCHES SHALL NOT BE ACCEPTABLE, UNLESS THE OPR PROVIDES WRITTEN AUTHORIZATION FOR THE CONTRACTOR TO DO SO, TO ADDRESS PREVIOUSLY UNKNOWN SUBSOIL CONDITIONS WHICH WOULD BE UNSUITABLE FOR FOUNDATION OR PIPELINE BEDDING.
100. CONTRACTOR SHALL REBURY AND REPAIR, AT THE CONTRACTOR'S EXPENSE, ANY ACCIDENTAL OVER-EXCAVATION IN CONTRACTOR'S CREWS, BY INSTALLING AND COMPACTING CLASSIFIED FILL IN COMPLIANCE WITH CLASS-D BEDDING OR BETTER.
101. ALL GRAVITY SEWER LINE SEGMENTS BETWEEN MANHOLES, INCLUDING ANY SAS SERVICE LINES WITHIN THE SEWER UTILITY SHALL BE FLUSHED, TELEVIEWED AND PRESSURE-TESTED BY THE CONTRACTOR BEFORE THEIR INSTALLATION CAN BE DEEMED COMPLETE.
102. CONTRACTOR SHALL COORDINATE WITH THE OPR SO THAT THE OPR IS PRESENT FOR PRESSURE TESTING OF ALL PIPELINES UNDERGROUND VESSELS.
103. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PERFORMING OR COORDINATING PRESSURE TEST OF ALL GRAVITY LINES, AS WELL AS THEIR TELEVISION INSPECTION PRIOR TO INSTALLING PAVEMENT WITHIN THE SEWER LINE CORRIDOR. SEWER LINES SHALL BE TESTED IN DETAIL TO IDENTIFY ANY DEFICIENCIES AND CORRECT THEM AS NECESSARY. ALL VIDEO TAPE RECORDINGS SHALL BE PROVIDED TO THE OPR. LINES AND MANHOLES SHALL BE IDENTIFIED BY THE OPR PRIOR TO ACCEPTANCE OF THE STATIONING GIVEN IN THE ACD. VIDEO TAPES SHALL BE SUBMITTED TO THE OPR FOR REVIEW.
104. PRESSURE TESTING OF GRAVITY SAS SHALL BE PERFORMED BY PRESSURIZING THE LINES TO 8 PSI, AND VERIFYING NO OCCURS UPON HOLDING THE PRESSURE FOR A PERIOD OF ONE HOUR.
105. LOW PRESSURE SEWER LINES (LPSAS) SHALL NOT LOSE MORE THAN 6 PSI OF PRESSURE WHEN TESTED AT 120 PSI FOR ONE HOUR. ALL TEST REPORTS SHALL BE SUBMITTED TO THE OPR'S REVIEW PRIOR TO INSTALLING PAVEMENT.
106. UPON FINISHING APPLICATION OF THE FINISH GRADE MATERIAL, CONTRACTOR SHALL ADJUST, AS NECESSARY, THE FINAL ELEVATION OF ALL MANHOLE, FLUSHING STATIONS AND VALVE RISES TO SUCH FINISH GRADE.
DEVIATION UTILITIES
107. SHADING AND BEDDING MATERIAL SHALL BE TYPE IV, CLASS 1 FOR DIRECT-BURY-CABLE AND TYPE IV, CLASS 2 FOR CABLE-IN-CONDUIT INSTALLATION. TYPE III MATERIAL SHALL BE CONSIDERED SUITABLE FOR EITHER TYPE OF INSTALLATION.
108. IF TRENCH-RUN MATERIAL MEETS BACKFILL MATERIAL REQUIREMENTS, 3-INCH BEDDING MAY BE OMITTED, PROVIDED THE BOTTOM IS SMOOTH, FLAT, AND WITHOUT SURFACE IRREGULARITIES.
109. SEPARATION BETWEEN BURIED PUBLIC WATER AND SANITARY AND COMMERCIAL CABLES SHALL BE AT LEAST 12 INCHES.
110. MARKING TAPE SHALL BE PLACED A MINIMUM 12 INCHES ABOVE THE UPPER LEVEL OF UTILITIES AT THE CENTER OF THE BEDDING.
111. SLOPE 4:1 OR FLATTER SHALL BE TREATED WITH DRILL BEDDING, WHILE SLOPES STEEPER THAN 4:1 SHALL BE TREATED I BROADCAST OR HYDRO BEDDING AND SHALL INCLUDE HAND-RAKING OR CHAIN-HARROWING TO COVER SEED TO A DEPT BOTTOM IN A RATIONAL SURFACE AND SLOPES EXCEEDING 3:1 SHALL BE TREATED WITH A STEEP-SLOPE-BEDDING WITH BY THE US FOREST SERVICE STANDARDS.
112. ALL TOP SOIL WHICH MUST BE REMOVED OR DISTURBED DURING CONSTRUCTION SHALL BE SAVED AND STOCKPILED AT DESIGNATED BY THE OPR. ANY DISTURBED AREA TO BE SEEDING WHICH HAS LESS THAN 6 INCH TOTAL TOP SOIL DEPTH IS SUPPLEMENTED WITH STOCKPILED TOP SOIL.
113. THE SEED BED SHALL BE PREPARED TO A MINIMUM 4-INCH DEPTH, BY TILLING WITH A DISC, HARROW, OR CHISELING TO CONTACT WITH VEGETATION SHALL BE UNIFORM DURING THIS PREPARATION AND THE SOIL SHALL BE UNIFORMLY MOISTURE WITH BRACKLE FREE OF GLOBS. OTHER EXTRANEOUS MATERIALS 4 INCHES IN DIAMETER OR LARGER, THAT ARE WITH SEEDING EQUIPMENT AND GERMINATION.
114. SEED BED PREPARATION BY MECHANICAL MEANS WILL NOT BE REQUIRED ON SLOPES STEEPER THAN 5:1. IF, IN THE OPR SUCH AN OPERATION IS IMPRACTICAL OR UNSAFE, ALL TILLING SHALL BE PERFORMED ACROSS THE SLOPE WHEN PRACTICABLE AND PERFORMED IN TWO DIRECTIONS, WHICHEVER ONE PROVES TO BE MOST EFFECTIVE TO ADEQUATELY BREAK INTO ADJACENT AREAS. NO WORK SHALL BE PERFORMED WHEN THE SOIL MOISTURE CONTENT IS UNFAVORABLE, OR THE CONDITIONS ARE NOT SUITABLE FOR TILLING.
115. SEED SHALL BE UNIFORMLY APPLIED OVER THE AREA TO BE TREATED. THE CONTRACTOR'S EQUIPMENT SHALL NOT TR SEED AREAS. IF RAIN OR OTHER NATURAL PHENOMENA MAKE THE SOIL UNSUITABLE FOR SEEDING, THE CONTRACTOR SHALL RE-PREPARE THE SOIL AS DESCRIBED HEREIN, AT NO ADDITIONAL COST TO THE OWNER.
116. SEEDS SHALL BE DRILLED TO A MINIMUM OF ONE-HALF (1/2) INCHES, UNLESS OTHERWISE INDICATED ON THESE DRAWING OF BEDDING SHALL BE ACROSS THE SLOPES AND ON THE COUNTER, WHICHEVER POSSIBLE.
117. BROADCAST SEEDING SHALL ONLY BE PERFORMED IN SLOPES 4:1 OR STEEPER, OR IN AREAS INACCESSIBLE TO THE SEEDING EQUIPMENT. BROADCAST SEEDING SHALL BE PERFORMED WITH A ROTARY SPREADER OR A SEEDER BOX WITH SEAR FEED MECHANISM. SEEDING IS NOT PRACTICAL.
118. RICE HILLS OR OTHER FILLERS SHALL BE USED TO PREVENT UNEVEN SEPARATION OF LIGHTER SEED. SEED BED SHALL BE RAKED IMMEDIATELY FOLLOWING THE SEEDING OPERATION TO PROVIDE ONE-HALF INCH SOIL COVER OVER THE SEED.
119. MULCH (MIX OF STRAW OR HAY) SHALL BE PLACED OVER ALL RE-SEED AREAS, AND IT SHALL BE APPLIED TO PROTECT BETWEEN ONE AND ONE-HALF (1-1/2) INCHES TO TWO (2) INCHES. STRAW OR HAY WITH NOODUS SEEDS OR PLANTS, NOTICES FIBERED, OR IMPROPERLY CURED SHALL NOT BE ACCEPTABLE.
120. SEED MIX AND SEEDING RATE SHALL BE PLANTS OF THE SOUTHWEST DRYLAND BLEND AT A RATE OF 25 POUNDS PER ACRE.
121. NO SUBSOIL INVESTIGATION DATA HAS PROVIDED TO THE ENGINEER TO PREPARE THESE ACD, THE CONTRACTOR SHALL THE OPR ANY UNANTICIPATED CONDITION THAT IN THE OPINION OF THE CONTRACTOR, MAY SIGNIFICANTLY AFFECT THE COST. THE DESIGN ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE, CONSTRUCTION DELAY THAT OCCURS AS A RESULT OF UNANTICIPATED SUBSOIL CONDITIONS.
122. INFORMATION SHOWN ON THESE ACD REGARDING THE LOCATION OF EXISTING UNDERGROUND UTILITY LINES AND STRUCT PROVIDED BY THE RESPECTIVE UTILITY COMPANY, AND HAS NOT BEEN FURTHER VERIFIED IN THE FIELD. THE DESIGN ENGINEER SHALL TAKE ANY RESPONSIBILITY FOR ANY INFORMATION FOUND TO BE ERRONEOUS OR INCOMPLETE, NOR SHALL THE ENGINEER BE RESPONSIBLE FOR ANY DAMAGE, CONSTRUCTION DELAYS OR LOSSES THAT MAY RESULT FROM SUCH INFORMATION.
123. OWNERS OR THEIR AGENTS, INCLUDING THE DESIGN ENGINEER, BOR, AND OPR, SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGE RESULTING FROM CONTRACTOR'S FAILURE TO TIMELY NOTIFY, AND SUBSEQUENTLY FOLLOW THE BOR'S RECOMMENDATION TO REPAIR TO ANY APPARENT OR ACTUAL ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS FOUND IN THE DESIGN. DESIGN INTENT SHALL NOT BE HELD RESPONSIBLE OR LIABLE FOR LOSS OR DAMAGE RESULTING FROM THE CONTRACTOR'S FAILURE TO FOLLOW REQUIREMENTS, SPECIFICATIONS AND DESIGN INTENT OF THESE ACD.
124. THE ACD AND ALL ENGINEERING DESIGN ASSUMPTIONS AND CALCULATIONS ARE BASED ON DATA (E.G. SURVEY WORK) OBTAINED FROM THE AGENTS OF THE OWNERS. THEREFORE, THE DESIGN ENGINEER SHALL NOT BE HELD LIABLE OR RESPONSIBLE FOR ANY LOSS, DAMAGE, ERRORS AND OMISSIONS THAT MAY RESULT FROM HAVING RELIED AND APPLIED SUCH DATA IN THE PROJECT'S DESIGN.

48. IF PROVISIONS FOR A TESTING COST ALLOWANCE HAVE BEEN MADE IN THE CONSTRUCTION CONTRACT FOR TESTING SPECIFICALLY REQUIRED IN THESE ACD, OR REQUIRED BY THE OPR, THE CONTRACTOR SHALL SUBMIT TESTING LABORATORY INVOICES TO THE OPR FOR REIMBURSEMENT. TESTING FOR BELOW-STANDARD RESULTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO PAYMENT SHALL BE MADE FOR SUCH TESTING.
49. IF THE CONSTRUCTION CONTRACT DOES NOT HAVE A TESTING COST ALLOWANCE, THE COST OF ALL REQUIRED TESTING AND RE-TESTING FOR EITHER MATERIALS OR INSTALLATION REQUIREMENT COMPLIANCE SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT AND SHALL BE BORNE BY THE CONTRACTOR.
47. CONTRACTOR SHALL OBTAIN ONE SET OF BACKFILL DENSITY TESTS FOR THE FOLLOWING: EVERY 100 FEET FOR EVERY LIFT OR EVERY 15 FEET FOR EVERY LIFT OF BACKFILL. TESTS AND BENEATH ALL DROP INLET BARRIERS TEST RESULTS SHALL BE SUBMITTED BY THE LABORATORY DIRECTLY TO THE OPR. FIELD TEST RESULTS SHALL BE SUBMITTED TO THE OPR AT THE TIME OF FIELD TESTING.
48. CONTRACTOR SHALL SUBMIT TO THE OPR MATERIAL QUALITY TEST RESULTS TO THE OPR, AS WELL AS TO CERTIFICATES OF MATERIALS COMPLIANCE, NO LATER THAN 5 DAYS PRIOR TO INITIATING ANY WORK INVOLVING SUCH MATERIALS.
49. SUBGRADE, BASE MATERIAL, ASPHALT-TREATED BASE, AND ASPHALT SURFACE COURSE SHALL BE TESTED FOR COMPACTION EVERY 100 LINEAR FEET OF ROADWAY. IN ADDITION, ONE ASPHALT SAMPLE SHALL BE TAKEN FOR EVERY 500 TONS INSTALLED, OR ONCE A DAY, IF LESS THAN 500 TONS ARE USED. BAKERS SHALL BE TESTED AND THE RESULTS SENT BY THE LAB DIRECTLY TO THE OPR.
50. CONTRACTOR SHALL OBTAIN ONE SET OF BACKFILL DENSITY TESTS FOR THE FOLLOWING: EVERY 100 FEET FOR EVERY LIFT OR EVERY 15 FEET FOR EVERY LIFT IN THE GREATEST NUMBER OF TESTS WITHIN THE FOLLOWING: EVERY 100 FEET FOR EVERY LIFT OR EVERY 15 FEET FOR EVERY LIFT OF TRENCH BACKFILL, OR FOR EACH 500 CUBIC YARDS OF FILL OF SIMILAR MATERIAL APPLIED, OR FOR EACH DAY OF CONSTRUCTION WORK, WHICHEVER RESULTS IN THE GREATEST NUMBER OF TESTS. TEST RESULTS SHALL BE SUBMITTED BY THE LABORATORY DIRECTLY TO THE OPR. FIELD TEST RESULTS SHALL BE SUBMITTED TO THE OPR AT THE TIME OF FIELD TESTING.
51. FOR ALL PORTLAND CEMENT CONCRETE (PCC) ONE SAMPLE SET SHALL BE CONDUCTED FOR EACH 500 LINEAR FEET (E.G. CURB AND GUTTER), 30 CURB YARDS, GATE, OR ONE SET PER 1000 CUBIC YARDS OF CASTING, WHICHEVER IS MOST RESTRICTIVE IN THE OPINION OF THE OPR. PCC CYLINDERS SHALL BE TESTED AT 7, 28 AND 90-DAY INTERVALS. THE LATEST INTERVAL MAY BE WAIVED IF SPECIFIED STRENGTH HAS BEEN REACHED AS DEMONSTRATED BY AN EARLIER TEST. ALL TEST RESULTS SHALL BE SUBMITTED BY THE TESTING LABORATORY DIRECTLY TO THE OPR.
52. CONTRACTOR SHALL SUBMIT TO THE OPR ASTM OR AASHTO CERTIFICATES OF MATERIALS COMPLIANCE, NO LATER THAN 5 DAYS PRIOR TO INITIATING ANY WORK INVOLVING SUCH MATERIALS.
53. ALL DRAINAGE PIPELINES OR CULVERTS SPECIFIED IN THESE ACD AS CORRUGATED METAL PIPE OR "CM" SHALL HAVE A MINIMUM 18-INCH, AND MINIMUM 12-INCH BURY.
SITE GRADING
54. ALL CUT AND FILL SLOPE, INCLUDING SETBACK REQUIREMENTS, SHALL COMPLY WITH THESE ACD, APPLICABLE PROVISIONS OF THE COUNTY CODES, AND 2008 IBC SECTION 1804.3 FOR SITE GRADING. WHEN IN CONFLICT, PROVISIONS OF THE COUNTY CODE SHALL PREVAIL, AS DETERMINED BY THE OPR.
55. SLOPES SPECIFIED IN THESE ACD ARE EXPRESSED IN TERMS OF THE HORIZONTAL RUN VERSUS THE VERTICAL RISE OF THE GROUND'S SURFACE (H:V).
56. IF THE CONTRACTOR IS PROVIDED A PROJECT GEOTECHNICAL REPORT, THEN THE PROVISIONS OF THAT REPORT SHALL PREVAIL OVER THE FOLLOWING SPECIFICATIONS.
57. AFTER CLEARING, THE SOIL SHALL BE MOISTURE CONDITIONED AND DENIFIED AS NOTED BELOW PRIOR TO PLACEMENT OF BACKFILL OR CONSTRUCTION.
58. EXISTING NATIVE SOILS SHALL BE SCARIFIED TO A DEPTH OF AT LEAST 8-INCHES, MOISTURE CONDITIONED TO THE OPTIMUM MOISTURE CONTENT AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-1557. THE MOISTURE CONTENT OF THE NATIVE SOILS SHOULD BE AT OR ABOVE THE OPTIMUM MOISTURE CONTENT.
59. ALL STRUCTURAL FILL OR BACKFILL SHALL BE FREE OF VEGETATION AND DEBRIS AND CONTAIN NO ROCKS LARGER THAN 6-INCHES.
60. FILL OR BACKFILL SHALL BE PLACED IN 8-INCH LOOSE LIFTS IF COMPACTED WITH APPROVED EQUIPMENT AND 4-INCH LOOSE LIFTS IF HAND HELD COMPACTION EQUIPMENT IS USED. EACH LIFT SHOULD BE FIRM AND NON-YIELDING. ALL FILL OR BACKFILL SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AND WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT, AS DETERMINED IN ACCORDANCE WITH ASTM D-1557.
ROAD AND FILL MATERIAL SPECIFICATIONS
61. FILL MATERIAL SHALL MEET NM STANDARD SPECIFICATIONS FOR DIVISION 200.
62. SUBGRADE SHALL MEET GRADATION REQUIREMENTS SPECIFIED IN TABLE 204.2.11 NM STANDARD SPECIFICATIONS.
63. ASPHALT BASE COURSE SHALL MEET GRADATION REQUIREMENTS SPECIFIED FOR SP-1V IN TABLE 428.2.2, NM STANDARD SPECIFICATIONS. SUBGRADE BENEATH ASPHALT SHALL BE COMPACTED TO 98% AASHTO D-1557 MODIFIED MOISTURE DENSITY TEST.
64. ALL PORTLAND CEMENT CONCRETE (PCC) SPECIFIED IN THESE ACD SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI AT 7 DAYS, AND 4000 PSI AT 28 DAYS. IN ADDITION, CONCRETE SHALL HAVE 7-BAGS OF PORTLAND CEMENT PER CUBIC YARD OF CONCRETE (7-BAG MIX). FILL MAXIMUM 84-HIGH AGGREGATE SIZE WITH AIR ENTRAINMENT BETWEEN 4% AND 7% AT DELIVERY TIME.
65. CURB AND GUTTER SHALL BE PLACED IN 4-INCH LOOSE LIFTS, NOT DEVIATE FROM SPECIFIED ANY MORE THAN 1/8-INCH IN 10 FEET. INSIDE FACE OF CURB SHALL BE FINISHED TO WITHIN 1/2 INCH OF FINISH GRADE.
66. OPR SHALL VERIFY THAT ALL CURB AND GUTTER SHALL BE FINISHED TO WITHIN 1/2 INCH OF FINISH GRADE PRIOR TO FINAL ACCEPTANCE, OR DURING COUNTY INSPECTION, WHATEVER OCCURS FIRST. ANY AREAS THAT FAIL SUCH A TEST SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
PAVING
67. A COMPLETION LETTER, WRITTEN BY EACH UTILITY COMPANY WHOSE STRUCTURES/CONDUITS ARE AFFECTED DURING THE EXECUTION OF THE PROJECT, SHALL BE DELIVERED BY THE CONTRACTOR TO THE OPR BEFORE THE CONTRACTOR CAN REQUEST TO BEGIN PAVING. PAVING SHALL NOT BEGIN UNTIL ALL UTILITY COMPANIES HAVE PROVIDED WRITTEN AUTHORIZATION BY THE OPR.
68. CONTRACTOR SHALL VERIFY THAT ALL PAVING SHALL BE FINISHED TO WITHIN 1/2 INCH OF FINISH GRADE PRIOR TO FINAL ACCEPTANCE, OR DURING COUNTY INSPECTION, WHATEVER OCCURS FIRST. ANY AREAS THAT FAIL SUCH A TEST SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
WATER LINE WORK
69. CONTRACTOR SHALL NOTIFY THE COUNTY UTILITY DIVISION AT LEAST FIVE (5) DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT THE OPERATION OF THE COUNTY UTILITY WATER SYSTEMS.
70. EXISTING OTHER WATER MAINS IN THE ACD, ALL WATER SYSTEM ITEMS SHALL BE MADE OF OR BE FULLY COMPATIBLE WITH DUCTILE IRON OR 4-200 SCH 40 PVC. IF INSTALLED OVER EXISTING EXPOSED MECHANICAL OR MECHANICAL JOINTS OR THERMALLY FUSED JOINTS AS APPLICABLE, ENCAVATION SHALL ADEQUATELY ACCOMMODATE THE PIPE BELL ENDS.
71. ALL WATER VALVES SHALL BE FULL-PORT GATE TYPE, RESILIENT SEATING, MECHANICAL OR METAL/BRASS JOINTS, USE PIPERUNIT, OR CONSIDERED EQUAL BY THE OPR, AND INSTALLED IN COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS AND THESE ACD.
72. UNLESS OTHERWISE INDICATED ON THESE ACD, WATER SERVICE CONNECTIONS AND METERS SHALL BE ONE (1) INCH IN DIAMETER. INSTALLATION OF THE WATER METER ITSELF SHALL BE THE RESPONSIBILITY OF THE HOME BUILDER AND SHALL NOT BE PART OF THE SCOPE OF THIS PROJECT. CONTRACTOR MUST REQUEST INSTALLATION OF METER FROM THE COUNTY UTILITY DIVISION.
73. ALL FIRE HYDRANTS SHALL BE SUPPLIED WITH THE TYPE OF THREADED CONNECTIONS SPECIFIED BY THE COUNTY FIRE MARSHAL FOR THE PROJECT LOCATION. EACH INSTALLED HYDRANT SHALL HAVE A PAINTED NUMBER SUPPLIED BY THE FIRE MARSHAL. HYDRANTS SHALL HAVE A MINIMUM HORIZONTAL CLEARANCE OF 7-FOOT RADIUS AROUND THEM.
74. ALL WATER LINES SHALL BE INSTALLED IN EXCLUSIVE TRENCHES, WITH NO OTHER UTILITY LINES (INCLUDING NON-PUBLIC POTABLE WATER), AND AT LEAST 48 INCHES OF COMPACTED BACKFILL COVER.
75. NO WATER LINE SHALL BE INSTALLED BEFORE THE FINAL GRADE HAS BEEN ACHIEVED WITHIN THE DESIGNATED WATER UTILITY CORRIDOR.
76. LOCATE LINES MEETING COUNTY OF SANTA FE STANDARDS SHALL BE INSTALLED ALONG ALL NEW WATERLINES.
77. ALL UTILITY LINES SHALL BE BORED UNDER ANY EXISTING PCC FEATURES, AND A MINIMUM OF 12 INCHES OF SEPARATION SHALL BE MAINTAINED BETWEEN SUCH LINES. ANY DAMAGE ON EXISTING PCC FEATURES (E.G. EXISTING CURB AND GUTTER, SIDEWALK), RESULTING FROM CONSTRUCTION ACTIVITIES ON THIS PROJECT, SHALL BE REPAIRED BY THE CONTRACT

- ALL ROADWAY CONSTRUCTION AND RECONSTRUCTION SHALL COMPLY WITH THE NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2007 EDITION AND SUBSEQUENT REVISIONS.
- A TRAFFIC CONTROL PLAN STAMPED BY A PROFESSIONAL ENGINEER IS REQUIRED FOR ALL PROJECTS WITHIN SANTA FE COUNTY'S RIGHTS OF WAY.
- THE CONTRACTOR MUST ADHERE TO ALL REQUIREMENTS AS SET FORTH IN ORDINANCE 2003-1 EXCAVATION/RESTORATION ORDINANCE FOR ALL WORK IN SF COUNTY RIGHT OF WAY.
- THE CONTRACTOR SHALL PROVIDE ALL TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH N.M. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND ANY APPLICABLE SPECIAL PROVISION AND/OR SUPPLEMENTAL SPECIFICATION, AS WELL AS THE MOST CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, UNLESS OTHERWISE SPECIFIED HEREIN, ALL COSTS RELATED TO TRAFFIC CONTROL SHALL BE INCIDENTAL TO THE PROJECT.
- CONVALENT PIPE SPECIFIED AS COMPACTED METAL PIPE (CMP) SHALL BE 16-GAUGE MINIMUM AND STORM DRAIN MANHOLES SHALL HAVE STANDARD 30 COUNTY COVERS AND RINGS.
- CONTRACTOR SHALL NOT BEGIN ANY CONSTRUCTION ACTIVITY WITHOUT THE APPLICABLE PERMITS FROM THE COUNTY OF SANTA FE. A COPY OF THE APPROVED DRAWINGS SHALL ALWAYS BE AVAILABLE AT THE CONSTRUCTION SITE DURING BUSINESS HOURS AND ORGANIZED BY THE PROJECT ENGINEER.
- A SANTA FE COUNTY INITIATED PRECONSTRUCTION CONFERENCE SHALL BE CONDUCTED IN THE PRESENCE OF THE PROJECT ENGINEER AND/OR THE OWNER'S PROJECT REPRESENTATIVE (OPR) PRIOR TO THE INITIATION OF ANY CONSTRUCTION ACTIVITY. IN ADDITION, THE CONTRACTOR SHALL NOTIFY THE COUNTY NO LESS THAN 24 HRS FROM THE BEGINNING OF ANY CONSTRUCTION WORK.
- THE OPR SHALL BE RESPONSIBLE FOR INITIATING ANY NECESSARY REVISIONS TO THE APPROVED DESIGN DRAWINGS, ALL APPROPRIATE DRAWINGS AND DESIGN CRITERIA TO SUPPORT SUCH CHANGES. ALL CHANGE-SUPPORTING DOCUMENTATION SHALL BE STAMPED BY A LICENSED ENGINEER IN NEW MEXICO, AND APPROVED BY SANTA FE COUNTY AS A CHANGE ORDER PRIOR TO EXECUTING ANY WORK.
- THE OWNER'S PROJECT REPRESENTATIVE (OPR) SHALL BE RESPONSIBLE FOR INITIATING ANY NECESSARY REVISIONS TO THE APPROVED DESIGN DRAWINGS.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A NEW MEXICO PROFESSIONAL SURVEYOR FOR VERIFICATION OF CRITICAL HORIZONTAL AND VERTICAL CONTROL AND THE CERTIFICATION OF RECORD DRAWINGS. CRITICAL ELEVATIONS OR HORIZONTAL CONTROL MAY BE IDENTIFIED IN THE DRAWINGS, OR MAY BE IDENTIFIED BY THE COUNTY OR OPR AT HIS/HER DISCRETION. THE CONTRACTOR SHALL MAINTAIN AT THE SITE A COPY OF ALL FIELD NOTES, TO BE MADE AVAILABLE FOR REVIEW BY THE COUNTY, OR OPR AT ANY TIME DURING THE EXECUTION OF THE PROJECT. THE UPDATING OF SUCH DRAWINGS AND FIELD NOTES SHALL BE DONE FREQUENTLY, NOT LESS THAN ONCE EVERY TWO WEEKS, PRIOR TO FINAL ACCEPTANCE OF THE PROJECT. CONTRACTOR SHALL SUBMIT TO THE OPR COMPLETE RECORD DRAWINGS, SHOWING ANY REVISED CRITICAL X,Y, AND Z DATA FOR PIPE INVERTS, MANHOLE RIMS, VALVE BOXES, SERVICE CONNECTIONS ETC. THESE DATA SHALL BE STAMPED BY A NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR, AND SUBMITTED TO THE COUNTY BY OPR IN PRELIMINARY FORM FOR REVIEW AND APPROVAL. ANY REVISIONS NECESSARY SHALL BE RE-SUBMITTED IN THE FINAL PROJECT CLOSEOUT SUBMITTAL PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
- IF EXISTING UTILITIES HAVE BEEN SHOWN ON THESE DRAWINGS THEY ARE FOR REFERENCE PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPOT-LOCATION OF ALL EXISTING UNDERGROUND UTILITIES BY THE APPROPRIATE UTILITY COMPANY. CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL AT (800)321-2537, TO COORDINATE SPOT LOCATION OF UNDERGROUND UTILITIES NO LESS THAN 2 DAYS PRIOR TO INITIATING ANY WORK.
- FOR ALL CONCRETE USED, THE DESIGN COMPRESSIVE STRENGTH AT 7 DAYS 1,500 PSI MINIMUM AND 4,000 PSI AT 28 DAYS. THE CONCRETE SHALL BE A 6 BAG MIX AND MAXIMUM 3/4 INCH AGGREGATE SIZE. AIR ENTRAINMENT SHALL BE BETWEEN 4 AND 7 PERCENT.
- THREE (3) CONCRETE CYLINDER SAMPLES SHALL BE TAKEN FOR EVERY 50 CUBIC YARDS OF CONCRETE INSTALLED, OR A MINIMUM OF ONE SAMPLE PER DAY, WHICHEVER IS GREATER. CONCRETE CYLINDERS SHALL BE TEST-BROKEN AT 7 DAY INTERVALS. TEST RESULTS SHALL BE SUBMITTED DIRECTLY TO THE OPR, AND TO THE COUNTY IN THE FINAL PROJECT CLOSEOUT SUBMITTAL, PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
- NOT LESS THAN 5 DAYS PRIOR TO INITIATING ANY WORK THE CONTRACTOR SHALL SUBMIT A DUST SUPPRESSION AND EROSION CONTROL PLAN FOR THE OPR'S APPROVAL. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN SUCH A MANNER THAT WILL HAVE NO ADVERSE EFFECT UPON ADJACENT PROPERTIES OR PUBLIC ROADWAYS.
- CLEARING SHALL BE KEPT TO A MINIMUM, AND STABILIZATION OF BARED SURFACES SHALL BEGIN PROMPTLY AFTER COMPLETION OF THE CONSTRUCTION ACTIVITIES, AND IN COMPLIANCE WITH EPA REQUIREMENTS IN THE PROJECT'S SWPPP.
- CONTRACTOR SHALL COMPLY ALL CONSTRUCTION OPERATIONS TO THE LIMITS OF THE PROJECT DEFINED IN THESE DRAWINGS, AND NO WORK SHALL BE PERFORMED ON ADJACENT PROPERTIES, UNLESS LEGAL EASEMENTS ARE PROVIDED. CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR ANY AGREEMENTS NEEDED, OR DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO PUBLIC OR PRIVATE PROPERTY, INCLUDING ROADS AND UTILITIES.
- OVER EXCAVATION OF ANY UTILITY TRENCHES SHALL NOT BE PERMITTED, UNLESS IT IS DETERMINED, TO THE SATISFACTION OF THE DESIGN ENGINEER, THAT THE SUBSOIL IS NOT SUITABLE FOR PIPE BEDDING AND MUST BE REPLACED WITH IMPORTED FILL OVER-EXCAVATION PERFORMED UNNECESSARILY BY THE CONTRACTOR SHALL BE REMEDIATED WITH CLASSIFIED FILL AND COMPACTION AS REQUIRED FOR CLASS-D BEDDING OR BETTER, AT THE CONTRACTOR'S EXPENSE.
- ONE SET OF BACKFILL DENSITY TESTS SHALL BE PERFORMED FOR EVERY 12 INCH LIFT FOR EACH 100 LINEAR FEET OF PIPELINE, OR FOR ANY STRUCTURE THAT REQUIRES COMPACTION FOUNDATION OR CONTROLLED BACKFILL. FOR PIPELINES OR UTILITIES IN ROADWAYS THE TESTING INTERVAL SHALL BE FOR EACH 100 LINEAR FEET.
- SUBGRADE, BASE MATERIAL, ASPHALT-TREATED BASE, AND ASPHALT SURFACE COURSE (MARSHALL) SHALL BE TESTED FOR COMPACTION EVERY 100 LINEAR FEET. ONE ASPHALT SAMPLE SHALL BE TAKEN FOR EVERY 500 TONS INSTALLED, OR ONE A DAY, WHICHEVER IS LESS. SAMPLES SHALL BE TESTED AND THE RESULTS SENT TO THE OPR.
- BASECOURSE SHALL BE COMPACTION TO NO LESS THAN 95% OF MAXIMUM DENSITY USING AASHTO, T-99 MODIFIED MOISTURE DENSITY TEST. BASECOURSE SHALL MEET GRADATION REQUIREMENTS SPECIFIED IN TABLE 421 CLASS B, MHSHTD, "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".
- CONTRACTOR SHALL SUBMIT ASTM OR AASHTO CERTIFICATES OF MATERIALS' COMPLIANCE TO THE OWNER'S PROJECT REPRESENTATIVE, BUT NO LESS THAN 5 DAYS PRIOR TO INITIATING ANY WORK INVOLVING SUCH MATERIALS. OPR SHALL SUBMIT THESE MATERIAL CERTIFICATES TO THE COUNTY IN THE FINAL PROJECT CLOSEOUT SUBMITTAL, PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
- CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT HORIZONTAL AND VERTICAL CONTROL SURVEY MONUMENTS (MARKS) FROM DAMAGE DURING CONSTRUCTION. IF DURING THE EXECUTION OF THE PROJECT, THE CONTRACTOR'S ACTIVITIES DISTURB OR DESTROY SUCH MARKS, A NEW MEXICO LICENSED SURVEYOR HIRED BY THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE, SHALL RE-ESTABLISH THE MARKS IN ACCORDANCE WITH THE STANDARDS AND PROCEDURES SET FORTH BY THE "GEODETTIC MARK PRESERVATION GUIDEBOOK", FOR MORE INFORMATION CONTACT NGS-MARK PRESERVATION CENTER, NOAA (505)760-3606.
- CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING STRUCTURES FREE OF DUST AND/OR CONSTRUCTION DEBRIS AT ALL TIMES DURING THE EXECUTION OF THE PROJECT. ALL EXISTING AND NEW STRUCTURES SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE OF THE PROJECT. ALL COSTS RELATED TO THIS ITEM SHALL BE INCIDENTAL TO THE WORK AND NO EXTRA-PAYMENTS SHALL BE MADE TO THE CONTRACTOR.
- CONTRACTOR SHALL REPAIR ANY EXISTING STRUCTURE OR UTILITY CONDUIT, AND ITS UTILITY CORRIDOR/EASEMENT DAMAGED AS A RESULT OF THE EXECUTION OF THE PROJECT, AT NO ADDITIONAL COST TO SANTA FE COUNTY OR THE RESPECTIVE UTILITY. EXISTING ROADS ACCESS FOR ADJACENT PROPERTIES SHALL BE MAINTAINED UNDER ALL TYPICAL WEATHER CONDITIONS.
- ALL AREAS DISTURBED BY THE CONSTRUCTION ACTIVITIES OF THIS PROJECT SHALL BE RESTORED, RE-GRADED, PER THE RE-VEGETATION PLAN, OR IN A MANNER ACCEPTABLE TO SANTA FE COUNTY, AND IN COMPLIANCE WITH PROJECT'S SWPPP.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR EROSION CONTROL, INCIDENTAL TO THE CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL SUBMIT TO THE COUNTY A STORM WATER POLLUTION PREVENTION PLAN THAT WILL ADDRESS ALL CONSTRUCTION PHASES. THIS SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL CONSTRUCTION PERMIT (GCP) REQUIREMENTS FOR ALL CONSTRUCTION ACTIVITIES. IN ADDITION, THE CONTRACTOR SHALL PROCURE A STORM WATER POLLUTION PERMIT FROM USEPA, A MINIMUM OF 7 DAYS PRIOR TO INITIATING ANY SITE WORK.
- CONTRACTOR SHALL PROVIDE AN AREA TO STORE CONSTRUCTION DEBRIS WHERE IT WILL NOT BE A NUISANCE TO THE SURROUNDING NEIGHBORHOOD. ALL DEBRIS SHALL BE CONTAINED IN SUCH A MANNER THAT WILL PREVENT SCATTERING, AND BE IN COMPLIANCE WITH THE PROJECT'S SWPPP. ALL DEBRIS, INCLUDING TREES AND UNDERGROWTH SHALL BE DISPOSED OF PROPERLY WITHIN AN APPROVED LANDFILL, AND REMOVED FROM THE SITE PRIOR TO FINAL INSPECTION.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PROTECTION OF THE WORK MATERIALS AND EQUIPMENT PRIOR TO AND AFTER THEIR INSTALLATION AS APPLICABLE, UNTIL THE PROJECT'S FINAL ACCEPTANCE BY SANTA FE COUNTY.
- THE MAXIMUM DEVIATION OF THE TOP OF SURFACE AT THE CURB AND GUTTER SHALL NOT EXCEED 1/8 INCH IN 10 FEET. WORK SHALL BE INSIDE FACE OF CURB OR GUTTER MORE THAN 1/4 INCH IN 10 FEET FROM A STRAIGHT LINE, PRIOR OR DURING THE COUNTY'S FINAL INSPECTION. ALL CURB AND GUTTER SHALL BE TESTED FOR POSITIVE WATER FLOW. ANY AREAS THAT FAIL THIS TEST SHALL BE REJECTED.
- UTILITY LINES SHALL BE BORED UNDER ALL EXISTING STREETS, CONCRETE FEATURES, AND A MINIMUM 12-INCH SEPARATION SHALL BE MAINTAINED BETWEEN LINES. ALL CURBS, GUTTERS, ASPHALT DAMAGE IN COUNTY RIGHT OF WAY RESULTING FROM ANY CONSTRUCTION ACTIVITY SHALL BE REPAIRED BEFORE FINAL INSPECTION AT THE CONTRACTOR'S EXPENSE.
- BEFORE PAVEMENT IS INSTALLED THE SANITARY SEWER TV INSPECTION SHALL OCCUR. A COMPLETION LETTER FROM EACH UTILITY COMPANY SHALL BE SUBMITTED TO THE COUNTY UTILITIES DEPARTMENT.
- NO ALTERATION OR MODIFICATION TO ANY DRAINAGE WAY OR ARROYO SHALL BE PERMITTED WITHOUT FIRST OBTAINING A WRITTEN APPROVAL FROM THE COUNTY FLOOD PLAN ADMINISTRATOR.
- THE DESIGN ENGINEER AND SANTA FE COUNTY WAIVE ANY AND ALL RESPONSIBILITY AND IS NOT LIABLE FOR PROBLEMS THAT MAY ARISE FROM THE CONTRACTOR'S FAILURE TO FOLLOW THESE DRAWINGS. SPECIFICATIONS, THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS ARISING FROM FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S WRITTEN RESPONSE TO REQUESTS FOR INFORMATION OR CLARIFICATION WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS.
- ALL ACCESS PERMITS ARE TO BE OBTAINED FROM THE SANTA FE COUNTY LAND USE DEPARTMENT. SUCH PERMITS SHALL BE REQUESTED FOR ALL CURB CUTS OR DRIVEWAYS TO BE BUILT IN COUNTY RIGHTS OF WAY. DRIVEWAYS SHALL NOT BE INSTALLED PRIOR TO COUNTY'S APPROVAL OF SITE SPECIFIC PLANS AND THE CONTRACTOR HAS PROCURED A PERMIT FROM THE COUNTY PUBLIC WORKS DEPARTMENT.

WATERLINE CONSTRUCTION

- ALL WATER LINE AND FITTING MATERIALS AND THEIR INSTALLATION SHALL COMPLY WITH THE AMERICAN WATERWORKS ASSOCIATION (AWWA) STANDARDS, THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (NMAPWA) 2006 EDITION, OR SUBSEQUENT REVISIONS, AND THE SANTA FE COUNTY UTILITY DEPARTMENT'S CONSTRUCTION STANDARD AND SPECIFICATIONS MANUAL, UNLESS OTHERWISE INDICATED ON THESE DRAWINGS. WHEN CONFLICT ARISES AMONG THESE, THE LATTER SHALL PREVAIL.

- LOCATION OF LINES AND FITTINGS SHALL BE IN ACCORDANCE WITH THE DETAILS SHOWN ON THESE DRAWINGS.
 - UNLESS OTHERWISE INDICATED ON THESE DRAWINGS, PIPELINES AND ALL APPURTENANT FITTINGS SHALL BE DUCTILE IRON, PVC C-900, WITH CLASS-D BEDDING OR BETTER, MECHANICAL OR MEGALUG (R) JOINTS, OR THERMAL FUSION JOINTS RESPECTIVELY. EXCAVATION SHALL BE PROPERLY MADE TO ACCOMMODATE THE PIPE'S BELL ENDS AS NECESSARY. WATERLINES SHALL BE 6" DIAMETER OR LARGER.
 - ALL WATER LINES SHALL BE INSTALLED IN THEIR OWN TRENCH, WITH NO OTHER UTILITIES IN THE TRENCH, BURIED UNDER A MINIMUM 48 INCHES OF COMPACTED BACKFILL.
 - WHEN CROSSING, WATER LINES SHALL ALWAYS BE ABOVE SEWER LINES, AND A MINIMUM 24-INCH CLEARANCE SHALL BE ALLOWED BETWEEN THE BOTTOM OF THE WATER LINE AND THE TOP OF ANY SANITARY SEWER, UNLESS SPECIAL CROSSING PROVISIONS ARE SHOWN ON THESE DRAWINGS.
 - TYPICAL HORIZONTAL SEPARATION BETWEEN WATER LINES AND ANY SANITARY SEWER LINE SHALL BE MINIMUM 10 FEET, AND SEPARATE TRENCHES SHALL BE EXCAVATED IN ALL CASES.
 - CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DISINFECTION AND PRESSURE TESTING OF ALL NEW WATER LINES, IN ACCORDANCE WITH AWWA STANDARDS. COUNTY UTILITY PERSONNEL SHALL BE PRESENT DURING SUCH TESTING, AND AN INSPECTION REPORT SHALL BE SUBMITTED BY THE CONTRACTOR TO THE COUNTY UTILITIES PRIOR TO FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE COUNTY STAFF FOR THEIR PRESENCE DURING FIELD TESTING OF LINES. BACTERIA TEST RESULTS OVER 30 DAYS OLD, BY THE COMPLETION OF THE PROJECT SHALL BE RETESTED AT NO ADDITIONAL EXPENSE TO THE OWNER.
 - ALL VALVES 6" DIAMETER OR SMALLER SHALL BE FULL-PORT GATE TYPE, RESILIENT SEATING, MECHANICAL OR MEGALUG (R) JOINTS, PIPE, AND INSTALLED IN COMPLIANCE WITH THE COUNTY WATER SYSTEM DETAILS.
 - UPON COMPLETION ONE VALVE SHALL BE TIED TO ONE OR MORE OF THE SANTA FE COUNTY'S PERMANENT SURVEY MONUMENTS, (OR OTHER VISIBLE WATER FEATURES OR FIXTURES) SUCH AS FIRE HYDRANTS AND WATER METERS WITH DISTANCES BETWEEN ALL FITTINGS AND APPURTENANCES PROVIDED AS REQUIRED IN THE UTILITY DEPARTMENTS CONSTRUCTION STANDARDS AND SPECIFICATIONS MANUAL. THE WORK SHALL BE PERFORMED BY A REGISTERED NEW MEXICO LICENSED SURVEYOR, OR ENGINEER WITH INFORMATION PROVIDED BY THE CONTRACTOR.
 - ALL FIRE HYDRANTS SHALL BE SUPPLIED WITH NFP CONNECTORS, AND NUMBERED (NUMBER SUPPLIED BY THE COUNTY FIRE DEPARTMENT). HYDRANTS SHALL BE INSTALLED TO ALLOW A MINIMUM HORIZONTAL CLEARANCE OF 3-FEET ALL AROUND THEM.
 - WATER SERVICE CONNECTIONS AND METERS SHALL BE 1/2 INCH MINIMUM DIAMETER FOR LOTS THAT WILL BE THE SITE FOR RESIDENTIAL BUILDINGS EQUIPPED WITH FIRE SUPPRESSION SYSTEMS. OTHERWISE, CONNECTIONS AND METERS SHALL BE STANDARD 1/2 INCH DIAMETER. METER SETTINGS SHALL BE PER STANDARD REQUIRED IN SANTA FE COUNTY UTILITY DEPARTMENT'S CONSTRUCTION STANDARDS AND SPECIFICATIONS MANUAL. METERS SHALL BE NEPTUNE T-10 WITH E-CODE, R-9001 REGISTER AND RADIO TRANSMITTER.
 - LOCATE WIRES SHALL BE INSTALLED ON ALL WATER LINES. THE LOCATE WIRE MUST BE VISIBLE IN ALL VALVE VAULTS, MANHOLES OR OTHER ACCESS STRUCTURES. THIS WILL BE VERIFIED DURING THE PRELIMINARY INSPECTION PRIOR TO PAVING. THE LOCATE WIRE SHALL BE A CONTINUOUS, 12 GAUGE, SOLID STRAND INSULATED COPPER WIRE. SPLICES OF THE LOCATE WIRE SHALL FOLLOW THE SPECIFICATIONS IN THE SANTA FE COUNTY UTILITY DEPARTMENT'S CONSTRUCTION STANDARDS AND SPECIFICATIONS MANUAL.
 - BLUE CARSONITE MARKERS WITH SFCU LD. STICKERS ARE REQUIRED ON ALL VALVES AND APPURTENANCES, AND EVERY 300 FEET ALONG PIPELINES THAT ARE NOT IN ROADWAY.
- SANITARY SEWER LINE CONSTRUCTION**
- ALL SANITARY SEWER LINE INSTALLATION SHALL BE IN COMPLIANCE WITH THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (NMAPWA), 2006 EDITION, SUBSEQUENT REVISIONS AND THE SANTA FE COUNTY UTILITIES WASTEWATER STANDARD DETAILS AND REQUIREMENTS, UNLESS OTHERWISE SPECIFIED ON THESE DRAWINGS.
 - PUBLIC SANITARY SEWER LINES SHALL BE A MINIMUM 8-INCH DIAMETER, PVC SDR 35, OR GRAY HDPE DR 33.5, WITH CLASS D BEDDING OR BETTER; UNLESS OTHERWISE SHOWN ON THESE DRAWINGS. SEWER SERVICE CONNECTIONS SHALL BE OF CAST IRON TAPPING SADDLE WITH STAINLESS STEEL TENSION STRAP TYPE, OR APPROVED EQUIVALENT BY ENGINEER.
 - SANITARY SEWER MANHOLES SHALL HAVE STANDARD SF COUNTY COVERS AND RINGS.
 - CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PRESSURE TESTING IN ACCORDANCE WITH AWWA STANDARDS, AND TELEVISION INSPECTION OF ALL SEWER LINES, PRIOR TO PAVING OF THE ROADS UNDER WHICH SEWER LINES HAVE BEEN INSTALLED. COUNTY UTILITY PERSONNEL SHALL BE PRESENT DURING SUCH TESTING, AND AN INSPECTION REPORT SHALL BE SUBMITTED BY THE CONTRACTOR TO THE COUNTY UTILITIES DEPARTMENT PRIOR TO FINAL ACCEPTANCE OF THE PROJECT. SANTA FE COUNTY SHALL REVIEW THE TAPES AND TESTS IN DETAIL TO IDENTIFY ANY DEFICIENCIES AND THE CONTRACTOR SHALL CORRECT THEM AS NECESSARY. ALL VIDEO TAPES AND TESTS SHALL BE PREPARED IN A RATIONAL SEQUENCE AND PROPERLY LABELLED LINES AND MANHOLES SHALL BE IDENTIFIED BY THE NAMES AND STATIONING GIVEN IN THE DESIGN DRAWINGS. VIDEO TAPES SHALL THEN BE TURNED INTO THE COUNTY FOR REVIEW PRIOR TO ACCEPTANCE OF THE SEWER LINES, AND PRIOR TO PAVING.
 - LOW PRESSURE SEWER LINES SHALL NOT LOSE ANY MORE THAN 5 PSI WHEN PRESSURIZED TO 120 PSI FOR A MINIMUM OF ONE HOUR, AN INSPECTION REPORT SHALL BE SUBMITTED TO THE OPR PRIOR TO PAVING OF THE ROADS UNDER WHICH THESE LINES HAVE BEEN INSTALLED.
 - UPON COMPLETION, ONE MANHOLE SHALL BE TIED TO ONE OR MORE OF THE SANTA FE COUNTY'S PERMANENT SURVEY MONUMENTS AND SUBMITTED IN A TABLE AS PART OF THE AS-BUILT RECORD DRAWINGS PRIOR TO FINAL ACCEPTANCE OF THE PROJECT. (OR OTHER VISIBLE PERMANENT FEATURES OR FIXTURES), (OR ADDITION GREEN CARSONITE MARKERS WITH SFCU LD. STICKERS) ARE REQUIRED ON ALL MANHOLES AND APPURTENANCES, AND EVERY 300 FEET ALONG PIPELINES THAT ARE NOT IN A ROADWAY). AS PART OF THE FINAL RECORD DRAWINGS, SHOW CORRECTED AS-BUILT BEARING AND DISTANCES BETWEEN MANHOLES ALONG THE HORIZONTAL ALIGNMENT OF THE SANITARY SEWER INCLUDING CORRECTED RIM AND INVERT ELEVATIONS AND PIPE SLOPE. THE WORK SHALL BE PERFORMED BY A NEW MEXICO LICENSED SURVEYOR.
 - WHENEVER SHOWN, LOW PRESSURE SANITARY SEWER (LPSAS) LINES SHALL BE PVC SDR 21 OR EQUIVALENT, INSTALLED UNDER A MINIMUM 48-INCH COVER. HIGHER PRESSURE LINES OR FORCE MAINS SHALL BE PVC C-900 CLASS 100 WPR, UNLESS OTHERWISE SPECIFIED IN THESE DRAWINGS.
 - WHERE EVER DRAWINGS SHOW A LOW PRESSURE LINE AT A FLUSHING STATION, CONTRACTOR SHALL REFER TO THE MULTILINE FLUSHING STATION DETAIL.
 - LOCATE WIRES SHALL BE INSTALLED FOR ALL SANITARY SEWER LINES (GRAVITY AND LOW PRESSURE). THE LOCATE WIRE MUST BE VISIBLE IN ALL MANHOLES OR ACCESS STRUCTURE. THIS WILL BE VERIFIED DURING THE PRELIMINARY MANHOLE INSPECTION PRIOR TO PAVING. THE LOCATE WIRE SHALL BE A CONTINUOUS, 12 GAUGE, SOLID STRAND INSULATED COPPER WIRE. SPLICES OF THE LOCATE WIRE SHALL FOLLOW THE SPECIFICATIONS IN THE SANTA FE COUNTY UTILITY DEPARTMENTS CONSTRUCTION STANDARDS AND SPECIFICATIONS MANUAL.
 - ALL MANHOLES AND FLUSHING STATIONS SHALL BE MADE A MINIMUM OF 4-FOOT PRE-CAST CONCRETE CYLINDER PIPE SEGMENTS, UNLESS OTHERWISE INDICATED IN THESE DRAWINGS. BOTTOM AND TOP SLABS MAY BE EITHER PRE-CAST OR CAST IN PLACE CONCRETE.
 - A MINIMUM OF ONE FOOT CLEARANCE SHALL BE ALLOWED BETWEEN THE TOP OF A SANITARY SEWER LINE AND THE BOTTOM OF ANY STORM SEWER PIPE OR STRUCTURE.
 - GRINDER PUMPS FOR LOW PRESSURE SEWER SERVICES SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNER/USER, AND SHALL BE MANUFACTURED BY ENVIRONMENT ONE (E), NO SUBSTITUTIONS SHALL BE ALLOWED.
 - ALL SANITARY SEWER LINES SHALL BE INSTALLED IN THEIR OWN TRENCH, WITH NO OTHER UTILITIES TO SHARE THIS TRENCH, BURIED UNDER A MINIMUM 48 INCHES OF COMPACTED BACKFILL.
 - EXISTING SANITARY SEWER LINES MUST BE T.V. INSPECTED PRIOR TO A NEW SERVICE CONNECTION BEING PLACED AS WELL AS TAPED AFTER THE SERVICES HAVE BEEN COMPLETED. THIS IS TO ENSURE THAT THE EXISTING SANITARY SEWER LINE HAS NOT BEEN DAMAGED AND THE NEW SERVICE IS INSTALLED CORRECTLY.
 - GRAVITY SEWER LINE TESTING, UNLESS OTHERWISE SHOWN ON THE DRAWINGS OR SPECIFICALLY DELETED BY THE ENGINEER, IN WRITING, SHALL BE TESTED FOR LEAKAGE. PLEASE REFER TO SPECIFICATIONS (SECTION 904.7).
 - NO DISCHARGE INTO THE SANITARY SEWER SHALL BE ALLOWED UNTIL WRITTEN NOTIFICATION BY THE COUNTY UTILITIES DEPARTMENT THAT DISCHARGE IS ACCEPTABLE.
 - THE OWNER/DEVELOPER WILL BE RESPONSIBLE FOR MAINTAINING REPAIRING AND LOCATING THE SEWER SYSTEM UNTIL COUNTY ACCEPTANCE. FOR PERMANENT OPERATIONS AND MAINTENANCE, DAMAGE RESULTING FROM A STOPPAGE IN ANY GRAVITY AND/OR PRESSURE SEWER SYSTEM WILL BE THE SOLE RESPONSIBILITY OF THE OWNER/DEVELOPER UNTIL A FINAL ACCEPTANCE LETTER FOR PERMANENT OPERATIONS AND MAINTENANCE HAS BEEN ISSUED BY SANTA FE COUNTY UTILITY.
 - ADDITIONAL GENERAL NOTES ARE CONTAINED IN THE STANDARD COUNTY DETAIL SHEETS FOR SANITARY SEWER CONSTRUCTION.
 - WATER METERS WILL NOT BE PLACED UNTIL A FINAL ACCEPTANCE LETTER HAS BEEN ISSUED FOR ALL SANITARY SEWER NEEDED IN ORDER FOR THIS PROJECT TO CONNECT TO THE SANITARY SEWER SYSTEM.
 - SEWER BACKFLOW CHECK VALVES WILL BE REQUIRED FOR ALL SEWER SERVICE LATERAL CONNECTIONS TO SEWER MAINS 12" OR GREATER IN DIAMETER, OR WHEN A FACILITY OR RESIDENCE IS LOWER THAN THE NEAREST MANHOLES OR ROAD.
 - 20 FOOT WIDE ACCESS GATES SHALL BE PROVIDED AT ALL FENCES, WALLS OR OTHER OBSTRUCTIONS THAT CROSS A PUBLIC SEWER LINE. ACCESS GATES TO BE LOCATED WITHIN THE SANITARY SEWER OR UTILITY EASEMENT.

RECLAIMED WATER/EFFLUENT IRRIGATION LINES

- WHERE INSTALLED ALL RECLAIMED WATER LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THE APPLICABLE AWWA STANDARDS, OR THE RECOMMENDATION OF THE PIPE MANUFACTURER, SHOULD THERE BE ANY CONFLICT AMONG THESE DOCUMENTS, THE LATTER SHALL PREVAIL.
- ALL PIPES, VALVES, AND FITTINGS SHALL BE COLOR-CODED PURPLE (ONE STRIPE PVC SDR 21 OR HDPE DR 17 WITH CHEMICALLY-FUSED JOINTS, WHERE NECESSARY, FLANGED OR MECHANICAL JOINTS, AND OR THRUST BOLCS SHALL BE INSTALLED IN ACCORDANCE WITH THESE DRAWINGS.
- ALL VALVES SHALL ALSO HAVE COLOR-CODED PURPLE HANDLES AND BE FULL-PORT BALL TYPE HOPE WITH THERMO-FUSED JOINTS, RANKER POLY-PIPE OAL, CAST IRON VALVE BOX LIDS SHALL BE ENGRAVED "NON-POTABLE".
- FLUSHING HYDRANTS AND FIRE HYDRANTS (GALVE BIBS CONNECTED TO RECLAIMED-WATER LINES SHALL ALSO BE PAINTED PURPLE AND BARE A SIGN PROMINENTLY PLACED NEXT TO THEM WITH THE FOLLOWING TEXT: "NON POTABLE WATER DO NOT DRINK/PELIGRO AGUA NO ES PARA BEBER".
- SERVICE CONNECTIONS SHALL BE 3/8 INCH, CONSISTENTLY COLOR CODED. THESE SHALL BE THERMO-FUSED WHEN INSTALLED ONTO HOPE PIPES. SERVICE CONNECTIONS ON PVC PIPE SHALL BE MADE WITH THE APPROPRIATE TEES, REDUCERS, VALVES, VALVE BOXES ETC. INDIVIDUAL SERVICE CONNECTIONS SHALL BE METERED. METERS SHALL BE NEPTUNE T-10, WITH E-CODE R-9001 REGISTER AND RADIO TRANSMITTER.
- RECLAIMED WATER/EFFLUENT IRRIGATION LINES SHALL NEVER BE CONNECTED TO THE POTABLE DOMESTIC SUPPLY SYSTEM.
- ALL RECLAIMED WATER LINES SHALL BE INSTALLED IN THEIR OWN TRENCH, WITH NO OTHER UTILITIES TO SHARE THIS TRENCH, BURIED UNDER MINIMUM 48 INCHES OF COMPACTED BACKFILL.
- LOCATE WIRES SHALL BE INSTALLED FOR ALL RECLAIMED WATER LINES. THE LOCATE WIRE MUST BE VISIBLE IN ALL MANHOLES OR ACCESS STRUCTURES. THIS WILL BE VERIFIED DURING THE PRELIMINARY INSPECTION PRIOR TO PAVING. THE LOCATE WIRE SHALL BE A CONTINUOUS, 12 GAUGE, SOLID STRAND INSULATED COPPER WIRE. SPLICES OF THE LOCATE WIRE SHALL FOLLOW THE SPECIFICATIONS IN THE SANTA FE COUNTY UTILITY DEPARTMENTS CONSTRUCTION STANDARDS AND SPECIFICATIONS MANUAL.

- PURPLE CARSONITE MARKERS WITH LD. STICKERS ARE REQUIRED ON ALL VALVES AND APPURTENANCES, AND EVERY 300 FEET ALONG PIPELINES THAT ARE NOT IN ROADWAY.

DRY UTILITIES

- SHADING AND BEDDING MATERIAL SHALL BE TYPE IV, CLASS 1 FOR DIRECT BURY CABLE, AND TYPE IV, CLASS 3 FOR CABLE IN CONDUIT. TYPE III MATERIAL SHALL BE CONSIDERED SUITABLE FOR EITHER TYPE OF INSTALLATION.
- IF TRENCH-NUM MATERIAL MEETS BACKFILL MATERIAL REQUIREMENTS, 3-INCH BEDDING MAY BE OMITTED, PROVIDED THAT THE TRENCH BOTTOM IS SMOOTH, FLAT, AND WITHOUT SURFACE IRREGULARITIES.
- SEPARATION BETWEEN JACKETED PRIMARY AND COMMUNICATION CABLES SHALL BE AT LEAST 12 INCHES.
- WARNING TAPE SHALL BE PLACED A MINIMUM 12 INCHES ABOVE THE UPPER LEVEL OF UTILITIES AT THE CENTER OF THE TRENCH.
- DRY UTILITY REQUIREMENTS SPECIFIED BY THE RESPECTIVE UTILITY SHALL BE FOLLOWED.

ENVIRONMENTAL EROSION AND SEDIMENT CONTROL REQUIREMENTS

- THE CONTRACTOR SHALL SUBMIT TO THE OWNER'S PROJECT REPRESENTATIVE A SWPP PLAN THAT COMPLIES WITH THE 2008 CONSTRUCTION GENERAL PERMIT AND SUBSEQUENT REVISIONS.
- AT A MINIMUM, ALL AREAS DENuded AND/OR DISTURBED BY CONSTRUCTION TRAFFIC SHALL BE SPRAYED WITH WATER ON A DAILY BASIS TO CONTROL DUST GENERATION. ADDITIONAL WATER SHALL BE APPLIED ON WINDY DAYS AS NEEDED, OR REQUIRED BY SANTA FE COUNTY.
- AS SOON AS FINAL GRADES ARE ACHIEVED, AND PROPER CLIMATIC CONDITIONS PREVAIL, NATIVE GRASS SEEDS SHALL BE APPLIED. CONTRACTOR SHALL PERFORM THIS ACTIVITY IN CONFORMANCE WITH THE APPROVED TERRAIN MANAGEMENT PLAN FOR SEED MIX DETAILS, AS WELL AS APPLICATION AND CARE METHODOLOGY.
- GRAVEL BAGS AND OTHER EPA APPROVED DEVICES SHALL BE INSTALLED AROUND DUMP INLET GRATES IMMEDIATELY AFTER THEIR INSTALLATION TO PREVENT SEDIMENT FROM ENTERING THE STORM WATER SYSTEM. SEDIMENT THAT WILL DEPOSIT AROUND GRAVEL BAGS AND OTHER EPA APPROVED DEVICES SHALL BE SWEEP AND REMOVED IMMEDIATELY UPON DEPOSITION.
- SILT FENCES OR WADDES MEETING EPA REQUIREMENTS FOR SEDIMENT CONTROL SHALL BE INSTALLED AT ALL SLOPES IN STRICT ACCORDANCE WITH SWPP PLAN.
- CONTRACTOR SHALL DISPOSE OF ITEMS DESIGNATED FOR REMOVAL WITHOUT SALVAGE, WHICH ARE UNSUITABLE FOR USE AS CONSTRUCTION MATERIALS IN THIS PROJECT. DISPOSAL SHALL BE PERFORMED IN AN ENVIRONMENTALLY SOUND SITE, SECURED BY THE CONTRACTOR IN CLOSE COORDINATION WITH THE APPROPRIATE REGULATORY AGENCIES. CONTRACTOR SHALL NOTIFY THE OPR, IN WRITING, OF ANY RELEVANT DETAILS IN CONNECTION WITH THE DISPOSAL OPERATIONS.
- BORROW MATERIAL, CONSTRUCTION WASTE, VEGETATIVE DEBRIS, ETC SHALL NOT BE PLACED IN WETLAND AREAS, OR ANY AREAS WHERE AN ENDANGERED SPECIES OR ARCHAEOLOGICAL RESOURCES MAY BE AFFECTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP SPILLS ASSOCIATED WITH THE PROJECT'S CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL REPORT AND PROPERLY RESPOND TO SPILLS OF HAZARDOUS MATERIALS SUCH AS GASOLINE, DIESEL, MOTOR OIL, SOLVENTS, TOXIC AND CORROSIVE SUBSTANCES, AND OTHER MATERIALS WHICH MAY REPRESENT A THREAT TO THE HEALTH AND WELFARE OF HIS WORKERS, THE GENERAL PUBLIC, OR THE ENVIRONMENT. CONTRACTOR SHALL REPORT EVIDENCE OF SOIL SPILLS ENCOUNTERED DURING CONSTRUCTION, OR PRESENT SPILLS NOT ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT. REPORTS SHALL BE MADE IMMEDIATELY TO THE OPR AND THE APPROPRIATE STATE AGENCY RESPONSIBLE FOR THE EMERGENCY RESPONSE. CLEAN UP OF ANY UNREPORTED SPILLS THAT MAY HAVE OCCURRED DURING THE CONSTRUCTION OF THIS PROJECT, IDENTIFIED AFTERWARDS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK PERFORMED IN THE VICINITY OF EXISTING STREAMS, WATER IMPOUNDMENTS, WETLANDS OR IRRIGATION WATER SOURCES SHALL BE PERFORMED IN SUCH A MANNER AS TO MINIMIZE VEGETATION DAMAGE OR REMOVAL, AS WELL AS ANY SOIL EROSION. CONSTRUCTION EQUIPMENT'S CROSSING OF EXISTING STREAMS, WHETHER THE STREAMS ARE EPHEMERAL OR PERENNIAL SHALL BE MINIMIZED, AND IN COMPLIANCE WITH USACE 404 OR OTHER FEDERAL PERMIT REQUIREMENTS.
- RE-FUELING OPERATIONS AND CONCRETE DUMPING IN THE VICINITY OF ANY BODY OF WATER SHALL BE STRICTLY PROHIBITED.

TERRAIN MANAGEMENT AND REVEGETATION WORK

- ALL AREAS DISTURBED BY THE CONSTRUCTION ACTIVITIES OF THIS PROJECT, INCLUDING ANY TEMPORARY ACCESS ROAD, SHALL BE RE-GRADED TO THEIR ORIGINAL CONTOURS, AND RE-SEEDED IN ACCORDANCE WITH THE FOLLOWING PLAN AFTER COMPLETION OF THE CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUCCESSFUL RECOVERY OF DISTURBED AREAS FOLLOWING RE-VEGETATION THROUGH THE FIRST GROWING SEASON AFTER COMPLETION OF THIS PROJECT. IN THE EVENT THAT THE REVEGETATION PLAN CANNOT BE ACCOMPLISHED BEFORE SEPTEMBER 1 DUE TO CONSTRUCTION DELAYS, AND DISTURBED SURFACES MUST REMAIN EXPOSED AFTER THIS DATE, THE CONTRACTOR SHALL INSTALL TEMPORARY PROTECTION SUCH AS A COVER CROP OR A MULCH TO PREVENT SOIL EROSION, AT NO ADDITIONAL COST TO THE OWNER. A TEMPORARY CONSTRUCTION FENCE SHALL BE MAINTAINED AROUND THE DISTURBED AREA UNTIL THE NEW VEGETATION IS ESTABLISHED.
- AREAS 4:1 OR FLATTER SHALL BE TREATED WITH DRILL SEEDING, WHILE SLOPES STEEPER THAN 4:1 SHALL BE TREATED WITH BROADCAST OR HYDRO SEEDING AND SHALL INCLUDE HAND-RAKING OR CHAIN-HARROWING TO COVER SEED TO A DEPTH OF 1/4-INCH TO 1/2-INCH. SLOPES EXCEEDING 5:1 SHALL BE TREATED, MEETING MMDOT CLASS D SPECIFICATIONS WITH THE EROSION BLANKET, AND IN COMPLIANCE WITH THE EPA'S CONSTRUCTION GENERAL PERMIT FOR FINAL STABILIZATION. THE TOP SOIL WHICH MUST BE RECOVERED OR DISTURBED DURING CONSTRUCTION SHALL BE SAVED AND STOCKPILED AT A LOCATION DESIGNATED BY THE OPR. ANY DISTURBED ARE TO BE SEEDED WHICH HAS LESS THAN 6 INCH TOTAL TOP SOIL DEPTH SHALL BE SUPPLEMENTED TO A 6 INCH DEPTH WITH THE STOCKPILED MATERIAL.
- THE SEED BED SHALL BE PREPARED TO A MINIMUM 4-INCH DEPTH BY TILLING WITH A DISC, HARROW, OR CHISELING TOOLS. ALL COMPETITIVE VEGETATION SHALL BE UPROOTED DURING THE PREPARATION, AND THE SOIL SHALL BE UNIFORMLY WORKED TO A SMOOTH, FIRM SURFACE FREE OF LOGS, STONES OR OTHER EXTRANEIOUS MATERIALS 4 INCH OR LARGER THAT WOULD INTERFERE WITH SEEDING EQUIPMENT AND GERMINATION. SEED BED PREPARATION BY MECHANICAL MEANS WILL NOT BE REQUIRED ON SLOPES STEEPER THAN 2:1 IF, IN THE OPINION OF THE OPR, SEED BED PREPARATION ON THESE SLOPES IS IMPRACTICAL OR UNSAFE. ALL TILLING SHALL BE PERFORMED ACROSS THE SLOPE WHEN PRACTICAL, AND SHALL BE PERFORMED IN TWO DIRECTIONS WHENEVER ONE PASS IS INSUFFICIENT, IN THE OPR'S OPINION, TO ADEQUATELY BREAK UP THE SOIL. TILLING SHALL NOT BE PERMITTED WHEN THE WIND BLOWS AT MORE THAN 10 MPH AND MAY CAUSE A DUST GENERATION AND MOVEMENT INTO ADJACENT AREAS. NO WORK SHALL BE PERFORMED WHEN THE SOIL'S MOISTURE CONTENT IS UNFAVORABLE, OR THE GROUND CONDITIONS ARE NOT SUITABLE FOR TILLING.
- SEED SHALL BE UNIFORMLY APPLIED OVER THE AREA TO BE TREATED. THE CONTRACTOR'S EQUIPMENT SHALL NOT TRAVEL OVER THE SEEDED AREAS, IF RAIN OR OTHER NATURAL PHENOMENA WHICH MAKE THE SOIL UNSUITABLE FOR SEEDING, THE CONTRACTOR SHALL RE-PREPARE THE SOIL AS DESCRIBED HEREBY, AT NO ADDITIONAL COST TO THE OWNER. SEEDS SHALL BE DRILLED TO A MINIMUM OF 1/2-INCH, UNLESS OTHERWISE INDICATED ON THESE DRAWINGS. DIRECTION OF SEEDING SHALL BE ACROSS THE SLOPES AND ON THE CONTOUR WHENEVER POSSIBLE.
- STEEP SLOPE SEEDING, BROADCAST SEEDING SHALL ONLY BE PERFORMED IN SLOPES 3:1 OR STEEPER, OR IN AREAS UNACCESSIBLE TO THE DRILL. BROADCAST SEEDING SHALL BE PERFORMED WITH A NOTARY SPREADER OR A SEEDER BOX WITH GEAR FEED MECHANISM IF DRILL SEEDING IS NOT PRACTICAL. RICE HULLS OR OTHER FILLERS SHALL BE USED TO PREVENT UNEVEN SEPARATION OF LIGHTER SEED. SEED BED SHALL BE LIGHTLY RAKED IMMEDIATELY FOLLOWING THE SEEDING OPERATION, TO PROVIDE 1/2-INCH SOIL COVER OVER THE SEED.
- MULCH SHALL BE PLACED OVER ALL RE-SEEDED AREAS. THE MULCH SHALL BE MADE OF STRAW OR HAY. IT SHALL BE APPLIED TO PRODUCE A DEPTH OF 1-1/2-INCH TO 2-INCH STRAW OR HAY WITH NOXIOUS SEEDS OR PLANTS, ROTTED, BRITTLE, SHORT FIBERED, OR IMPROPERLY CURED SHALL NOT BE ACCEPTABLE.

SEED MIX AND SEEDING RATE ARE AS FOLLOWS:

SEED	PERCENTAGE OF SEED MIX
SIDE OATS GRAMA	5%
BLUE GRAMA	20%
LITTLE BLUE STEM	10%
INDIAN RICE GRASS	20%
WESTERN WHEAT GRASS	20%
FOUR WING SALTGRASS	5%
MOUNTAIN MAHOGANY	10%

NOTE: POUNDS PER ACRE OF SEED MIXTURE: 15-20 LBS IF DRILLED; 20-25 LBS IF BROADCAST. SEED SHALL BE CERTIFIED AS WEED FREE.

NBA-4

REVISION			SYMBOL	DATE	BY:
NO.	DESCRIPTION	DATE			

SANTA FE COUNTY
UTILITIES DIVISION 424 N 599, SANTA FE, NM

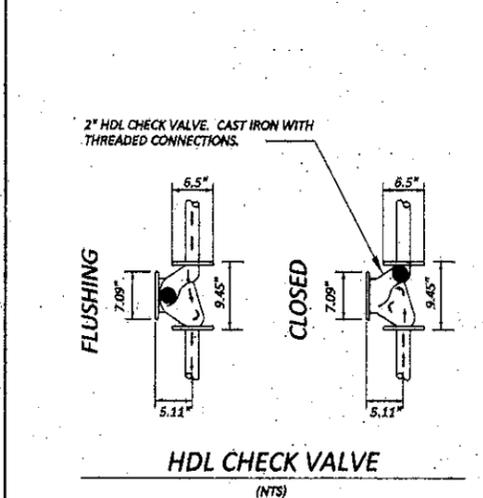
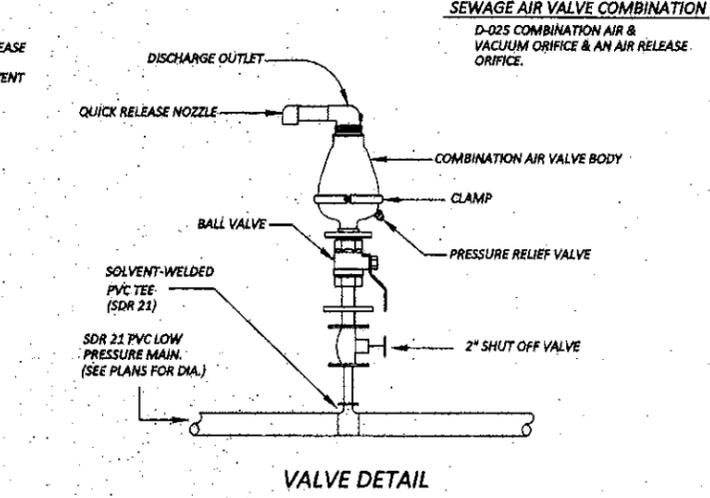
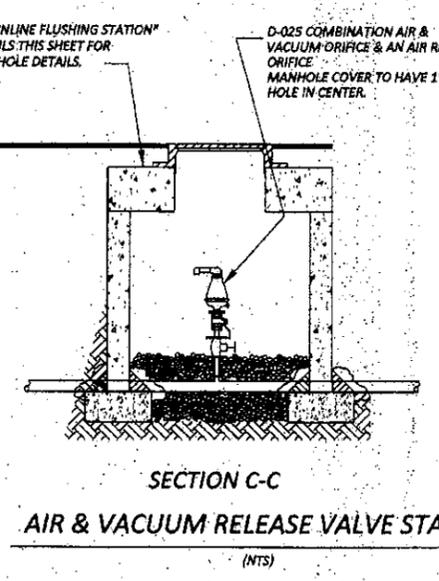
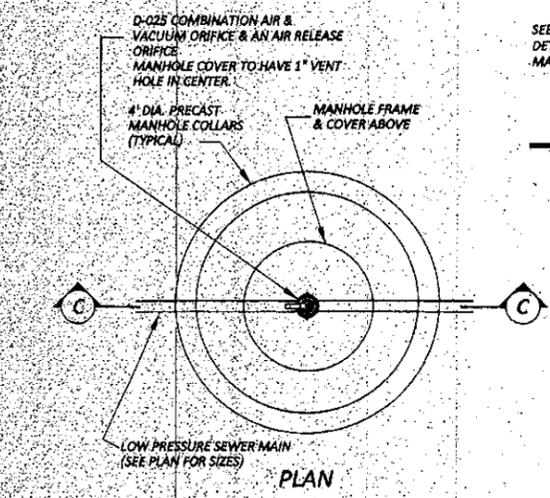
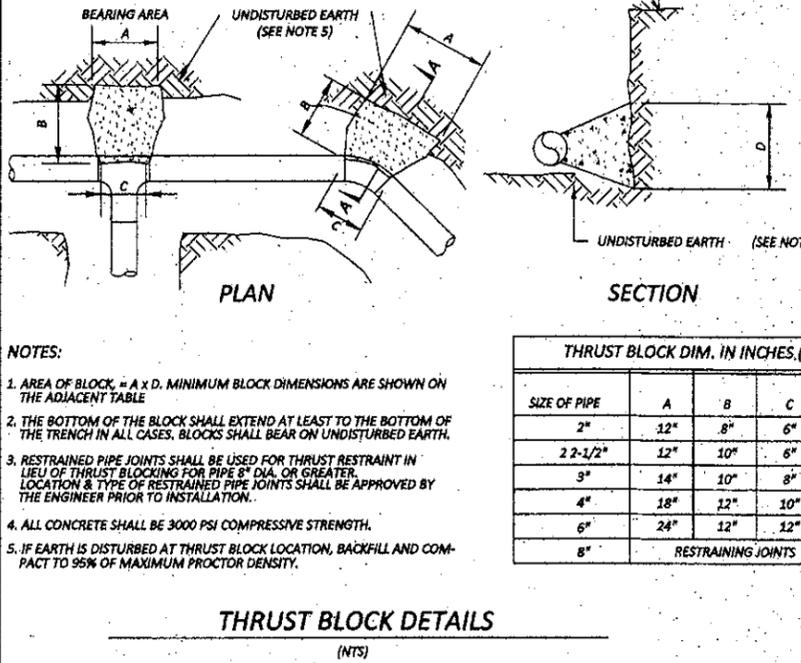
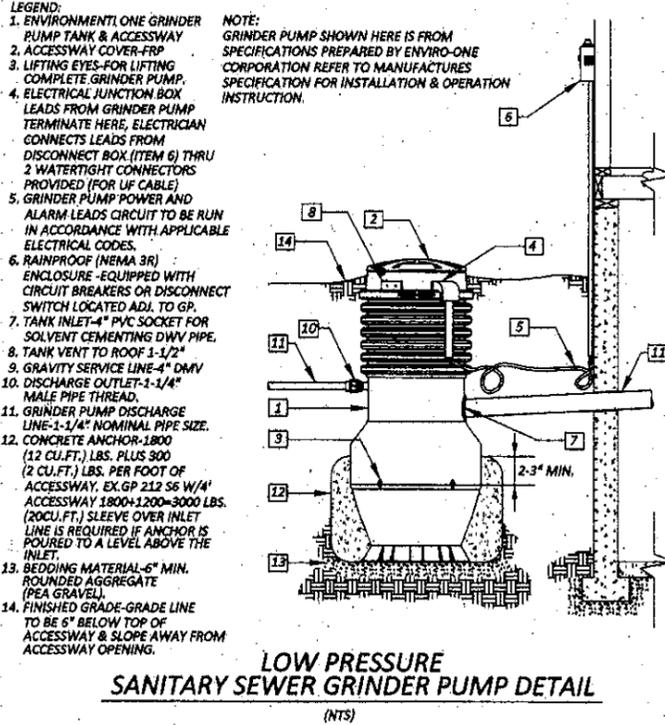
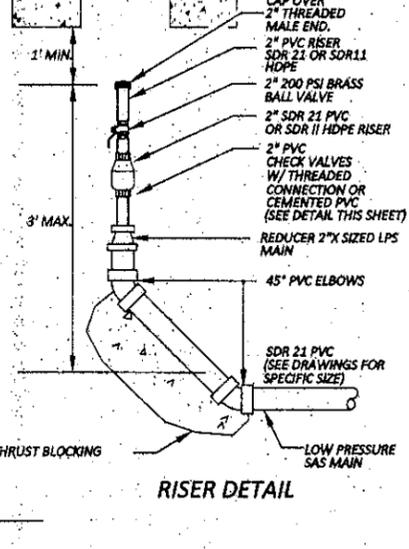
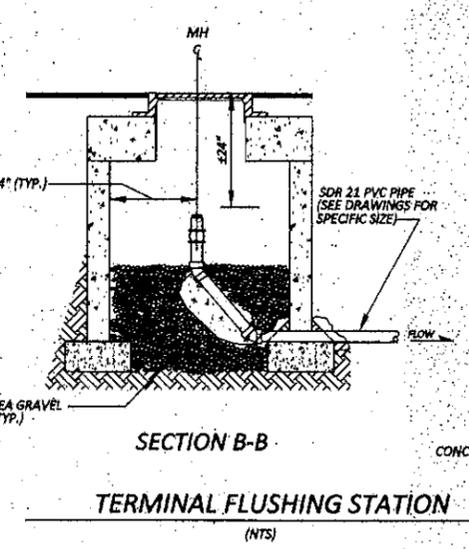
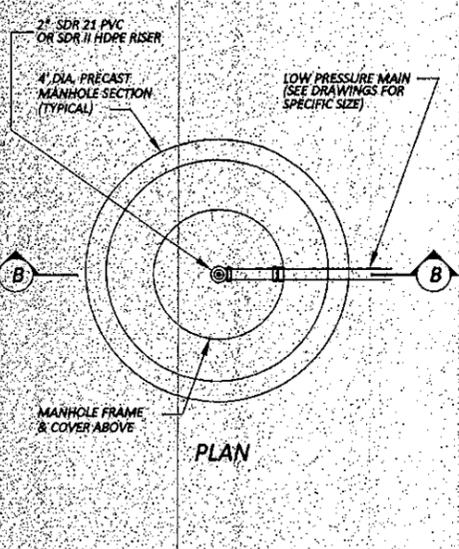
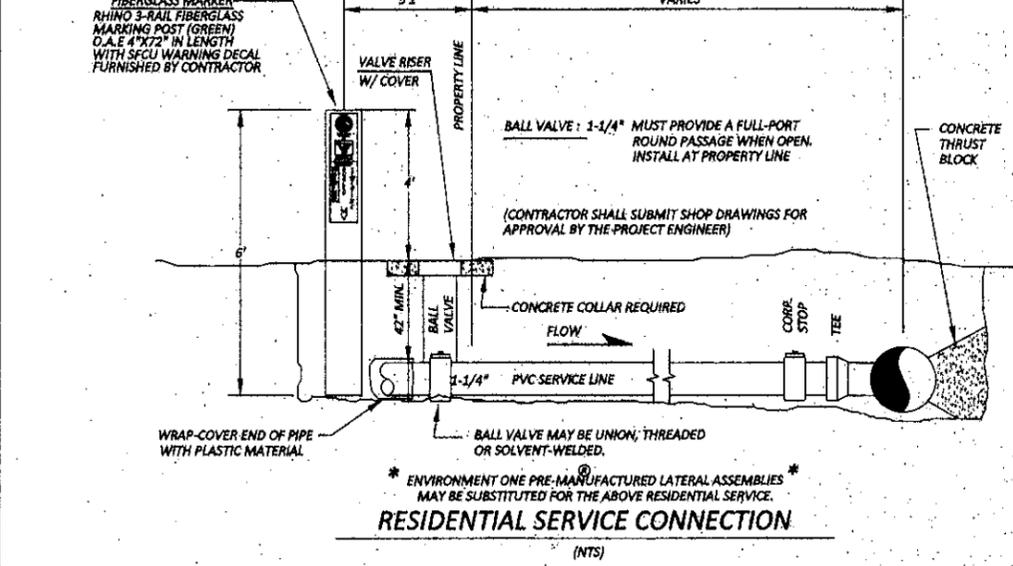
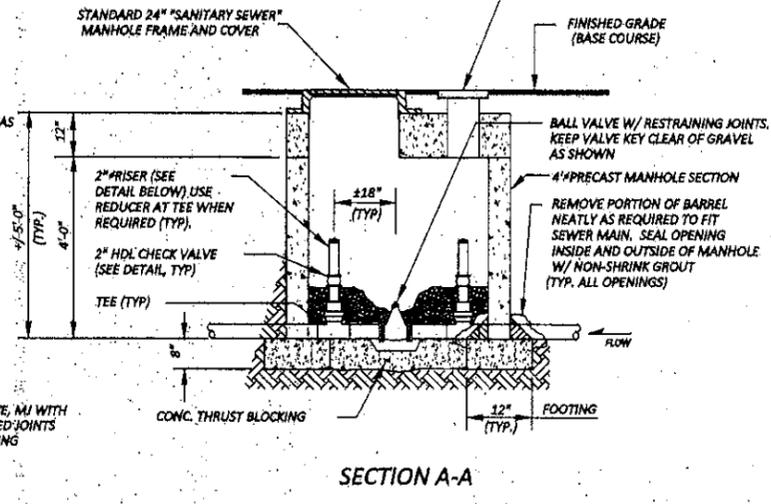
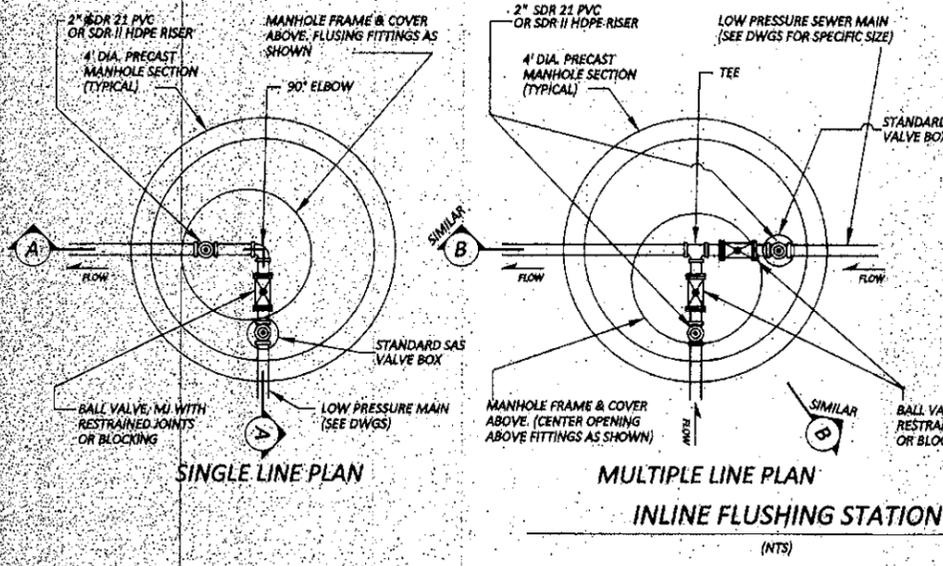
PROJECT NAME: _____

GENERAL CONSTRUCTION REQUIREMENT

APPROVED BY: P. GUERRERORTIZ, PE REVIEWED: _____

DATE: 04/18/2012 SCALE: NA 51

DRAWN BY: PC



GENERAL NOTES

- FOR DETAILS OF MANHOLE FRAMES, COVERS AND GENERAL CONSTRUCTION NOTES, SEE DETAIL/DWG # SAS 4. MANHOLES SHALL HAVE NO STEPS.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OR CATALOG CUTS OF VALVES TO ENGINEER PRIOR TO INSTALLATION.
- PROVIDE METALLIC LOCATE-TAPE 12" ABOVE LOW PRESSURE SEWER MAIN LINE. PROVIDE CONTINUOUS # 12 LOCATE WIRE ON SEWER MAINS AS REQUIRED FOR ALL PRESSURE PIPELINES.
- HOMEOWNER SHALL CONTACT THE LOCAL REPRESENTATIVE OR ENVIRONMENT ONE SERIES 2000 GRINDER PUMP ACCESSORIES INSTALLATION INSTRUCTIONS, OPERATING INSTRUCTIONS, INSPECTION AND WARRANTY START-UP, OTHER PUMP MANUFACTURERS SHALL NOT BE ACCEPTABLE.

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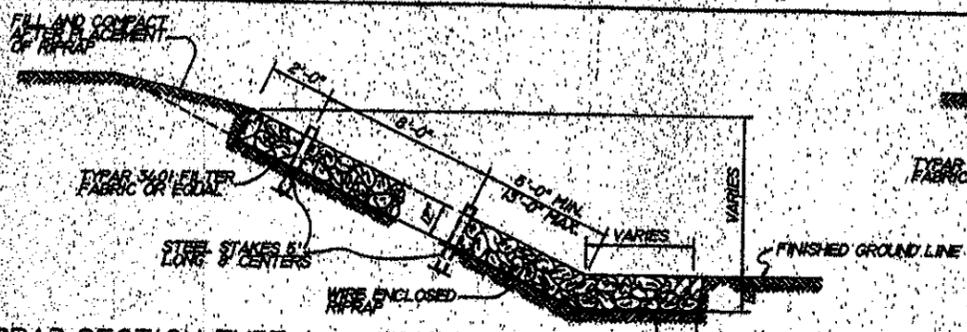
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SANTA FE COUNTY
WATER UTILITIES DIVISION 424 NM 55
SANTA FE, NM 87507

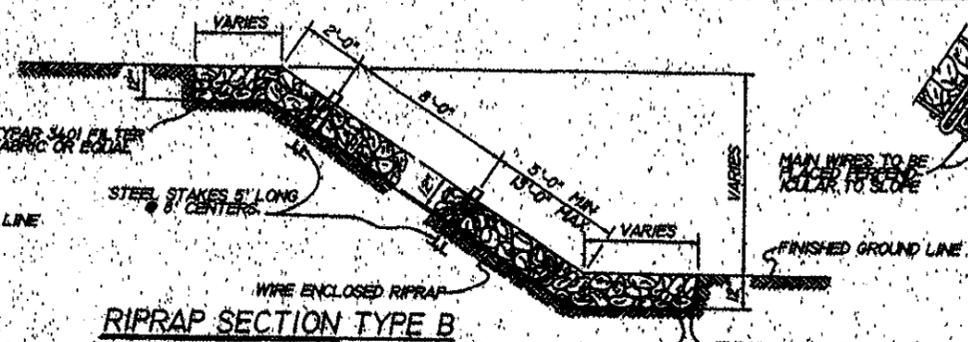
PROJECT NAME: _____

SANTA FE COUNTY SANITARY SEWER STA1
CONSTRUCTION DETAIL FOR LOW PRESSURE

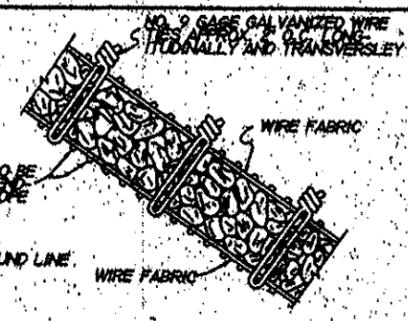
APPROVED BY: P. GUERRERORTIZ, PE REVIEW
DATE: 06/12/2012 SCALE: NA
DRAWN BY: PCASAU



RIPRAP SECTION TYPE A

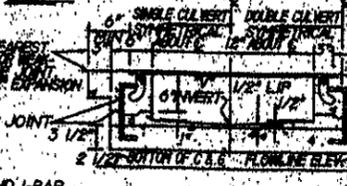


RIPRAP SECTION TYPE B

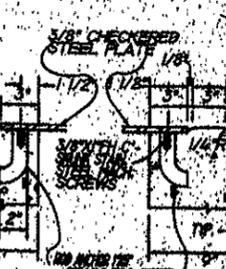


TYPICAL SECTION

SINGLE AND OR MULTIPLE CULVERT PLAN



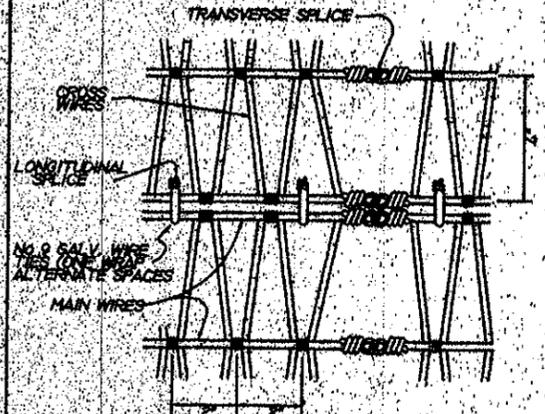
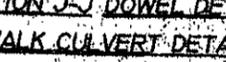
SECTION G-G



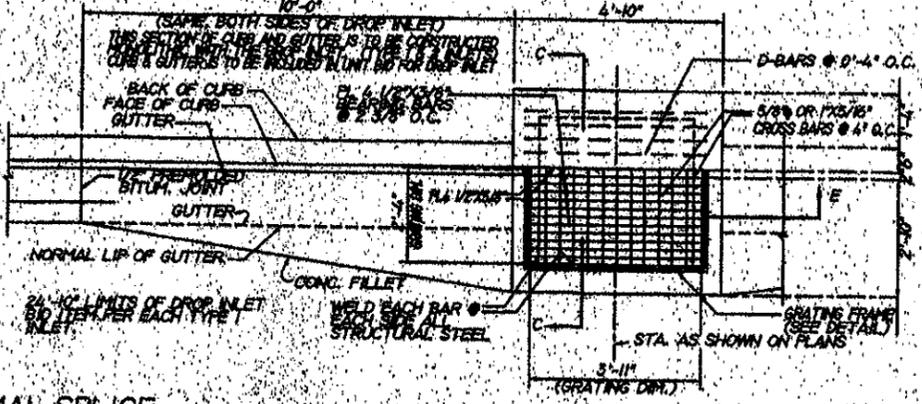
SECTION H-H



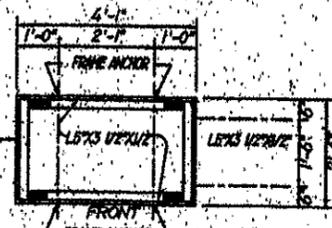
SECTION J-J DOWEL DETAIL



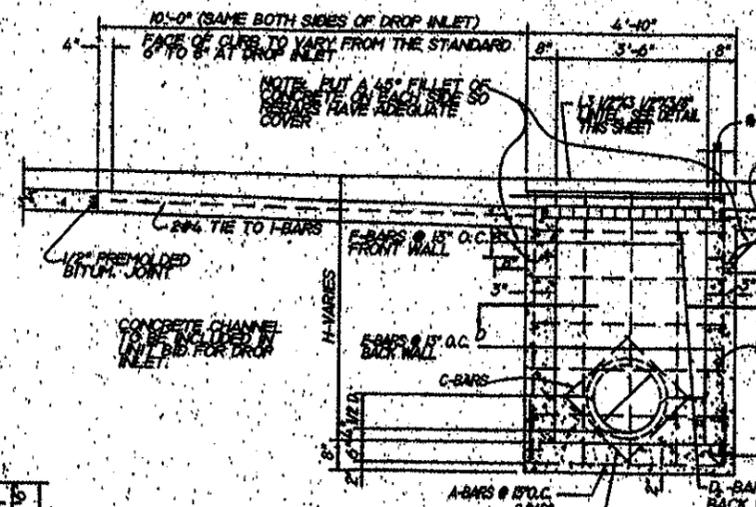
DETAIL OF WIRE FABRIC AND NORMAL SPLICE



TYPE - I INLET PLAN

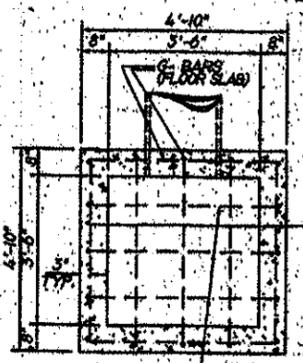


GRATING FRAME DETAIL

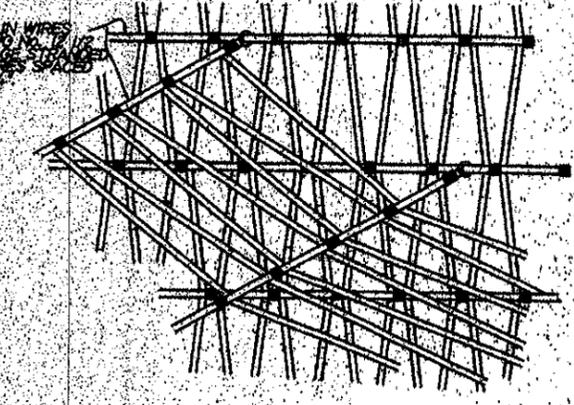


SECTION E-E

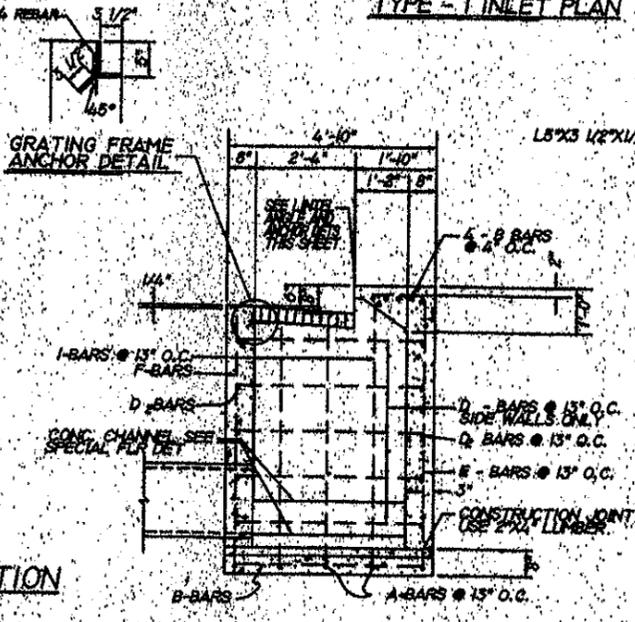
RE-BAR SCHEDULE	
REBAR SIZE & SHAPE	BAR TYPE & QUANTITY
A	1/2" DIA. #4
B	1/2" DIA. #4
C	1/2" DIA. #4
D	1/2" DIA. #4
E	1/2" DIA. #4
F	1/2" DIA. #4
G	1/2" DIA. #4
H	1/2" DIA. #4



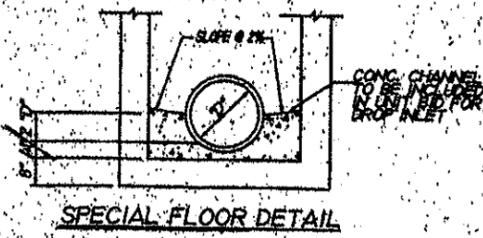
SECTION D-D



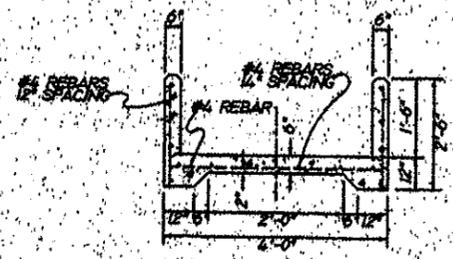
DETAIL OF SPLICE @ SKEWED INTERSECTION



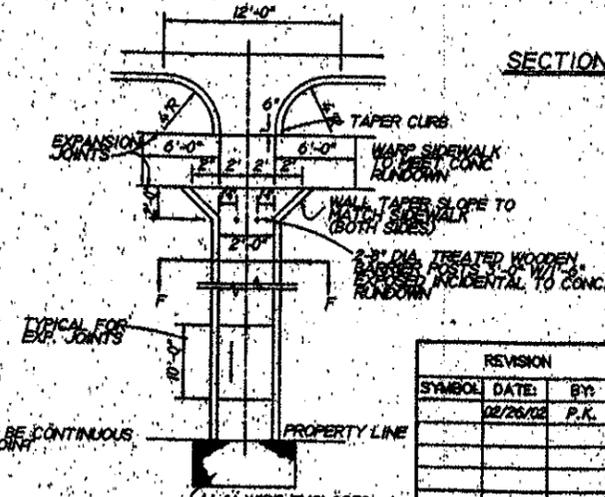
SECTION C-C



SPECIAL FLOOR DETAIL



TYPICAL RUNDOWN DETAIL SECTION F-F



CONCRETE DRAINAGE RUNDOWN

- RIPRAP - GENERAL NOTES:
1. WIRE FABRIC IS TO BE GALVANIZED 1/4" MESH OF THE FOLLOWING CONSTRUCTION: MAIN WIRES TWO NO. 10 1/2 GAGE STRANDED WIRES SPACED AT 4'-0" WITH NO. 9 GAGE STRANDED WIRES SPACED AT 2'-0" WITH NOT LESS THAN APPROXIMATE WEIGHT: 2.6 POUNDS PER 100 SQUARE FEET.
 2. STEEL STAKES MAY BE RAILROAD RAILS WEIGHING NOT LESS THAN 30 LBS PER LINEAL FOOT AND SPACING TO BE 8' ON CENTER. STEEL STAKES SHALL BE PLACED IN LINE WITH THE FINISHED GROUND LINE AND NO DIRECT MEASUREMENT OF SPACING WILL BE MADE THEREON.
 3. IF LENGTH OF SLOPE IS 2 FEET OR LESS ONLY ONE ROW OF STEEL STAKES WILL BE REQUIRED UNLESS OTHERWISE NOTED ON PLANS.
 4. AS AN ALTERNATE, WIRE FABRIC MAY BE GALVANIZED STEEL WIRE MEETING THE ABOVE REQUIREMENTS. GALVANIZED STEEL WIRE SHALL BE AT LEAST 1/8" THICK AND SHALL BE GALVANIZED TO A MINIMUM OF 10% OF THE SURFACE AREA. GALVANIZED STEEL WIRE SHALL BE AT LEAST 1/8" THICK AND SHALL BE GALVANIZED TO A MINIMUM OF 10% OF THE SURFACE AREA.
 5. DETAIL FROM N.M.S. & D. DETAIL, SERIAL BRR-001-05

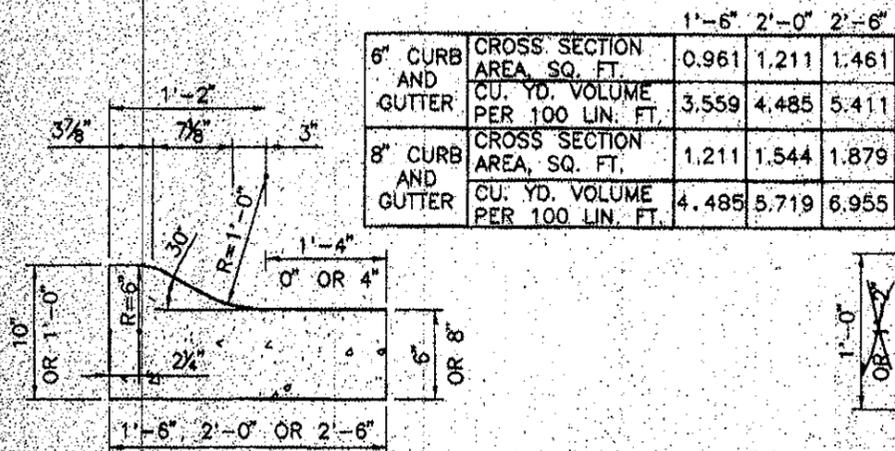
- GENERAL NOTES:
1. PLACE OF DRAIN TRAP EXIST. SIDEWALK SHALL BE FINISHED TO MEET CONC. RUNDOWN.
 2. PLACE OF DRAIN TRAP EXIST. SIDEWALK SHALL BE FINISHED TO MEET CONC. RUNDOWN.
 3. PLACE OF DRAIN TRAP EXIST. SIDEWALK SHALL BE FINISHED TO MEET CONC. RUNDOWN.
 4. PLACE OF DRAIN TRAP EXIST. SIDEWALK SHALL BE FINISHED TO MEET CONC. RUNDOWN.
 5. FOR ALL CONCRETE, THE MAIN REINFORCING SHALL BE AT LEAST 1/2" DIA. AND SHALL BE GALVANIZED TO A MINIMUM OF 10% OF THE SURFACE AREA.
 6. THE QUANTITY OF MATERIAL SHALL BE AS SHOWN ON PLANS UNLESS OTHERWISE NOTED.

REVISION		
SYMBOL	DATE	BY
	02/26/02	P.K.

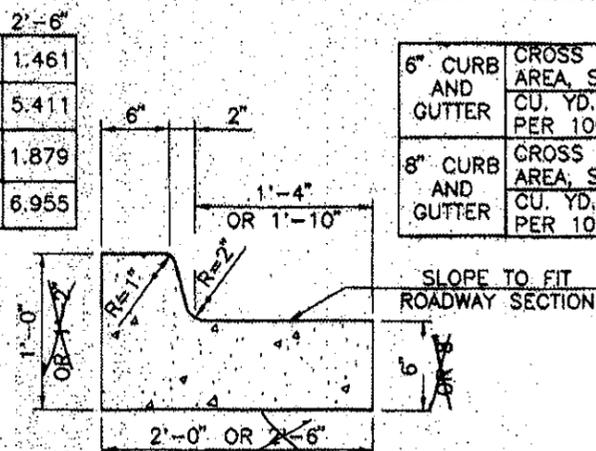
SANTA FE COUNTY

DRAINAGE DETAILS

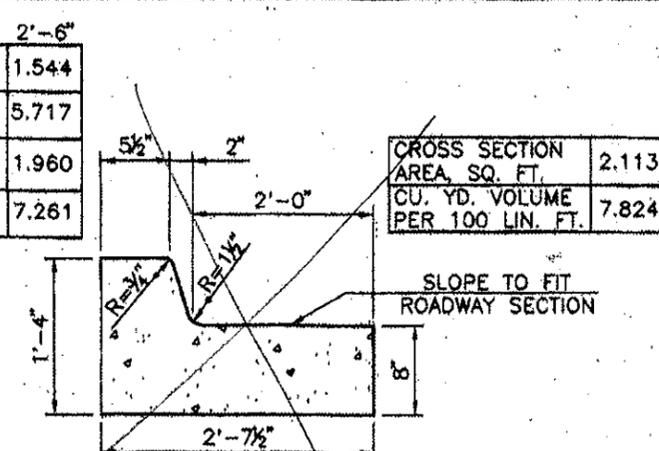
DRAWN BY: CHUCK ONE CHECKED BY: DATE: APPROVED BY: L.U.A. 3/27/02 SERIAL#



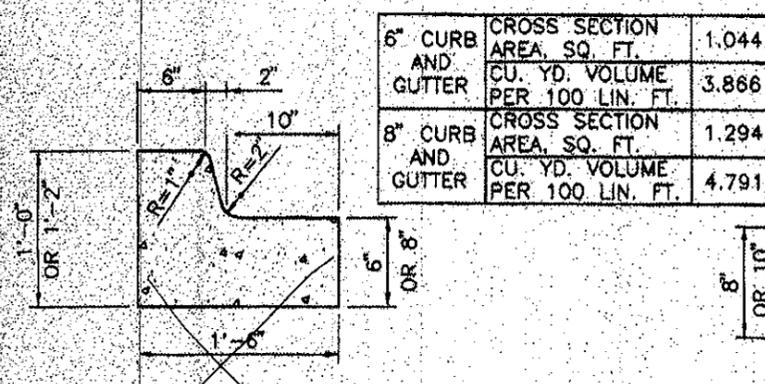
CONCRETE MOUNTABLE CURB AND GUTTER TYPE "A"



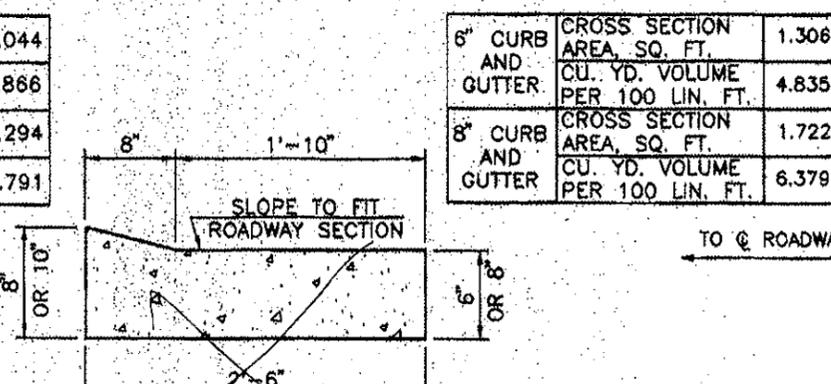
CONCRETE BARRIER CURB AND GUTTER TYPE "B"



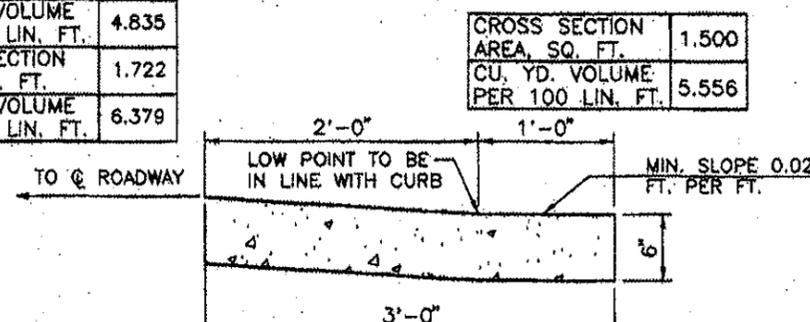
CONCRETE BARRIER CURB AND GUTTER TYPE "C"



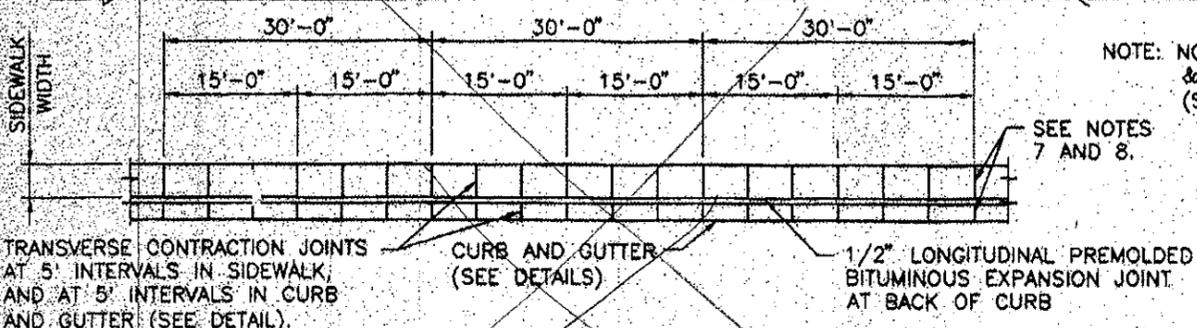
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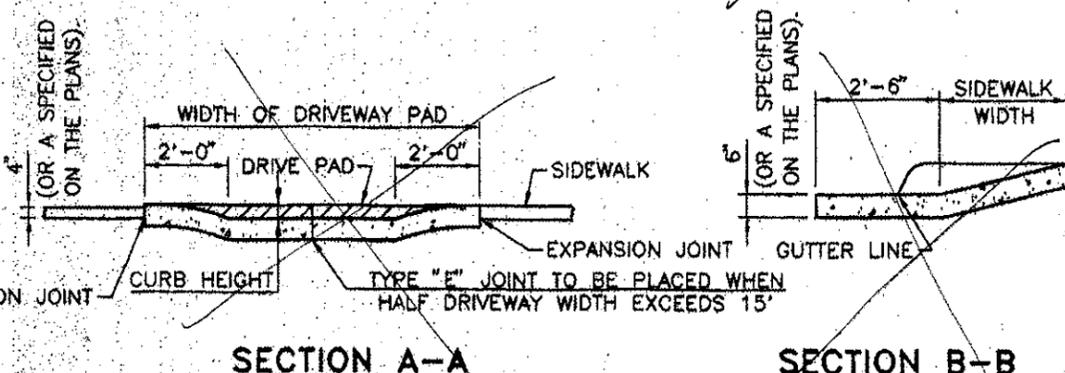
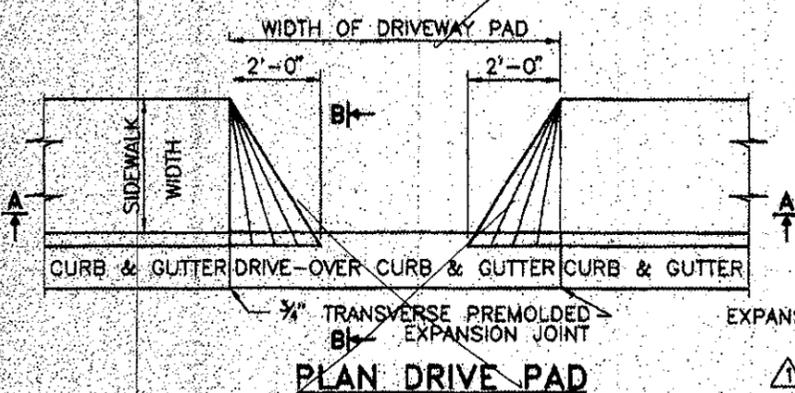
CONCRETE LAYDOWN CURB TYPE "E"



CONCRETE VALLEY GUTTER

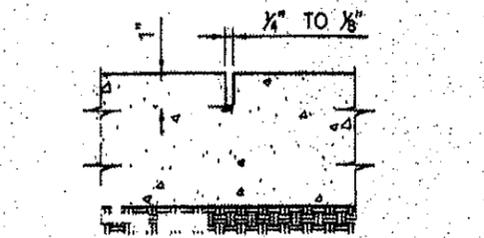
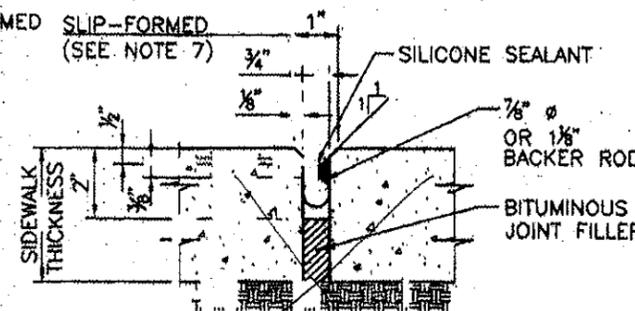


PLAN CURB AND GUTTER AND SIDEWALK

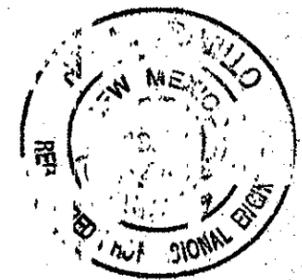


NOTE: NON-SLIP FORMED & SIDEWALKS (SEE NOTE 8)

SLIP-FORMED (SEE NOTE 7)



- GENERAL NOTES**
1. CONCRETE SHALL BE STRUCTURAL CONCRETE CLASS "A."
 2. END OF DAYS POUR, 30 MINUTE INTERRUPTIONS, COLD JOINTS AND DROP INLETS SHALL DETERMINE THE LOCATION OF A CONSTRUCTION JOINT AND A 3/4" PREMOLDED BITUMINOUS JOINT IS REQUIRED.
 3. PLACE TRANSVERSE CONTRACTION JOINTS AT 5'-0" INTERVALS AND AT THE END OF RADIUS POINTS OR ISLAND NOSES.
 4. BED COURSE MATERIAL ON WHICH SIDEWALK IS TO BE PLACED SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T 99, METHOD C.
 5. EXCAVATION AND PREMOLDED BITUMINOUS EXPANSION JOINTS TO BE INCLUDED IN THE UNIT PRICE BID FOR SIDEWALKS.
 6. THE SILICONE SEALED JOINTS SHALL BE SEALED IN ACCORDANCE WITH SECTION 452 OF THE STANDARD SPECIFICATIONS.
 7. FOR SLIP-FORMED CURB AND GUTTER, FURNISH 1" SEALED EXPANSION JOINTS AT 90' INTERVALS, AND TRANSVERSE CONTRACTION JOINTS AT 5' INTERVALS.
 8. FOR SIDEWALKS AND NON-SLIP FORMED CURB AND GUTTER, FURNISH 3/4" SEALED EXPANSION JOINTS AT 30' INTERVALS, AND TRANSVERSE CONTRACTION JOINTS AT 5' INTERVALS.



NO.	DATE	REV. BY	DESCRIPTION
Δ	9/9/09	YML	ADDED DETAILS
REVISIONS (OR CHANGE NOTICES)			
NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD DRAWING			
SIDEWALK CURB AND GUTTER			
NBA-54			
DESIGNED BY		DRAWN BY SKL CHECKED BY	
609-01-1/1			

constructing or maintaining a fence, except that such materials may be used to provide artistic decoration or enhancement so long as the primary materials are consistent with this subsection;

2. Plywood, particle board, paper, and visqueen plastic, pallets, plastic tarp, or similar material; or

3. In subdivisions along the perimeter of a tract or parcel that abuts a collector or arterial road, barbed wire, razor wire, and other similar fencing materials capable of inflicting significant physical injury.

7.8. LIGHTING.

7.8.1. **Purpose.** The outdoor lighting standards of this section are intended to enhance the safety of areas designated for pedestrian and traffic use during evening hours, provide security, conserve energy, protect the night sky consistent with the Night Sky Protection Act (NMSA 1978, §74-12-1 *et seq.*), and prevent spillover, nuisance or hazardous effects of light and glare on adjacent locations and uses of land. These standards shall not apply to public streetlights but shall apply to all other outdoor lighting including, but not limited to:

7.8.1.1. Buildings and structures;

7.8.1.2. Recreational facilities;

7.8.1.3. Parking lot lighting;

7.8.1.4. Road lighting; and

7.8.1.5. Other outdoor lighting.

7.8.2. **General Standards.** All outdoor lighting fixtures shall be designed, installed, located and maintained to conform to the standards of this section. Glare onto adjacent properties or roads shall not be permitted.

7.8.2.1. **Fixtures (electrical luminaries).** All outdoor light sources shall be concealed within cut-off fixtures, except as otherwise specified herein. Fixtures shall be mounted in such a manner that their cones of light are directed down or toward a surface, but never towards an adjacent residence or public road.

7.8.2.2. **Lamp (Light Source or Bulb) and Shielding Requirements.** Lamps, light sources or bulbs shall be shielded and shall comply with the light source and shielding requirements of Table 7-3. Spillover of lighting onto adjacent properties shall not exceed 0.50 foot-candle measured at any point on a property line. No outdoor lighting shall be directed towards any adjacent residential use or public road.



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final plat. If there is no buildable area designated on the plat, then the Administrator shall designate a buildable area upon request.

7.17.3.2. A buildable area shall include the footprint of the proposed structure, a working area extending thirty feet from the structure, and any areas of expected site disturbance necessary for construction, all of which shall not be less than 2,000 square feet.

7.17.4. **No Build Areas.** No build areas shall be identified on any plat and on any site development plan. No build areas shall include:

7.17.4.1. Rock outcropping, wetlands, riparian areas, arroyos and natural drainage ways;

7.17.4.2. Setbacks from ridge tops and ridges, natural streams and drainage ways; and

7.17.4.3. Areas with natural slopes of thirty (30) percent or greater.

7.17.5. **Storm Drainage and Erosion Control.**

7.17.5.1. **General.**

1. No fill shall be placed in natural drainage channels and a minimum setback of twenty five feet shall be maintained from the natural edge of all streams, rivers, or arroyos with flows exceeding twenty-five (25) cubic feet per second during a one hundred (100) year frequency storm, twenty-four (24) hour duration;
2. Any area of periodic flooding shall be identified as a no build area and shall be included within a drainage easement; and
3. Any ponding areas used in drainage control facilities shall be revegetated and integrated into landscaping.

7.17.5.2. **All Other Development.** Subdivision, multi family, non-residential and single family residential development shall comply with the following standards:

1. Drainage structures shall be designed and sized to detain or safely retain storm water on site.
2. Storm drainage facilities shall have the sufficient carrying capacity to accept peak discharge runoff from the development;
3. The peak discharge of storm water resulting from the development shall not exceed the peak discharge calculated prior to the development and differences between pre- and post-development discharge shall be detained or retained on site. Calculation of the design peak discharge of storm water shall be based on a one hundred (100) year frequency, twenty-four (24) hour duration rainstorm;
4. No development shall disturb any existing watercourse or other natural drainage system, in a manner which causes a change in watercourse capacity or time to peak, time of concentration or lag time or other natural drainage system or increase of the pre-development stormwater discharge .
5. All natural drainage ways and arroyos which traverse or affect one or more lots or development sites shall be identified on the plan and/or plat.



7.15.3. Designation of Open Space and Parks.

7.15.3.1. Open space categories. Open space use shall be categorized as natural and passive or developed.

1. Natural and passive open space is set aside for the preservation or conservation of natural areas, wildlife habitat, cultural or archeological resources or other unique characteristics. Passive uses allowed include:

- a. access with minimal impacts including pathways or trails;
- b. way-finding signs and/or interpretive signs; or
- c. other features of minimal impact.

2. Developed open space use includes:

- a. neighborhood parks;
- b. community gathering spots;
- c. recreational play spaces;
- d. rails;
- e. picnic shelters;
- f. community plazas;
- g. community gardens; and
- h. parking related to open space requirements.

7.15.3.2. Allowable open space. Open Space may include land that is unsuitable for development and offers natural resource benefits such as steep slopes in excess of 25%; conservation areas; natural vegetation; drainage-way or designated wetlands; ravines; surface water management areas; wildlife habitat and corridors; and geologic features. Out-lots and undevelopable or protected lands should be selected on the basis of enhancing the character of the community, buffering, and providing linkages with other areas of significance such as parks, trails or wildlife habitat.

→ **7.15.3.3. Minimum required open space.**

1. Natural and/or passive: Minimum 30% of gross acreage; and
2. Developed: 1 acre per 100 population (based on 2.57 persons per dwelling unit). Any proposed subdivision over 24 lots with a population less than 100 shall provide at least one (1) acre of developed open space.

7.15.3.4. Trail standards.

1. A trail easement shall be dedicated in accordance with the Official Map or adopted plans.



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Table 7-12: Urban Road Classification and Design Standards (SDA-1 and SDA-2).

	Avg. daily traffic	# of driving lanes	Lane width (ft)	Sidewalks	Bike lanes	Minimum ROW (ft)	Design Speeds (mph)	Max % Grade	Min. agg. base course	Min. bit. pavement	Max % Super-elev.
Major Arterial or highway	5000 +	2-6	12	Two 5'	Two 5 ft on-road	150	Level: 50+ Rolling: 50+ Mount.: 50+	5%	6"	6"	Refer to AASHTO
Minor arterial	2000 to 4999	2 - 4	12	Two 5'	Two 5 ft on-road	120	Level: 30-60 Rolling: 30-60 Mount.: 30-60	5%	6"	5"	Refer to AASHTO
Collector	601 to 1999	2	11	Two 5'	Two 5 ft on-road	80	Level: 30+ Rolling: 30+ Mount.: 30+	8%	6"	4"	5%
Sub-collector	301 to 600	2	11	Two 5'	Two 5 ft on-road	60	Level: 30+ Rolling: 30+ Mount.: 30+	8%	6"	4"	5%
Local	0 to 400	2	10	One 5'	n/a	50	Level: 20-30 Rolling: 20-30 Mount.: 20-30	7%	6"	3"	5%
Cul-de-Sac	0 to 300	2	10	n/a	n/a	38	Level: 30-50 Rolling: 20-40 Mount.: 20-30	9%	6"	3"	n/a
Alley	n/a	1	12	n/a	n/a	19	n/a	7%	6"	3"	n/a
Driveway	n/a	1	14	n/a	n/a	20	n/a	10%	n/a	n/a	n/a



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parking design such that the entrance can absorb the maximum rate of inbound traffic during a normal weekday peak traffic period as determined by a New Mexico Professional Engineer or other qualified professional; and

7. A 50 foot asphalt or concrete apron shall be required on driveways accessing a paved road.

7.11.13. On-road Parking. On-road parking shall be a minimum of seven (7) feet in width. A parking lane of at least seven (7) feet may be provided on a local road or sub-collector.

7.11.13.1. A minimum of 1.5-foot-wide operational offset shall be provided between the face of the curb and the edge of potential obstructions such as trees and poles. This allows for the unobstructed opening of car doors.

7.11.13.2. Parking shall be prohibited within 10 feet of either side of fire hydrants or as per fire code, whichever is more restrictive, at least 20 feet from nearside of mid-block crosswalks without curb extensions, and at least 20 feet from the curb return of intersections (30 feet from signalized intersections).

7.11.14. Roads and Driveways in Steep Terrain.

7.11.14.1. Where a road, highway or driveway are located on a natural slope of fifteen percent (15%) or greater, or where cut or fill slopes would exceed six (6) vertical feet, the developer shall propose alternative terrain management techniques to limit excessive grading and removal of vegetation. Such alternatives may include, but are not limited to, split road beds, steeper cuts and fills where soils are stable enough to sustain higher cut and fill ratios, terracing with reverse grades for revegetation with trees and shrubs, or rock plating or retaining walls.

7.11.14.2. Notwithstanding the provisions of subsection 7.11.6.1, roads and highways located on a natural slope of fifteen percent or greater shall intersect at a minimum angle of sixty (60) degrees. Notwithstanding the provisions of subsection 7.11.6.6, horizontal and vertical curvature shall not exceed ten (10) percent.

7.11.14.3. Temporary roads or driveways shall not be permitted.



7.11.15. Sidewalks.

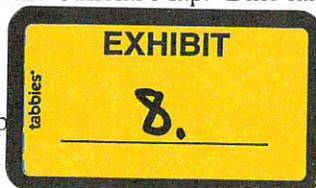
7.11.15.1. Sidewalks are required where required by Tables 7-12 and 7-13, and as indicated in the Official Map.

7.11.15.2. The minimum sidewalk or walking path width shall be four feet.

7.11.15.3. Sidewalks or walking paths shall be constructed of four inch (4") thick concrete or other hard surface materials such as permeable materials, brick, asphalt, or unit-pavers.

7.11.16.4. Sidewalks or walking paths shall not be located on the roadway surface or in a storm drainage.

7.11.16. Bike Lanes. Bike lanes shall be required along all roadways as required by Tables 7-12 and 7-13, and as indicated on the Official Map. Bike lanes shall be designed as set forth Table 7-16.



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7.17.10.8. Lighting Design Standards.

1. Use of cut off or shielded luminaires is required. All light sources or bulbs shall be shielded so they are not visible from any adjacent lot or public roadway and so that no light rays are emitted by the installed fixture at angles above the horizontal plane. All outdoor lighting fixtures shall meet the requirements for lamp type and shielding set forth in Section 7.8.
2. Spillover of lighting of any type onto adjacent property is prohibited.
3. No light fixture or mounting device shall be higher than the buildings on a parcel.
4. Ground-mounted luminaires for pedestrian or parking areas are limited to height of three feet (3').
5. Flood lights to enhance architectural features of a building or garden areas at night are prohibited.
6. Decorative lamps shielding low watt incandescent, low pressure sodium or other energy efficient light sources for walls under portals are permitted.
7. Spotlights, mercury vapor and halogen security lights are prohibited.
8. Automatic timing devices may be required to turn off lighting at specified hours.
9. A range of lighting design solutions for the various aspects of a development shall be considered over a single lighting solution.
10. Where the installation of street lights is required for reasons of safety or convenience, standards for street lights are set forth in subsection 7.8.4, and are incorporated by reference herein.
11. No new lighting shall be used or installed that is visible from a major arterial when illuminated.
12. The lighting requirements set forth in this subsection shall be in addition to all other lighting requirements in Section 7.8 of this Code.

7.17.11. Development at or above 7800 Feet in Elevation. Development at or above an elevation of 7800 feet is a restricted build area and will be subject to additional requirements as follows:

1. Proposed development in this area shall not be visible from major arterial roads.
2. Proposed development in this area is subject to a conditional use permit.

7.18. FLOOD PREVENTION AND FLOOD CONTROL.

7.18.1. Statutory Authorization. NMSA 1978, Section 3-18-7(D), establishes that a county with areas designated by FEMA and the county as flood-prone shall participate in the National Flood Insurance Program ("NFIP") for participation in the NFIP are included



7.17.8. [Reserved]

7.17.9 Steep Slopes, Ridge tops, Ridgelines and Shoulders.

7.17.9.1 Applicability. This subsection applies to development of any structure on a slope whose grade exceeds fifteen percent (15%), areas where slope exceeds thirty percent (30%) and to a ridge, ridge top, ridgeline or shoulder.

7.17.9.2 Standards.

1. No structure may be constructed on a ridge top, ridgeline or shoulder unless there is no other buildable area on the property. Only single story structures are allowed on ridges, ridge tops and shoulders.
2. A buildable areas on a ridge top, ridgeline or shoulder shall be set back 50 feet from the shoulder. The shoulder is the point at which the profile of the upper slope begins to change to form the slope.
3. No structure may be constructed on a natural slope of thirty percent (30%) or greater.
4. Utilities and access roads and driveways may be located on a natural slope in excess of thirty percent (30%) so long as they disturb no more than three separate areas not exceeding 1,000 square feet each. Drainage structures and slope retention structures may be located on a natural slope in excess of thirty percent (30%).
5. No structure may be constructed on a slope where evidence exists of instability, rock falls, landslides, or other natural or man-made hazards.
6. The finished floor elevation of any structure built on a natural slope between fifteen percent (15%) and thirty percent (30%) shall not exceed five feet above the natural grade at any point.
7. No significant tree may be removed from slopes greater than thirty (30) percent.

7.17.9.3 Height.

1. The height of any structure located on land that has a natural slope of fifteen percent (15%) or greater shall not exceed eighteen feet (18'). The distance between the highest point of the structure and the lowest point at the natural grade or finished cut shall not exceed thirty (30) feet, unless the portion of the slope over fifteen percent (15%) is incidental to the entire site.



7.17.8. [Reserved]

7.17.9 Steep Slopes, Ridge tops, Ridgelines and Shoulders.

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3. No structure may be constructed on a natural slope of thirty percent (30%) or greater.
4. Utilities and access roads and driveways may be located on a natural slope in excess of thirty percent (30%) so long as they disturb no more than three separate areas not exceeding 1,000 square feet each. Drainage structures and slope retention structures may be located on a natural slope in excess of thirty percent (30%).
5. No structure may be constructed on a slope where evidence exists of instability, rock falls, landslides, or other natural or man-made hazards.
6. The finished floor elevation of any structure built on a natural slope between fifteen percent (15%) and thirty percent (30%) shall not exceed five feet above the natural grade at any point.
7. No significant tree may be removed from slopes greater than thirty (30) percent.

7.17.9.3 Height.

1. The height of any structure located on land that has a natural slope of fifteen percent (15%) or greater shall not exceed eighteen feet (18'). The distance between the highest point of the structure and the lowest point at the natural grade or finished cut shall not exceed thirty (30) feet, unless the portion of the slope over fifteen percent (15%) is incidental to the entire site.



7.17.10. Development at or above 7400 Feet. Development at or above an elevation of 7400 feet will be subject to additional requirements.

7.17.10.1 Buildable Area Analysis. Each lot or parcel shall be analyzed for buildable areas which must satisfy each of the following criteria that:

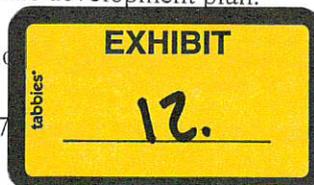
1. the average slope of the buildable area is less than twenty percent (20%), except that only fifty percent (50%) of any structure may be located on slope that is between twenty and thirty percent (20% and 30%);
2. soils within the area are acceptable for construction of foundations; and
3. the buildable area be closest to the nearest pre-existing public or private roadway or right-of-way, unless the resulting location of the buildable area would make the development in the area visible from the nearest major arterial road or unless such siting of the buildable area would not conform to the purposes, development criteria and design standards of this Section 7.17;

7.17.10.2. Visual Impact Analysis. Each proposed development site within a buildable area shall be subject to a visual impact analysis that will indicate whether such structures will be visible from a major arterial road. Such visual impact analysis shall include:

1. Erection of white story poles on each and every corner and, if applicable, on the pitch of any proposed structure on the site proposed for development. Story poles shall be consistent with the height of the proposed structure.
2. Photographs, using a telephoto lens or other technique that is adequate to establish a viewline and that adjusts for distances, or computer simulations taken from the nearest applicable major arterial road where a view of the site is possible.
3. Viewpoints shall be approved by the Administrator prior to the analysis, and additional viewpoints may be selected by the Administrator if the additional viewpoints would provide greater visual perspective on the proposed development site.
4. **Sites that are visible.** Where it is determined that the proposed development site is visible from a major arterial road, then the following alternatives shall be considered:
 - a. Selection of a less visible or non-visible development site;
 - b. Consolidation and/or adjustment of lot lines, relocation of buildable areas, and/or realignment of proposed roads and driveways.
 - c. Use of additional screening, buffering or setbacks.

7.17.10.3. Disturbed Area Limitation.

1. The disturbed area on any lot shall not exceed twelve thousand (12,000) square feet. The location and calculation of the disturbed area on the lot shall be identified on the site development plan.
2. All construction shall be completed prior to construction to prevent



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7.17.10. Development at or above 7400 Feet. Development at or above an elevation of 7400 feet will be subject to additional requirements.

7.17.10.1 Buildable Area Analysis. Each lot or parcel shall be analyzed for buildable areas which must satisfy each of the following criteria that:

1. the average slope of the buildable area is less than twenty percent (20%), except that only fifty percent (50%) of any structure may be located on slope that is between twenty and thirty percent (20% and 30%);

2. soils within the area are acceptable for construction of foundations; and

3. the buildable area be closest to the nearest pre-existing public or private roadway or right-of-way, unless the resulting location of the buildable area would make the development in the area visible from the nearest major arterial road or unless such siting of the buildable area would not conform to the purposes, development criteria and design standards of this Section 7.17;

7.17.10.2. Visual Impact Analysis. Each proposed development site within a buildable area shall be subject to a visual impact analysis that will indicate whether such structures will be visible from a major arterial road. Such visual impact analysis shall include:

1. Erection of white story poles on each and every corner and, if applicable, on the pitch of any proposed structure on the site proposed for development. Story poles shall be consistent with the height of the proposed structure.

2. Photographs, using a telephoto lens or other technique that is adequate to establish a viewline and that adjusts for distances, or computer simulations taken from the nearest applicable major arterial road where a view of the site is possible.

3. Viewpoints shall be approved by the Administrator prior to the analysis, and additional viewpoints may be selected by the Administrator if the additional viewpoints would provide greater visual perspective on the proposed development site.

4. Sites that are visible. Where it is determined that the proposed development site is visible from a major arterial road, then the following alternatives shall be considered:

a. Selection of a less visible or non-visible development site;

b. Consolidation and/or adjustment of lot lines, relocation of buildable areas, and/or realignment of proposed roads and driveways.

c. Use of additional screening, buffering or setbacks.

7.17.10.3. Disturbed Area Limitation.

1. The disturbed area on any lot shall not exceed twelve thousand (12,000) square feet. The location and calculation of the disturbed area on the lot shall be identified on the site development plan.

2. All construction shall be completed and landscaped prior to construction to prevent



7.17.10. Development at or above 7400 Feet. Development at or above an elevation of 7400 feet will be subject to additional requirements.

7.17.10.1 Buildable Area Analysis. Each lot or parcel shall be analyzed for buildable areas which must satisfy each of the following criteria that:

1. the average slope of the buildable area is less than twenty percent (20%), except that only fifty percent (50%) of any structure may be located on slope that is between twenty and thirty percent (20% and 30%);
2. soils within the area are acceptable for construction of foundations; and
3. the buildable area be closest to the nearest pre-existing public or private roadway or right-of-way, unless the resulting location of the buildable area would make the development in the area visible from the nearest major arterial road or unless such siting of the buildable area would not conform to the purposes, development criteria and design standards of this Section 7.17;

7.17.10.2. Visual Impact Analysis. Each proposed development site within a buildable area shall be subject to a visual impact analysis that will indicate whether such structures will be visible from a major arterial road. Such visual impact analysis shall include:

1. Erection of white story poles on each and every corner and, if applicable, on the pitch of any proposed structure on the site proposed for development. Story poles shall be consistent with the height of the proposed structure.
2. Photographs, using a telephoto lens or other technique that is adequate to establish a viewline and that adjusts for distances, or computer simulations taken from the nearest applicable major arterial road where a view of the site is possible.
3. Viewpoints shall be approved by the Administrator prior to the analysis, and additional viewpoints may be selected by the Administrator if the additional viewpoints would provide greater visual perspective on the proposed development site.
4. **Sites that are visible.** Where it is determined that the proposed development site is visible from a major arterial road, then the following alternatives shall be considered:

- a. Selection of a less visible or non-visible development site;
- b. Consolidation and/or adjustment of lot lines, relocation of buildable areas, and/or realignment of proposed roads and driveways.
- c. Use of additional screening, buffering or setbacks.

7.17.10.3. Disturbed Area Limitation.

1. The disturbed area on any lot shall not exceed twelve thousand (12,000) square feet. The location and calculation of the disturbed area on the lot shall be identified on the site development plan.
2. All construction shall be fenced prior to construction to prevent

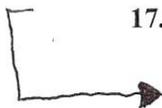


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damage to all areas that are not designated as the disturbed area on a lot.

3. Utility corridors, septic leach fields, construction staging areas and any other portion of the designated disturbed area that is not occupied by improvements shall be revegetated.

4. Walls or fences shall be included in calculating disturbed area when such walls or fences are impermeable with respect to overland sheet flow of water or would inhibit water infiltration.



17.10.4. Roads and driveways.

1. Roads and driveways shall not be designed or constructed on slopes of over twenty-five percent (25%).

2. Exceptions may be approved by the Administrator for roads and driveways proposed to cross slopes greater than twenty five percent (25%) that disturb no more than three (3) isolated occurrences of up to one thousand (1000) square feet each, provided the applicant demonstrates that crossing such slopes has minimal impact to terrain or to visual quality and otherwise would conform to the purposes, design criteria and development standards set forth in this Section 7.17.

7.17.10.5. Architectural and Appearance Standards.

1. Window and door glazing shall be limited to no more than thirty percent (30%) of a facade, except:

a. glazing shall be limited to no more than fifty percent (50%) under portals eight feet (8') or deeper.

b. Glazing shall be non-mirrored and the LRV shall be less than twenty percent (20%).

7.17.10.6. Setbacks. Setbacks shall be no less than one hundred feet (100') from a ridge, ridgetop, ridgeline or shoulder unless it can be demonstrated to the Administrator after a field inspection, that structures are non-visible from applicable public rights of way.

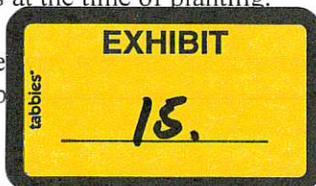
7.17.10.7. Screening Requirements.

1. The facade of any structure taller than four feet (4'), including retaining walls, which is visible from any public right-of-way shall be screened with appropriate shrubs or trees. New plants shall be the same as or similar to existing, indigenous trees on the site.

2. Screening requirements shall be coordinated with fire safety zones.

3. Trees used for required screening structures shall be a minimum of six feet (6') tall and one and one-half inch (1.5") caliper at the time of planting. In addition, fifty percent (50%) of required new shrubs shall be of a minimum size of five (5) gallons at the time of planting.

4. Except as otherwise required for screening purposes or fire safety zones, new vegetation shall be of the same species and density to that on the site prior to development.



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→ **14.9.7. Variances.**

14.9.7.1. Purpose. The purpose of this section is to provide a mechanism in the form of a variance that grants a landowner relief from certain standards in this code where, due to extraordinary and exceptional situations or conditions of the property, the strict application of the code would result in peculiar and exceptional practical difficulties or exceptional and undue hardship on the owner. The granting of an area variance shall allow a deviation from the dimensional requirements of the Code, but in no way shall it authorize a use of land that is otherwise prohibited in the relevant zoning district.

14.9.7.2. Process. All applications for variances will be processed in accordance with this chapter of the Code.

14.9.7.3. Applicability. When consistent with the review criteria listed below, the planning commission may grant a zoning variance from any provision of the SLDC except that the planning commission shall not grant a variance that authorizes a use of land that is otherwise prohibited in the relevant zoning district.

14.9.7.4. Review criteria. A variance may be granted only by a majority of all the members of the Planning Commission (or the Board, on appeal from the Planning Commission) where authorized by NMSA 1978, Section 3-21-8(C):

1. where the request is not contrary to the public interest;
2. where, owing to special conditions, a literal enforcement of the SLDC will result in unnecessary hardship to the applicant; and
3. so that the spirit of the SLDC is observed and substantial justice is done.

14.9.7.5. Conditions of approval.

1. The Planning Commission may impose conditions on a variance request necessary to accomplish the purposes and intent of the SLDC and the SGMP and to prevent or minimize adverse impacts on the general health, safety and welfare of property owners and area residents.
2. All approved variances run with the land, unless conditions of approval imposed by the Planning Commission specify otherwise.
3. All approved variances automatically expire within one year of the date of approval, unless the applicant takes affirmative action consistent with the approval.

14.9.7.6. Administrative minor deviations. The Administrator is authorized to administratively approve minor deviations upon a finding that the result is consistent with the intent and purpose of this SLDC and not detrimental to adjacent or surrounding properties as follows:

1. minor deviations from the dimensional requirements of Chapter 7 of the SLDC not to exceed ten percent (10%) of the required dimension.
2. minor deviations from the dimensional requirements of Chapter 8 of the SLDC not to exceed five tenths of a percent of the acreage allowed in the zoning district.



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14.9.7. Variances.

14.9.7.1. Purpose. The purpose of this section is to provide a mechanism in the form of a variance that grants a landowner relief from certain standards in this code where, due to extraordinary and exceptional situations or conditions of the property, the strict application of the code would result in peculiar and exceptional practical difficulties or exceptional and undue hardship on the owner. The granting of an area variance shall allow a deviation from the dimensional requirements of the Code, but in no way shall it authorize a use of land that is otherwise prohibited in the relevant zoning district.

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1. where the request is not contrary to the public interest;
2. where, owing to special conditions, a literal enforcement of the SLDC will result in unnecessary hardship to the applicant; and
3. so that the spirit of the SLDC is observed and substantial justice is done.

14.9.7.5. Conditions of approval.

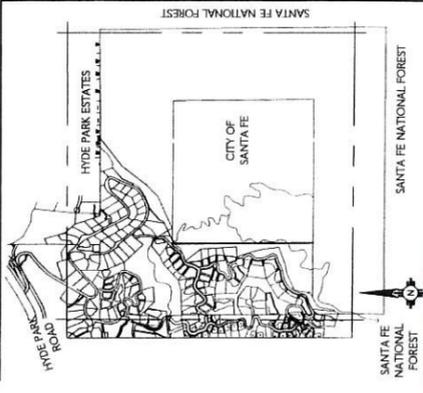
1. The Planning Commission may impose conditions on a variance request necessary to accomplish the purposes and intent of the SLDC and the SGMP and to prevent or minimize adverse impacts on the general health, safety and welfare of property owners and area residents.
2. All approved variances run with the land, unless conditions of approval imposed by the Planning Commission specify otherwise.
3. All approved variances automatically expire within one year of the date of approval, unless the applicant takes affirmative action consistent with the approval.

14.9.7.6. Administrative minor deviations. The Administrator is authorized to administratively approve minor deviations upon a finding that the result is consistent with the intent and purpose of this SLDC and not detrimental to adjacent or surrounding properties as follows:

1. minor deviations from the dimensional requirements of Chapter 7 of the SLDC not to exceed ten percent (10%) of the required dimension.
2. minor deviations from the density requirements of Chapter 8 of the SLDC not to exceed five tenths of a percent of the density allowed in the zoning district.



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Scale: 1" = 1500'

EXHIBIT 18.

MASTER PLAN AND FINAL DEVELOPMENT PLAN FOR SUBDIVISION
 LOTS 15, 16, 21 & 22
 SANTA FE COUNTY, NEW MEXICO

Owner:
Ralph L. Brutsche
 Ralph L. Brutsche, President of High Summit Corporation, A New Mexico Corporation

The foregoing was sworn, acknowledged and subscribed before me by Ralph L. Brutsche this 23rd day of November, 2008.
 My Commission Expires on 12-10-11

COUNTY AND CITY APPROVALS

Approved by the Extrajurisdictional Zoning Authority at their meeting of 12-4-08
 Extrajurisdictional Zoning Authority Chairman Date
12-2-08

Approved by the Extrajurisdictional Zoning Commission at their meeting of 11-13-08
 Extrajurisdictional Zoning Commission Chairman Date
11-19-08

Approved by Santa Fe County Land Use Administrator
12-31-08
 Santa Fe County Land Use Administrator Date

Approved by Santa Fe County Fire Marshal
11-17-08
 Santa Fe County Fire Marshal Date

Approved by Santa Fe County Public Works Director
11-17-08
 Santa Fe County Public Works Director Date

Approved by Santa Fe City Planner
12-22-08
 Santa Fe City Planner Date

This Amended Master Plan and Final Development Plan depict general lot layouts and open space areas. The final layout and open space tracts are governed by the final recorded subdivision plat for each phase of this development. Total number of lots and total open space shall be limited and required by the subdivision approval for this development.

SITE DATA
 Total Project Area = 154 Ac +/-
 New Development = 342 Ac +/-
 Total = 496 Ac +/-
 Allowable Density = 0 Ac +/-
 Density @ 2.5 Ac/Lot = 151.25 = 61.8 Ac
 Open Space Ratio of 4% used = 63.3 Ac
 Density Bonus is 6%
 61.8 x 6% = 3.71 Ac
 Allowable Lots = 61.8 + 3.71 = 65.51 = HOP (14)
 Total Dwellings Units = 107
 Number of HOP Homes = 93
 Number of Market Homes = 63.3 Ac
 Required Open Space = 61.88 Ac +/-
 Common Open Space = 15.0 Ac +/-
 Private Open Space on Lots = 46.78 Ac +/-
 Minimum Lot Size = 2.70 Ac +/-
 Maximum Lot Size = 2.70 Ac +/-
 Average Lot Size = 0.97 Ac +/-

Project has paved roads with City Water and Sewer Services.
 All homes to have residential fire suppression systems.
 This development is subject to a housing opportunity agreement with the City of Santa Fe for 14 Lots.

NOTE:
 1. All lands within the MSRD boundary shall be undisturbed and left in their natural condition except for emergency access as required by the County Fire Marshal.
 2. The following lots from South Summit are modified with this plan: Lots 24, 11A1, 36A, 37A, 31A.
 3. The following lots from High Summit are modified with this plan: Lots 7A1, 8A, 30A, 31A, 32A.
 4. Each lot shall have a minimum of 10% of the lot left in its natural condition as Private Open Space.

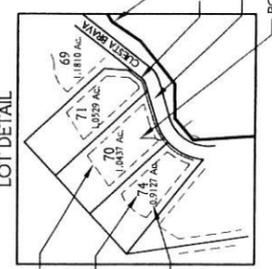
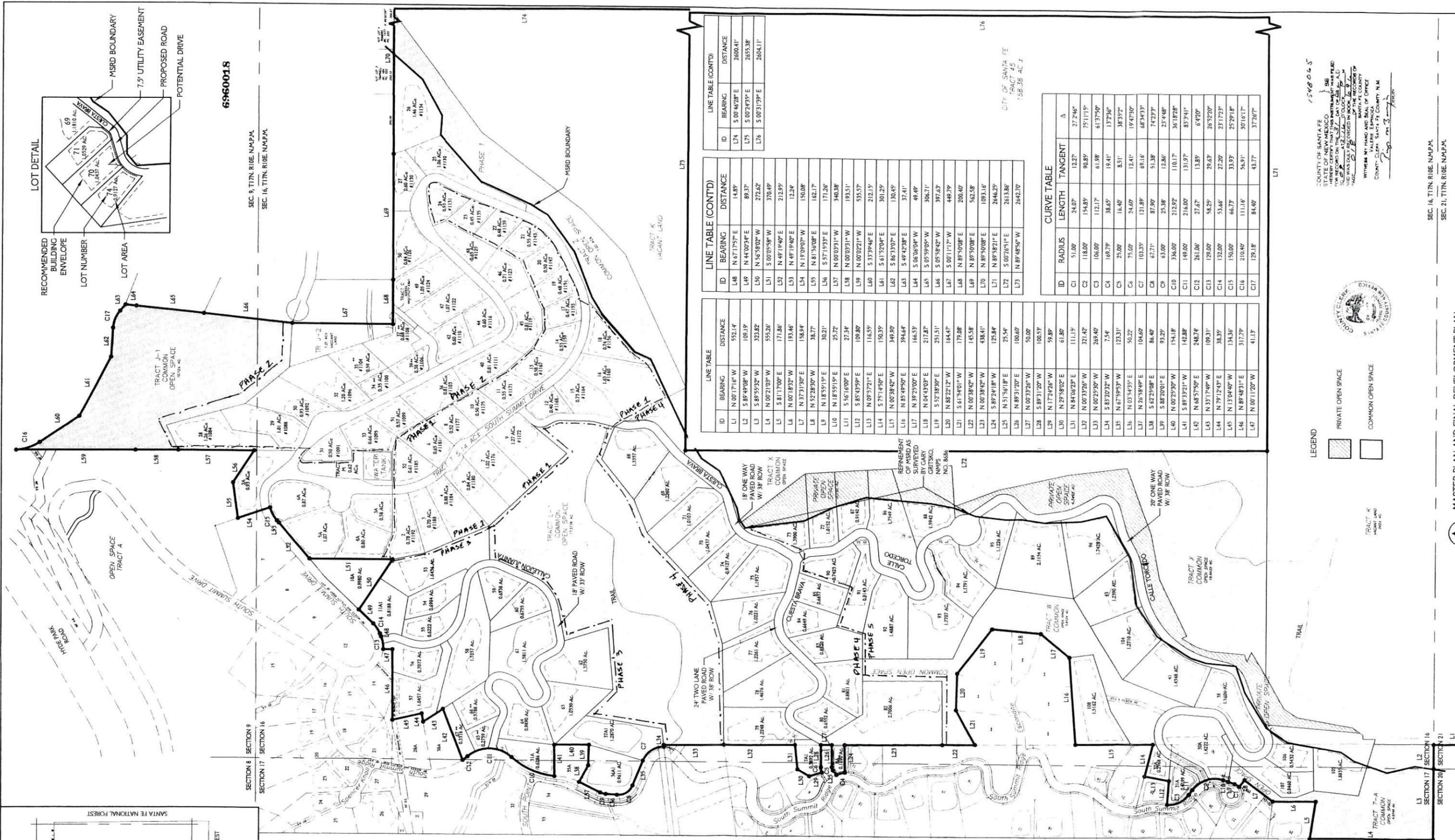
**1. Lots ** indicate HOP designated lots.

NBA-69

S F E C
 Santa Fe Engineering Consultants, LLC
 1599 St. Francis Drive, Suite B
 Santa Fe, N.M. 87505
 (505) 982-2845 Fax (505) 982-2641
 http://www.sfengr.com

HIGH SUMMIT III

MASTER PLAN AND FINAL DEVELOPMENT PLAN
 DATE: NOVEMBER 2008 SCALE: 1"=200' SHEET: 2



6960018

SEC. 9, T17N, R10E, NMP,M
 SEC. 16, T17N, R10E, NMP,M

LINE TABLE

ID	BEARING	DISTANCE
L1	N 00°17'16" W	532.14'
L2	S 89°49'08" W	109.19'
L3	S 89°59'52" W	323.82'
L4	N 00°21'03" W	555.86'
L5	S 81°17'00" E	171.86'
L6	N 00°18'52" W	193.84'
L7	N 37°31'30" E	138.84'
L8	N 81°56'08" E	162.17'
L9	N 18°59'19" E	302.21'
L10	N 18°59'19" E	25.72'
L11	S 5°16'40" E	27.34'
L12	S 85°49'59" E	109.80'
L13	N 09°57'21" E	116.59'
L14	S 7°51'45" E	150.35'
L15	N 00°38'42" W	349.80'
L16	N 85°49'59" E	394.64'
L17	N 39°29'00" E	166.53'
L18	N 04°43'03" E	211.87'
L19	S 92°39'00" E	251.51'
L20	N 88°22'12" W	164.47'
L21	S 61°54'01" W	179.08'
L22	N 00°38'42" W	145.58'
L23	N 00°38'42" W	438.41'
L24	S 89°24'18" W	125.84'
L25	N 51°54'18" E	25.54'
L26	N 89°31'20" E	100.60'
L27	N 00°33'26" W	50.00'
L28	S 89°31'20" W	100.53'
L29	N 17°24'26" W	59.89'
L30	N 29°58'02" E	61.89'
L31	N 84°02'23" E	111.15'
L32	N 00°33'26" W	321.42'
L33	N 00°29'30" W	269.40'
L34	S 83°20'32" W	7.54'
L35	N 67°59'59" W	123.31'
L36	N 02°54'35" E	50.22'
L37	N 26°58'49" E	104.60'
L38	S 62°25'08" E	86.40'
L39	S 88°29'01" E	93.25'
L40	N 00°29'30" W	154.18'
L41	S 89°33'21" W	142.88'
L42	N 68°57'50" E	246.74'
L43	N 33°17'49" W	109.31'
L44	N 79°12'43" E	38.39'
L45	N 13°04'40" W	134.36'
L46	N 89°48'31" E	317.79'
L47	N 00°11'20" W	41.13'

LINE TABLE (CONTD)

ID	BEARING	DISTANCE
L48	N 67°17'57" E	14.89'
L49	N 44°00'34" E	89.37'
L50	N 56°58'02" W	272.62'
L51	S 00°05'58" W	370.49'
L52	N 49°19'40" E	212.99'
L53	N 49°19'40" E	12.24'
L54	N 19°09'07" W	150.08'
L55	N 81°56'08" E	162.17'
L56	S 37°15'33" E	171.26'
L57	N 00°03'31" W	340.38'
L58	N 00°03'31" W	193.51'
L59	N 00°02'21" W	535.57'
L60	S 33°39'46" E	212.15'
L61	S 61°52'04" E	301.29'
L62	S 86°33'07" E	130.49'
L63	S 49°42'38" E	37.41'
L64	S 05°06'04" W	49.49'
L65	S 05°59'05" W	308.71'
L66	S 05°58'42" W	397.63'
L67	S 00°11'17" W	449.79'
L68	N 89°50'08" E	200.40'
L69	N 89°50'08" E	562.58'
L70	N 89°50'08" E	109.31'
L71	N 89°58'21" E	264.63'
L72	S 00°26'15" E	281.386'
L73	N 89°48'56" W	2442.70'

LINE TABLE (CONTD)

ID	BEARING	DISTANCE
L74	S 09°42'28" E	2600.41'
L75	S 00°24'35" E	2655.38'
L76	S 00°31'59" E	2664.11'

CURVE TABLE

ID	RADIUS	LENGTH	TANGENT	Δ
C1	51.00'	24.07'	12.27'	27.246°
C2	118.00'	154.85'	90.89'	75°11'15"
C3	106.00'	112.17'	61.98'	61°37'50"
C4	167.79'	38.65'	18.41'	13°27'36"
C5	25.00'	16.40'	8.51'	38°32'22"
C6	75.00'	24.60'	12.41'	19°47'30"
C7	103.35'	121.89'	69.16'	68°34'33"
C8	67.71'	87.90'	51.38'	74°23'39"
C9	63.00'	25.38'	12.86'	23°44'48"
C10	334.00'	212.92'	110.17'	36°18'28"
C11	149.00'	216.00'	131.97'	83°34'41"
C12	261.00'	27.67'	13.89'	6°42'00"
C13	129.00'	58.29'	29.63'	26°32'20"
C14	132.00'	53.66'	27.20'	23°17'23"
C15	150.00'	66.79'	33.93'	25°29'18"
C16	210.40'	111.16'	56.91'	30°16'17"
C17	1291.8'	84.40'	43.77'	37°26'7"



LEGEND
 [Hatched Box] PRIVATE OPEN SPACE
 [White Box] COMMON OPEN SPACE

SEC. 16, T17N, R10E, NMP,M
 SEC. 21, T17N, R10E, NMP,M

MASTER PLAN AND FINAL DEVELOPMENT PLAN
 SCALE: 1"=200'



COUNTY OF SANTA FE
 STATE OF NEW MEXICO
 COUNTY CLERK
 I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN THE PUBLIC RECORDS OF SANTA FE COUNTY, NEW MEXICO, ON THIS 23RD DAY OF NOVEMBER 2008.
 WITNESS MY HAND AND SEAL OF OFFICE
 COUNTY CLERK, SANTA FE COUNTY, N.M.
 15468045