

SUMMARY:

History of the Subdivision:

Tessera Subdivision is a residential subdivision which consists of 166 residential lots and was to be developed in two (2) phases. Phase 1 consisted of 88 lots and Phase 2 consisted of 78 lots on 146 acres.

The subject property received Master Plan approval for 88 lots on 84 acres in the late 1990's under the name of College Hills.

On December 18, 2001, the EZA (Extraterritorial Zoning Authority) granted a Master Plan Amendment for the Tessera Subdivision (formerly College Hills) which consisted of 166 residential lots on 145.97 acres to be developed in 2 phases. Phase 1 consisted of 88 lots on 76.57 acres and Phase 2 consisted of 78 lots on 69.56 acres.

On December 12, 2002, the EZC granted Preliminary Plat and Development Plan approval for Phase I of the Tessera Subdivision (88 lots). On January 13, 2004, the BCC granted Final Plat and Development Plan approval for Phase I. The Final Plat for Phase 1 was recorded on April 5, 2007.

On August 12, 2014, the Board of County Commissioners (BCC) approved a request for Preliminary Plat and Development Plan for Phase 2 of the Tessera residential subdivision consisting of 78 lots on 69.56 acres.

On December 8, 2015, the Board of County Commissioners (BCC) approved a request for a 36-month time extension of the Preliminary Plat and Development Plan for the Tessera Residential Subdivision Phase 2 approval under Article V, Section 5.3.6.a of the Santa Fe County Land Development Code, Ordinance 1996-10 (Code).

The Applicant now requests Final Plat approval for Phase two of the Tessera Residential Subdivision to create 78 lots on 69.56 acres with 35 acres or over 50% designated as permanent open space.

The applicable requirements under the Santa Fe County Sustainable Land Development Code, Ordinance No. 2015-11 (SLDC), which governs this Application are the following:

Chapter 5, Section 5.8.1, Final Plat, When Required, states:

Final plat approval is required for all subdivisions, both major and minor. No final plat shall be recorded until a final plat has been approved as provided in this section, or in the case of a minor subdivision as provided in Section 5.6.

Chapter 5, Section 5.8.2, Application, states:

An application for final plat approval shall be filed with the Administrator and include all information and submittals required by this Chapter. If the approved preliminary plat permitted phasing or sectionalizing, the application shall submit an application only for the phase(s) proposed.

Chapter 5.8.3 Compliance with Preliminary Plat (Major Subdivisions), states:

The final plat for a major subdivision shall conform to the approved amended preliminary plat, including all conditions and mitigation requirements contained within the development order approving the preliminary plat. No deviation from the approved or approved amended preliminary plat, together with all conditions and mitigation requirements, shall be authorized to be granted at final approval; any deviation from the development order granting the preliminary plat approval shall require an amendment.

The Applicant's request for Final Plat approval for Tessera 2 residential subdivision above meets the requirements of the SLDC and the conditions as set forth in the Preliminary Plat approval.

The Applicant presented the Application to the Technical Advisory Committee (TAC) on October 20, 2016, at the regularly scheduled meeting, as required by Chapter 4, Section 4.4.4.3 Pre-application TAC Meeting and Table 4-1.

Notice requirements were met as per Chapter 4, Section 4.6.3., General Notice of Application Requiring a Public Hearing, and Section 4.6.5, Specific Notice Applicable to Subdivisions of the SLDC. In advance of a hearing on the Application, the Applicant provided an affidavit of posting of notice of the hearing, confirming that public notice posting regarding the Application was made for twenty-one days on the property, beginning on December 20, 2016. Additionally, notice of hearing was published in the legal notice section of the Santa Fe New Mexican on December 20, 2016, as evidenced by a copy of that legal notice contained in the record. Notice of the hearing was sent to owners of land within 500' of the subject property and a list of persons sent a mailing is contained in the record.

This Application was submitted on November 8, 2016.

This Application was reviewed for compliance with the applicable standards as set forth in the SLDC as follows:

ENVIRONMENTAL IMPACT REPORT (Section 6.3)

The Applicant requested that the Environmental Impact Analysis be waived, as the previous approvals for Tessera 2 by Homewise Inc., provided all of the same information required by the SLDC.

ADEQUATE PUBLIC FACILITIES & SERVICES ASSESSMENT (Section 6.4)

The project site is within the Santa Fe County Utilities service area boundary and Tessera Phase 1 is already being served by the County.

The development included three 24-foot wide paved roads which pass through the Tessera 2 site. The roads have curb and gutter. Via Tessera connects NM599 Frontage Road to the Subdivision from the south. East Via Plaza Nueva runs east to west and connects Via Tessera to the Aldea subdivision. Via Summa runs parallel to Via Tessera and connects East Via Plaza Nueva to Tessera Phase 1. Additional internal roads for Phase 2 will be constructed to County standards.

A looped trail natural trail system for pedestrian, equestrians and bicyclists that connects to the NM 599 pedestrian-equestrian underpass will be developed.

WATER SERVICE AVAILABILITY REPORT (Section 6.5)

The Water Line Extension and Water Delivery Agreement was approved by the BCC in January, 2016. The project is fed by a network of County owned 8-inch water lines all lying within the existing Teserra roads. Water use will be restricted to 0.25-acre feet per year per dwelling, conservation features will be installed in all dwellings in accordance with SLDC requirements, and xeriscaping will be encouraged.

TRAFFIC IMPACT ASSESSMENT (Section 6.6)

The Traffic Impact Analysis for Tesslera 2 indicates that roads will operate at a level A.

Site specific peak hour traffic counts were conducted at the intersections of NM 599 Frontage Road/Camino La Tierra and NM599 Frontage Road/Via Tesslera, The intersections were analyzed for the existing conditions and both have adequate capacity for the existing conditions.

The warrants for right and left turn deceleration lanes were checked. A left turn deceleration lane is not warranted for this project. However, a right turn deceleration lane is required on NM 599 Frontage Road and currently exists to serve Via Tesslera Road.

ACCESS (Section 7.4) AND ROAD DESIGN STANDARDS (Section 7.11)

The existing subdivision is accessed by Via Tesslera, which is a private road off of the NM 599 Frontage Road. Via Tesslera is an existing twenty (20) foot paved road with curb and gutter.

Public Works has reviewed the submittal and Traffic Impact Analysis, dated April 2014, and feels they can support the project for Final plat approval for Tesslera 2 subject to compliance with conditions of approval referenced in the letter dated December 1, 2016 in Exhibit 3.

FIRE PROTECTION (Section 7.5)

Currently, only one firehydrant exists within the Tesslera 2 site. Six additional hydrants will be installed. Homes will be within 700-feet of a fire hydrant capable of producing 100 gallons per minute at a residual pressure of 20 psi.

All roadways have been designed to meet County Fire requirements and the secondary access to Aldea is proposed to be gated and equipped with a Knox Lock. Roads shall be 20 feet wide all-weather driving surfaced. Parking on roadway is not allowed.

Maximum size for islands within cul-de-sacs shall be 20 feet in diameter. Roll over curbs shall be required with no obstructions in the curbs or sidewalk areas.

The Santa Fe County Fire Department, Fire Prevention Division reviewed the Application and recommends approval subject to conditions of approval at time of development. All conditions shall comply with the Uniform Fire Code, inclusive to all sub-sections and current standards, practices and rulings of the Santa Fe County Fire Marshal.

LANDSCAPING AND BUFFERING (Section 7.6)

All lots will drain to either the open spaces or the roadways, which in turn, will flow to the open spaces. Cut slopes will be graded at 2:1, while fill slopes will be graded to 3:1 or gentler. All disturbed areas will be stabilized and revegetated with a native grass seed mixture.

LIGHTING (Section 7.8)

Chapter 7, Section 7.8.2.4.1 (Fixture Height) of the SLDC states: "Any pole-mounted lighting shall have a maximum height of twenty-five (25) feet. In or within thirty-five (35) feet of any residential zoning district, all light fixtures shall not exceed sixteen (16) feet in height."

The Applicant is proposing street lights 25 feet tall. The proposed street lights are within a residential zoning district, therefore, height cannot exceed 16 feet.

SIGNS (Section 7.9)

Currently there exists one subdivision sign that was approved and constructed with the Phase 1 development. No additional signage is proposed.

PARKING/LOADING (Section 7.10)

Parking will be on-site.

WATER SUPPLY, WASTE WATER & WATER CONSERVATION (Section 7.13)

The project site lies within the Santa Fe County Utilities service area boundary for water and Tessera Phase 1 is already being served by the County. The Water Line Extension and Water Delivery Agreement for Tessera 2 was approved by the BCC in January 2016.

The project is fed by a network of County owned 8-inch water lines all lying within existing roadways. All County water service conditions and rules will be applied to customers in Tessera 2.

Low water use landscaping techniques will be utilized including the use of a timed drip irrigation system, mulching, and low water use grasses and plants. Indoor water saving fixtures will be utilized.

A low-pressure wastewater collection system was installed in Phase 1 and that system passes through the existing roads within Tessera 2. A low-pressure line extends under NM599 and continues south nearly 2-miles to end at a City of Santa Fe sewer manhole located on the north bank of the Santa Fe River. The wastewater system is privately owned and maintained by the Tessera Sewer Cooperative.

In 2003, the City granted sewer service to Phase 1 of Tessera only, with a requirement that any future phase must request a separate City approval. In October 2016, the City Council approved the connection of Tessera 2 to the City's wastewater collection system. Homes within this phase will have to be equipped with individual grinder pumps to connect to the low-pressure collection lines.

OPEN SPACE (Section 7.15)

A total of 34.9 acres of land will be dedicated as permanent open space. This is a little over 50% of the project site and 0.75 acres more than was required per the original master plan. Within the open space, a looped natural trail system for pedestrian, equestrian and bicyclists that connects to the Tessera Phase 1 and the NM 599 pedestrian-equestrian under pass will be developed.

Approximately 4,400 feet of trails have been constructed and the trails will be maintained by the Tessera Owner's Association and will be dedicated for public use.

PROTECTION OF HISTORIC AND ARCHAEOLOGICAL RESOURCES (Section 7.16)

An Archaeological Investigation of the entire site was conducted in 2003. Two Archaeological sites exist and have been placed within the permanent open space and will not be disturbed.

TERRAIN MANAGEMENT (Section 7.17)

The proposed development has been designed to protect the natural vegetation while minimizing soil erosion and sediment transport during storms. The roads have been designed to follow the natural contours of the land and minimize disturbance.

The increase in stormwater runoff due to the proposed development of roads and construction of 78 homes will be mitigated by the construction of 7 detention ponds with the capacity to handle more than 78,350 cubic feet of water. The ponds will be maintained by the Tessera Owners Association. Individual on-lot ponds will not be necessary.

FLOOD PREVENTION AND FLOOD CONTROL (Section 7.18)

The Arroyo Frijoles, a designated flood hazard zone is located on the north boundary of Tessera Phase 1, within the open space adjacent to Las Campanas. No other flood zones pass through the project.

Within Tessera 2, there are nine well defined arroyos, all but 2 carry less than 25 cubic feet per second (cfs) during the 100-year, 24-hour storm event. All arroyos are within designated open space and no lot line will be within 25-feet of an arroyo.

Only one new arroyo crossing will be developed with this project and a 24-inch culvert will be installed to carry the stormwater under the road.

SOLID WASTE (Section 7.20)

Currently Tessera Phase 1 is served by Ibarra's Trash Service and Tessera 2 will also be served by this company.

OPERATION AND MAINTENANCE OF COMMON IMPROVEMENTS (Section 7.23)

Tessera 2 will adopt the same Declaration of Covenants, Conditions and Restrictions that exist for Phase 1 of Tessera. These covenants, conditions and restrictions will be enforced by the Tessera Owners Association.

AFFORDABLE HOUSING (Chapter 13)

Homewise, Inc. will comply with the County's 15% affordable housing requirement. An Affordable Housing Agreement for Tessera 2 was approved by the BCC in September 2015. The Agreement includes a total of 12 affordable homes to be built throughout the development, which will comply with County's affordable housing regulations. Three homes will be provided in each of the 4 Income Ranges.

AGENCY REVIEW (Exhibit 3)

<u>Agency</u>	<u>Review Comment</u>
NMDOT	Approval

NMED	No Comment
OSE	No Comment
SHPO	Approval
County Public Works	Approval w/Conditions
County Fire Marshal	Approval w/Conditions
County Utilities	Approval w/Conditions
County Planning Division	No Comment
Soil and Water	No Comment
Santa Fe Public Schools	No Comment
County Open Space and Trails	No Comment
County Affordable Housing	Approval

RECOMMENDATION:

Building and Development Services staff reviewed this project for compliance with conditions of the Preliminary Plat approval and for compliance with pertinent SLDC requirements and found that the facts presented support the request for Final Plat approval for the Tessera Phase 2 residential subdivision consisting of 78 lots on 69.56 acres subject to the following conditions:

1. Compliance with applicable review comments from the following:
 - a. NMDOT
 - b. NMED
 - c. OSE
 - d. SHPO
 - e. County Public Works
 - f. County Fire Marshal
 - g. County Utilities
 - h. County Planning Division
 - i. Soil and Water
 - j. Santa Fe Public Schools
 - k. County Open Space and Trails
 - l. County Affordable Housing
2. Final Plat with appropriate signatures shall be recorded with the County Clerk's office.
3. Street lamps shall not exceed 16 feet in height.
4. The Applicant shall enter into a Subdivision Improvement Agreement with the County for completion of all subdivision improvements on-site and off-site, this agreement shall be signed by the Administrator, recorded and referenced on the plat.

EXHIBITS:

1. Development Plan Report
2. Proposed Plans
3. Reviewing Agency Responses
4. Aerial Photo of Site
5. Legal Notice

DESIGN ENGINUITY



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November 4, 2016

Santa Fe County Commissioners

RE: Tessera 2 Final Development Plan and Final Subdivision Plat for a 78-lot Residential Project by Homewise

Dear Commissioners,

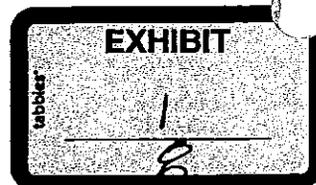
On behalf of our client, Homewise, we submit the attached application for Final Development Plan and Plat approval for the second phase of the Tessera project. The project received Master Plan approval in late 1990's under the name of "College Hills". The master plan was amended in December 2001 by the EZA under the old Extraterritorial Zoning Regulations to have a total of 166 lots on 146 acres, and to be developed in two phases of 88 lots and 78 lots each respectively. In January 2004, Phase 1 was approved by the Board of County Commissioners. The developer, Northwest Villages LLC, installed the roads and utilities needed for Phase 1, before losing the property during the economic downturn. In 2012 Homewise purchased the land and posted a financial guarantee for the few items in Phase 1, such as trails, which had not been installed. Since, all Phase 1 improvements have been completed and the project is well on its way to being built out, with twenty two lots remaining of the original 88 lots.

Tessera 2 received Preliminary Development Plan and Plat approved by the BCC on July 2014. In November 2015, the BCC granted an extension of the Preliminary Development Plan and Plat approval due to delays in a joint agreement between the City of Santa Fe and Santa Fe County regarding Tessera 2 sewer service. That agreement was finalized in October 2016.

In anticipation that the Sustainable Land Development Code would take effect before this project received final plat and plan approval, the second phase was designed to meet the new code requirements. The project facts are summarized below.

REQUEST

On behalf of Homewise, we request Final Development Plan (Figure 1) and Final Plat approval for Tessera 2, a 78-lot subdivision. No variances are necessary.



GENERAL DESCRIPTION

Tessera 2 will add 78 homes to the Tessera development for a total of 166 residential lots. The entire project is on 146 acres; Tessera 2 will encompass 69.4 acres. Nearly 35 acres, or over 50% of the property, will be designated as permanent open space. Homewise, Inc. intends to build and sell all the homes, and it anticipates to have the entire 166 lots fully built out within 5 years. Tessera is served by County water. Fire hydrants are located throughout the project. Because of the topography, and in an effort to keep sewer lines outside arroyos, a low-pressure wastewater collection system was installed. Therefore, each home is required to have a grinder pump to connect to the system. Tessera Phase 1 wastewater is conveyed to the City system, at a manhole near the Santa Fe River. In October of this year, the Santa Fe City Council agreed to accept Tessera 2 wastewater. Four interconnected roads will serve Tessera 2. Three short (500 feet or less) cul-de-sacs will also be developed. All roads will be paved and have mountable curbs. No homes will be developed in the former 599 Highway Corridor, and there is a 295-foot wide open space corridor along NM 599 Frontage Road. The closest home to 599 will be more than 400 feet away from the ROW line. Twelve homes, or 15% of the total to be built, will be sold in compliance with the County's Affordable Housing Regulations. Natural surface paths will be developed in a loop around the project.

LOCATION

Tessera 2 is located to the north of the NM 599 West Frontage Road, and about ¾ of a mile west of the La Tierra's exit ramp. Aldea de Santa Fe neighbors the property to the west. To the north is Tessera Phase 1 and Las Campanas. To the east are 3 large, narrow residential lots. And to the south is NM 599 West Frontage Road. The project is located within Section 20, of Township 17 North, Range 9 East, as shown on Figure 2.

EXISTING CONDITIONS

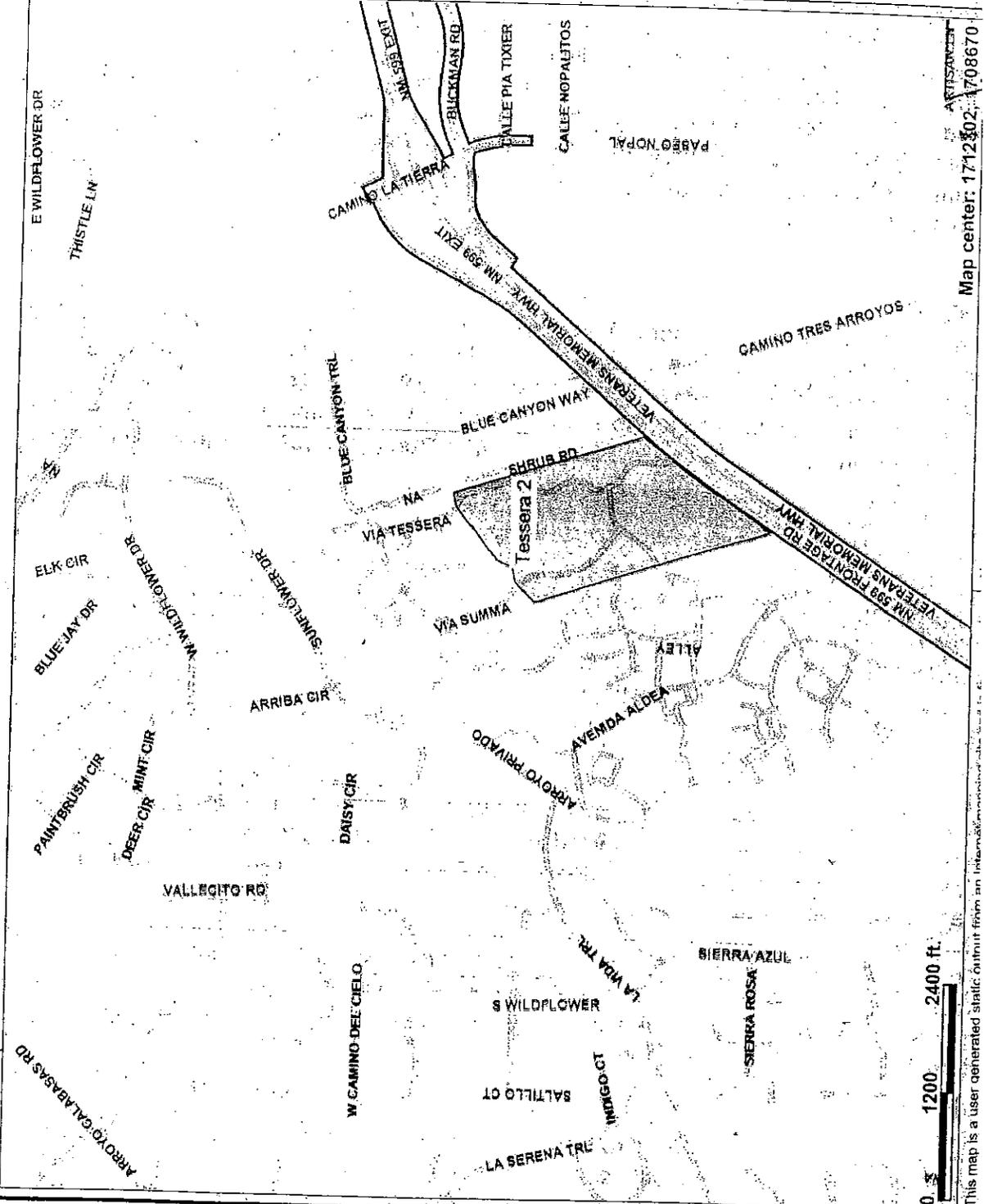
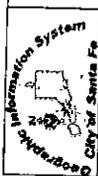
Tessera 2 encompasses 69.4 ± acres. The development of Phase 1 of Tessera, included three 24-foot wide paved roads, which pass through the Tessera 2 site. These roads have curb and gutter and have been properly culverted to convey the 100-year storm event flows. Via Tessera connects NM 599 Frontage Road to Tessera Phase 1. East Via Plaza Nueva runs roughly east west and connects Via Tessera to the Aldea Plaza. Via Summa runs roughly north-south, parallel to Via Tessera, and connects East Via Plaza Nueva to Phase 1.

Within and along these three roads are 10" and 8" County-owned water lines, 4" low-pressure private sewer lines, installed within a joint-utility trench along with electric, cable, telephone and gas lines. Most of the necessary utility mains necessary for Tessera 2 have already been installed.

The remainder of the project site is undisturbed rolling hills cut by some minor arroyos. Terrain grades are generally less than 15% except along the banks of arroyos, where grades are steeper. A dirt stockpile exists on one future lot. The vegetation is dominated by juniper and piñon trees, along with thin understorey made of grass, cactus, and brush.

Along the north border of the property, between existing Phases 1 and proposed Phase 2, there is an arroyo that would carry 200 cubic feet per second during the 100-year storm event. Smaller arroyos cross the site and convey their waters either to this

City of Santa Fe



Scale: 1:20,248

Map center: 1712302, 708670

This map is a user generated static output from an Internet-based GIS application.

Figure 2

northside arroyo or towards the Frontage Road. Two small detention ponds have been installed in Tesslera 2 to compensate for the road construction.

At the Frontage Road a deceleration lane was installed for right turns into the project.

PROJECT SOILS

The on-site soils have been mapped by the US Natural Resource Conservation Service and the soil mapping can be found on their web page: websoilsurvey.nrcs.usda.gov.

The soils present, percentage and hydrologic soil group are listed below:

- 68.1% Tanoan-Encantado Complex (201) Hydrologic Soil Group B
- 16.2% Buckhouse-Altazano Complex (203) Hydrologic Soil Group B
- 14.6% Nazario gravelly loam (205) Hydrologic Soil Group B
- 0.7% Levante-Riverwash Complex (213) Hydrologic Soil Group A
- 0.3% Alire Loam (202) Hydrologic Soil Group B

Tanoan-Encantado Complex and Buckhouse-Altazano Complex soils cover the lands which will be developed as roads and homes. These soils are gravelly sandy loams and sandy loams well suited for road and house foundations. The other soils are generally located in and along the arroyos. All on-site soils are very porous.

ACCESS

The primary access to Tesslera 2 is from Via Tesslera's connection to the 599 Frontage Road. Secondary emergency access is from East Via Plaza Nueva which connects to the Aldea Plaza and Aldea's road system. This second access is proposed to be gated and equipped with Knox Locks. Both accesses are paved. The project has a NMDOT permit for the existing Frontage Road access (Attachment A).

FLOOD HAZARD

The Arroyo Frijoles, which has a FEMA designed floodplain is located on the north boundary of Tesslera Phase 1, within the open space adjacent to Las Campanas. No other floodplains pass through the project. Within Tesslera 2 there are nine well defined arroyos, all but 2 carry less than 25 cubic feet per second (cfs) during the 100-year, 24-hour storm event. The largest arroyo within the project is located on the north boundary of Tesslera 2. This arroyo is anticipated to carry 200 cfs during a 100-year, 24-hour storm event. All arroyos are within designated open spaces and no lot line will be within 25 feet of an arroyo capable of producing 25 cfs or more. Only one new arroyo crossing will be developed with this project, and a 24-inch culvert will be installed to carry the stormwater under the road.

TERRAIN MANAGEMENT

The proposed development has been designed to protect and enhance the natural beauty of the land and vegetation, while minimizing soil erosion and sediment transport during storms. The four roads to be constructed have been designed to follow the natural contours of the land and minimize disturbance. Some grading is proposed within lots, to generate the necessary road fill material, and to provide easier access to the new roadways. There is only two planned disturbance of 30% slopes, both at the only proposed arroyo crossing, where 675 and 350 square feet of steeply-sloped terrain

will be impacted. All proposed lots are dominated by slopes of less than 15%. Steeper terrain is generally confined to the open space.

The increase in stormwater runoff due to the proposed development of roads and construction of 78 homes will be mitigated by the construction of 7 detention ponds with the capacity to handle more than 78,350 cubic feet of water. These centralized ponds will be maintained by the Tessera Owners Association and individual on-lot ponds will not be necessary. A summary of the drainage analysis is provided in Attachment B.

All lots will drain to either the open spaces or the roadways, which, in turn, will carry the flows to the open spaces. Cut slopes will be graded at 2:1, while fill slopes will be graded to 3:1 or gentler. All disturbed areas will be stabilized and revegetated with a native grass seed mixture.

TRAFFIC

A Traffic Impact Analysis has been prepared for the entire Tessera project by Santa Fe Engineering. This analysis indicates that all project roads will operate at a level A. The nearest major intersection is the 599 Frontage Road with Camino La Tierra which is predicted to operate at a level C or better at final project buildout. A copy of the TIA is provided under separate cover.

WATER

The project site is within the Santa Fe County Utilities service area boundary, and Phase 1 of Tessera is already being served by the County. The Water Line Extension and Water Delivery Agreement for Tessera 2 was approved by the BCC in January 2016 (Attachment C). The project is fed by a network of County owned 8-inch water lines, all lying within existing Tessera roadways. All County water service conditions and rules will be applied to customers in Tessera 2. There is no reason to believe that customers in Tessera 2 will consume water in volumes above the average within the service area, and we anticipate that, in the worst case scenario, the total volume consumed per household will not exceed 0.25 acre-feet per year for a single family residence. Low water use landscaping techniques will be utilized including the use of a timed drip irrigation, mulching, and low water use grasses and plants. Indoor water saving fixtures will be standard, including 1.6 gallon per flush toilets and systems that deliver hot water within 5 seconds of a tap being opened. Proposed water restrictions are provided in Attachment D.

FIRE PROTECTION

Currently, only one fire hydrant exist within the Tessera 2 site, and six additional hydrants will be installed. Each home will be within 700-feet of a hydrant capable of producing 1000 gallons per minute at residual pressure of 20 psi. All roadways have been designed to meet the County Fire Marshal requirements. The secondary access to Aldea roads is proposed to be gated and equiped with Knox Locks.

WASTEWATER

Given the rolling terrain, and a desire to keep wastewater lines out of water courses, a low-pressure wastewater collection system was installed in Phase 1, and that system passes through all the existing roads in Tessera 2. A low-pressure line extends under NM 599, and continues south nearly 2- miles to end at a City of Santa Fe sewer

manhole located on the northbank of the Santa Fe River. The wastewater collection system is privately owned and maintained by the Tessera Sewer Cooperative.

In 2003, the City granted sewer service to Phase 1 of Tessera only, with a requirement that any future phase must request a separate City approval. In October 2016 the City Council approved the connection of Tessera 2 to the city's wastewater collection system (Attachment E). Homes within Tessera 2 development will have be equipped with individual grinder pumps, to connect to the low-pressure collection lines.

DRY UTILITIES

Natural gas, electricity, telephone and Comcast mains lay within the existing Tessera roadways. The developer will installed all required dry utility improvements so that each home will have direct access to these services.

SOLID WASTE

Currently Tessera, Phase 1 is served by Ibarra's Trash Service and Tessera 2 will also be served by this company.

AFFORDABLE HOUSING

Homewise, Inc. is happy to comply with the County's 15% affordable housing requirement and an Affordable Housing Agreement for Tessera 2 was approved by the BCC September 2015 (Attachment F). The Agreement includes a total of 12 affordable homes to be built on lots scattered throughout the development, which will comply with the County's affordable housing regulations. Three homes will be provided in each of the 4 Income Ranges.

OPEN SPACE

A total of 34.9± acres of land will be dedicated as permanent open space in Tessera 2. This is a little over 50% of the project site and ¾ of an acre more than was required per the original approved Master Plan. Within the open space, we intend to develop a looped natural trail system for pedestrian, equestrians and bicyclist that connects to the trails within Tessera Phase 1 and the NM 599 pedestrian-equestrian underpass. Approximately 4400 feet of trails have been constructed within Tessera 2 to date. The trails will be maintained by the Tessera Owners Association and be dedicated for public use.

ARCHAEOLOGY

An archaeological investigation of the entire Tessera property was conducted in 2003. Two archaeogloical sites exist on the Tessera 2 property. These sites have been placed within the permanet open space and will not be disturbed.

SCHOOL IMPACT

It is anticipated that homes in this subdivision will be primary homes and 24 school age children will live in the 78 homes at full build out. Gonzales Elementary, Alameda Junior High and Capital High School will serve the project. A school impact report was submitted to the Santa Fe School District in 2014 (Attachment G).

DISCLOSURE STATEMENT

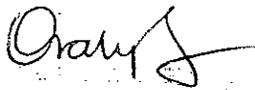
The disclosure statement prepared for Tessera 2 is included as Attachment H.

RESTRICTIVE COVENANTS

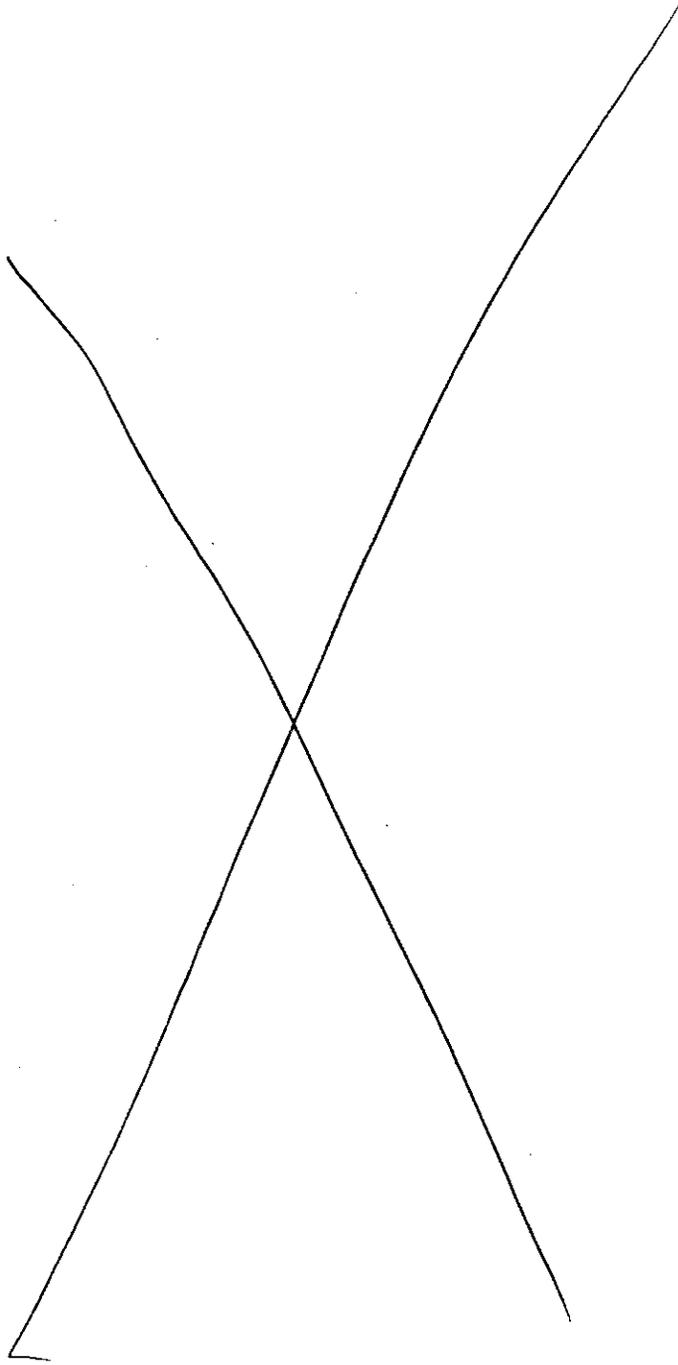
This subdivision will adopted the same Declaration of Covenants, Conditions and Restrictions that exist for Phase 1 of Tessera. A copy of these covenants is provided as Attachment I.

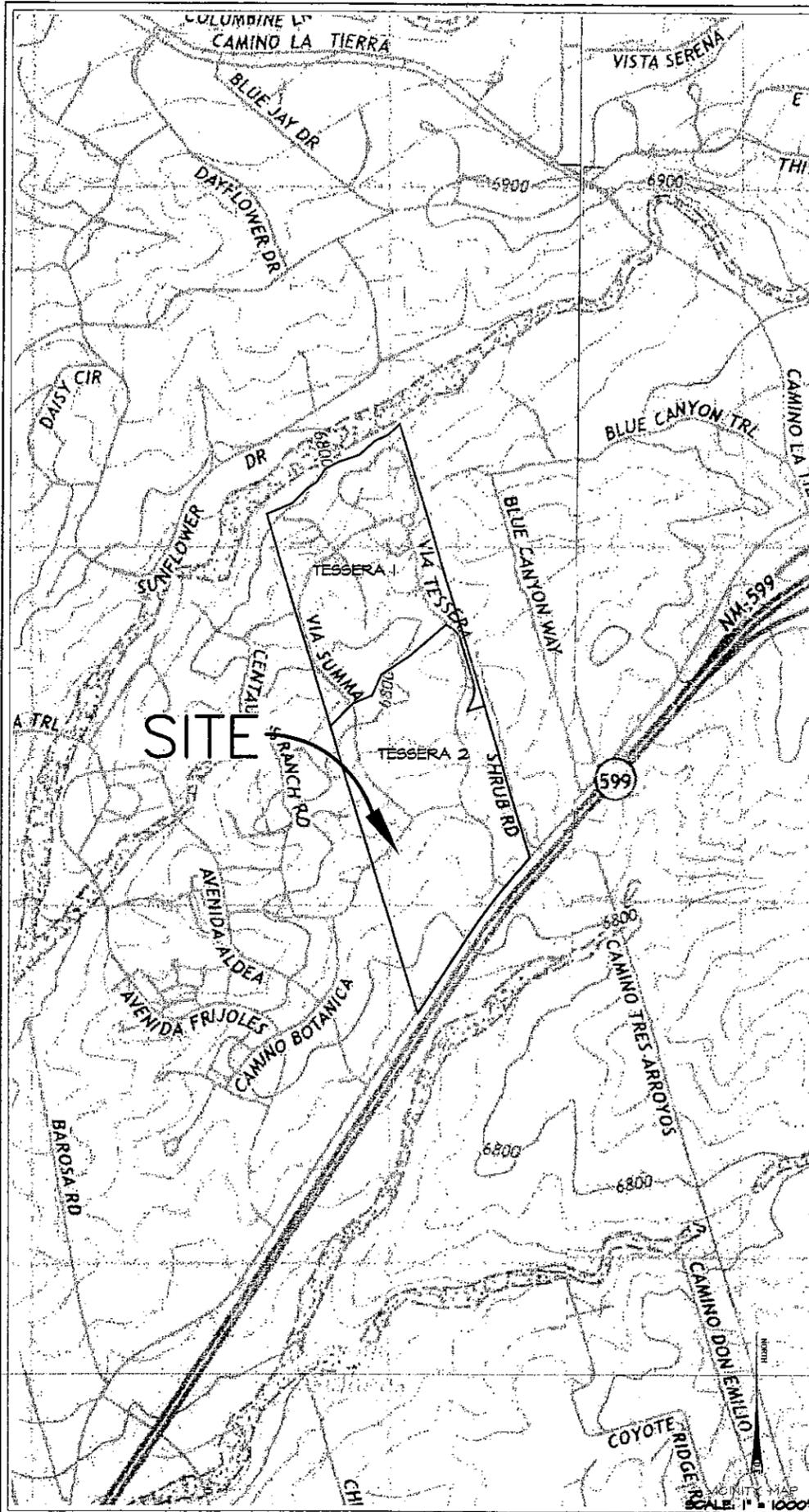
Thank you for consideration of this request.

Sincerely,



Orallynn Guerrerortiz, PE





TESSERA

TESSERA 2

FINAL DEVELOPMENT PLAN & PLAT

SECTION 20, T17N R9E
SANTA FE, NEW MEXICO

SHEET LIST

- 1 COVER SHEET
- 2 FINAL DEVELOPMENT PLAN
- 3-6 FINAL SUBDIVISION PLAT
- 7 CERTIFIED TOPOGRAPHY
- 8 EXISTING CONDITIONS & SOILS MAP
- 9 SLOPE ANALYSIS
- 10 TRAILS & OPEN SPACE
- 11 ROADWAY PLAN & TYPICAL SECTIONS
- 12-15 ROAD PLANS & PROFILES
- 16 TRAFFIC SIGNAGE AND STRIPING PLAN
- 17 TERRAIN MANAGEMENT PLAN
- 18-19 DETENTION POND GRADING
- 20 MISCELLANEOUS DETAILS
- 21-23 MASTER UTILITY PLAN
- 24 UTILITY SERVICES STANDARD DETAILS
- 25 FIRE PROTECTION PLAN
- 26-28 WATER PLAN
- 29-31 SANITARY SEWER PLAN
- 32 SEDIMENT CONTROL PLAN
- 33-34 FRONTAGE ROAD PLAN
- 35 GENERAL CONSTRUCTION REQUIREMENTS
- 36-37 COUNTY STANDARD DETAILS
- 38 CURB DROP INLET DETAIL
- 39 LOW PRESSURE SEWER DETAIL
- E0 GENERAL NOTES & LEGEND
- E1 ELECTRICAL LIGHTING PLAN
- E2 ELECTRIC SERVICE RISER DIAGRAM
- E3 ELECTRIC DETAILS

OWNER:



homewise

your partner in homeownership

1301 Siler Road
Santa Fe, NM 87507

CIVIL ENGINEERING:

DESIGN ENGINEUTY



1421 Luisa Street, Suite E
Santa Fe, New Mexico 87505
(505) 981-3551



SURVEYING:

CORNERSTONE LAND SURVEYING

JEFFERY L. LUDWIG
N.M.L.S. No. 13054
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P.O. BOX 8348
SANTA FE, NM 87504



TRAFFIC ENGINEER:

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1599 St. Francis Drive, Suite B
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(505) 982-2845 Fax (505) 982-2641
<http://www.SPENGR.com>

DATE	BY
NOVEMBER	REV



TESSERA 2 - FINAL DEVELOPMENT PLAN & PLAT

S:\Plan\DWG\PROJECTS (backups & plots)\Tessera\dwg\2016-19-27 Tessera Subdivision Cover Sheet.dwg, 11/3/2016 10:15:20 AM, HP Desktop 1770pt 24in 192L

Final Development Plan for Tessera 2

T17N, R4E, Section 20, Santa Fe County, New Mexico

Dedication and Affidavit
 Know all persons by these presents that the undersigned owner has caused this Development Plan to be prepared. All that appears on this plan is made with the free consent and in accordance with the desires of the undersigned owner. This development lies within the planning and platting jurisdiction of County of Santa Fe, New Mexico. The purpose of this plan is to create a Final Development Plan for Tessera 2. A total of 78 residential lots are within this project.

Owner

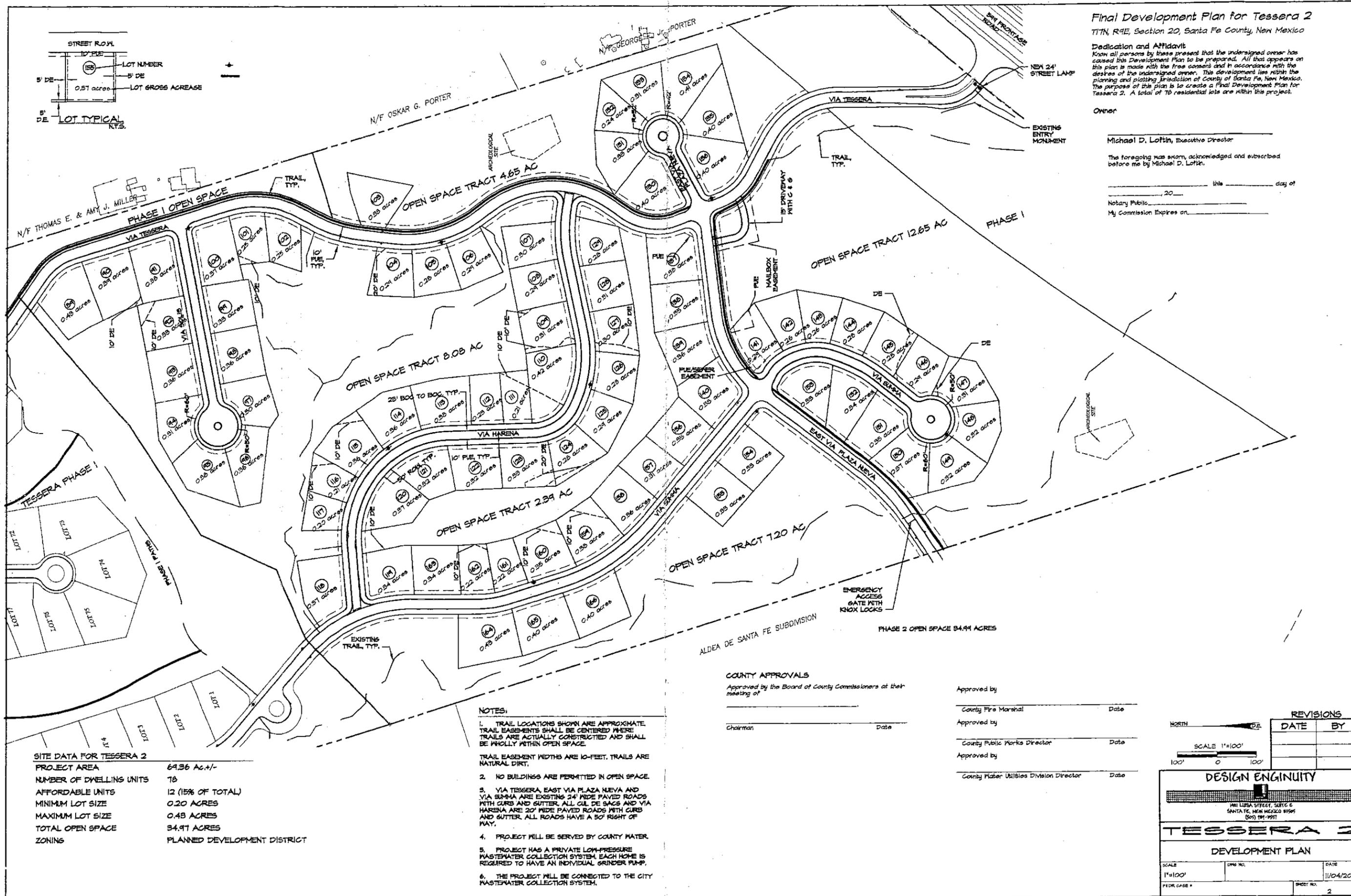
Michael D. Loftin, Executive Director

The foregoing was sworn, acknowledged and subscribed before me by Michael D. Loftin.

_____ this _____ day of _____, 20____

Notary Public _____

My Commission Expires on _____



SITE DATA FOR TESSERA 2

PROJECT AREA	69.36 Ac. +/-
NUMBER OF DWELLING UNITS	78
AFFORDABLE UNITS	12 (15% OF TOTAL)
MINIMUM LOT SIZE	0.20 ACRES
MAXIMUM LOT SIZE	0.48 ACRES
TOTAL OPEN SPACE	34.91 ACRES
ZONING	PLANNED DEVELOPMENT DISTRICT

- NOTES:**
- TRAIL LOCATIONS SHOWN ARE APPROXIMATE. TRAIL EASEMENTS SHALL BE CENTERED WHERE TRAILS ARE ACTUALLY CONSTRUCTED AND SHALL BE WHOLLY WITHIN OPEN SPACE.
 - TRAIL EASEMENT WIDTHS ARE 10-FEET. TRAILS ARE NATURAL DIRT.
 - NO BUILDINGS ARE PERMITTED IN OPEN SPACE.
 - VIA TESSERA, EAST VIA PLAZA NUEVA AND VIA SUMMA ARE EXISTING 24' WIDE PAVED ROADS WITH CURBS AND GUTTER. ALL GULCHES AND VIA HARENA ARE 20' WIDE PAVED ROADS WITH CURBS AND GUTTER. ALL ROADS HAVE A 50' RIGHT OF WAY.
 - PROJECT WILL BE SERVED BY COUNTY WATER.
 - PROJECT HAS A PRIVATE LOW-PRESSURE WASTEWATER COLLECTION SYSTEM. EACH HOME IS REQUIRED TO HAVE AN INDIVIDUAL GRINDER PUMP.
 - THE PROJECT WILL BE CONNECTED TO THE CITY WASTEWATER COLLECTION SYSTEM.

COUNTY APPROVALS

Approved by the Board of County Commissioners at their meeting of _____

Chairman _____ Date _____

Approved by _____ Date _____

County Fire Marshal _____ Date _____

Approved by _____ Date _____

County Public Works Director _____ Date _____

Approved by _____ Date _____

County Water Utilities Division Director _____ Date _____

REVISIONS

DATE	BY

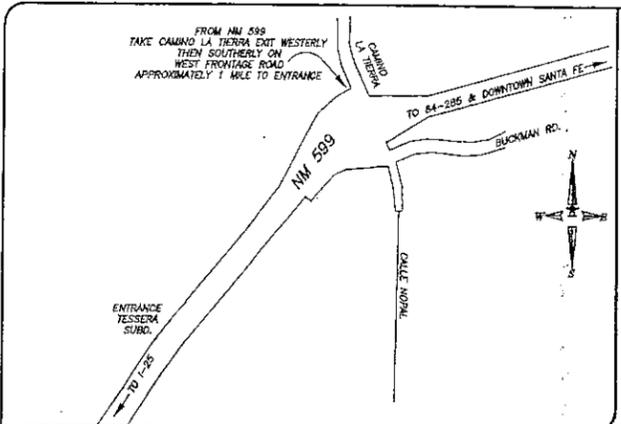
DESIGN ENGINEER

181 LUNA STREET, SUITE C
 SANTA FE, NEW MEXICO 87505
 (505) 991-7971

TESSERA 2

DEVELOPMENT PLAN

SCALE: 1"=100'
 DATE: 11/04/2016
 SHEET NO.: 2



PLAT-DEED REFERENCES

- 1) REFERENCE A PLAT OF SURVEY TITLED, "BOUNDARY/EASEMENT SURVEY PLAT PREPARED FOR HOMEWISE INC., OF TESSERA SUBDIVISION, PHASE ONE - 74 LOTS, LOTS 1-10, 21-24, 26-34, 36-53, 55-69, 71-88 AND PHASE TWO, 69.36 ACRES, RESERVED FOR FUTURE DEVELOPMENT, COUNTY OF SANTA FE, NEW MEXICO," DATED 03-25-14 BY JEFFERY L. LUDWIG, N.M.L.S. 13054 AND FILED FOR RECORD IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN PLAT BOOK 771 PAGES 46-50
- 2) REFERENCE A PLAT OF SURVEY TITLED, "PLAT OF SURVEY SHOWING TESSERA SUBDIVISION, PHASE ONE AND PHASE TWO (RESERVED FOR FUTURE DEVELOPMENT), WITHIN SECTIONS 17 & 20, T-17-N, R-9-E, N.M.P.M., SANTA FE COUNTY NEW MEXICO," DATED 07/30/04 BY ALLAN S. CURTIS, N.M.L.S. 13805 AND FILED FOR RECORD IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN PLAT BOOK 651 PAGES 5-14 AS INSTRUMENT, No. 1477739
- 3) REFERENCE A SPECIAL WARRANTY DEED FROM LOS ALAMOS NATIONAL BANK TO HOMEWISE INC. FILED FOR RECORD IN THE OFFICE OF THE SANTA FE COUNTY CLERK AS INSTRUMENT No. 1683061
- 4) REFERENCE A NEW MEXICO STATE HIGHWAY RIGHT-OF-WAY MAP BEARING PROJECT No. ST-7649 (203)-2

SPECIAL BUILDING PERMIT CONDITIONS

THE INSTALLATION OF AN AUTOMATIC FIRE SUPPRESSION SYSTEM IS HIGHLY RECOMMENDED FOR ALL HOMES ON ALL LOTS.

THESE LOTS ARE SUBJECT TO UTILIZING THE COUNTY WATER SYSTEM. INDIVIDUAL WELLS ARE NOT PERMITTED.

THESE LOTS ARE SUBJECT TO USING THE TESSERA SEWER COOPERATIVE SEWER SYSTEM. NO INDIVIDUAL WASTEWATER SYSTEM SHALL BE ALLOWED.

THESE LOTS ARE SUBJECT TO SANTA FE COUNTY FIRE AND RESCUE IMPACT FEES AT THE TIME OF APPLICATION FOR DEVELOPMENT PERMIT.

DEVELOPMENT PERMITS FOR BUILDING CONSTRUCTION WILL NOT BE ISSUED UNTIL REQUIRED IMPROVEMENTS FOR ROAD AND EMERGENCY TURN-AROUND ARE COMPLETED AND APPROVED BY STAFF.

ALL DOUBLE FRONTED LOTS ARE ALLOWED ONE ACCESS ONLY

DEDICATION/AFFIDAVIT

KNOW ALL PERSONS BY THIS PRESENTS THAT HOMEWISE, INC. A NEW MEXICO CORPORATION, ARE THE OWNERS (THE "OWNER") OF THE LANDS SHOWN ON THIS SUBDIVISION PLAT (THE "PLAT") WHICH ARE LOCATED WITHIN SANTA FE COUNTY, NEW MEXICO, CONTAINING AN AREA OF 69.36 ACRES, MORE OR LESS, HAS CAUSED THE LANDS TO BE SUBDIVIDED AS SHOWN HEREON AND THAT SAID SUBDIVISION IS NAMED AND SHALL BE KNOWN AS TESSERA 2 (THE "SUBDIVISION"). ALL THAT APPEARS ON THIS PLAT IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE OWNER.

GRANTS OF EASEMENTS: ROADWAY RIGHTS-OF-WAY, THE ROADWAY RIGHTS-OF-WAYS SHOWN HEREON ARE HEREBY MADE SUBJECT TO A NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS AND UTILITIES IN FAVOR OF THE TESSERA OWNERS ASSOCIATION FOR THE BENEFIT OF ITS MEMBERS, AND SUCH RIGHTS OF WAY ARE HEREBY MADE SUBJECT TO AN EASEMENT FOR PUBLIC INGRESS, EGRESS AND UTILITIES. UNTIL SUCH TIME AS OWNER SHALL TRANSFER THE OWNERSHIP OF THE RIGHTS-OF-WAY TO THE ASSOCIATION, OWNER SHALL BE THE RECORD TITLE OWNER OF THE RIGHTS-OF-WAY SUBJECT TO THE GRANTS OF EASEMENTS IN FAVOR OF THE ASSOCIATION AND THE PUBLIC AS CONTAINED IN THIS PARAGRAPH. THE ROADWAYS IMPROVEMENTS SHALL BE MAINTAINED BY THE ASSOCIATION, UNTIL SUCH TIME AS THEY ARE ACCEPTED, BY RESOLUTION, FOR MAINTENANCE BY THE SANTA FE COUNTY BOARD OF COMMISSIONERS AS PROVIDED BY N.M.S.A. 1978, AS AMENDED, SECTION 47-8-5 OR ANY OTHER ENTITY HAVING THE POWER AND AUTHORITY TO ACCEPT THE IMPROVEMENTS FOR MAINTENANCE.

UTILITY EASEMENTS: THE UTILITY COMPANIES IDENTIFIED HEREON, AND THEIR SUCCESSORS IN INTEREST ARE GRANTED EASEMENTS AS SHOWN HEREON WITHIN THE ROADWAY RIGHTS-OF-WAY AND WITHIN 10 FEET OF THE ROAD RIGHTS-OF-WAY FOR THE CONSTRUCTION, MAINTENANCE, REPAIR AND OPERATION OF UTILITIES IN PROVIDING UTILITY SERVICE TO THE SUBDIVISION. THE WASTEWATER COLLECTION SYSTEM IS PRIVATELY OWNED THE TESSERA SEWER COOPERATIVE BY WHICH IS RESPONSIBLE FOR THE MAINTENANCE OF THE SYSTEM, INCLUDING ALL ITS INFRASTRUCTURE LOCATED OUTSIDE OF THE PRIMATE RESIDENTIAL LOTS AND THE OFFSITE MAIN TO ITS CONNECTION TO THE CITY OF SANTA FE SEWER MAINHOLE.

OPEN SPACE RESERVATION: TRACTS SHOWN AS OPEN SPACE ARE FOR USE AS OPEN SPACE, MAILBOXES, RECREATIONAL FACILITIES, TRAILS, DRAINAGE FACILITIES, LANDSCAPING AND USE BY THE ASSOCIATION AND SUCH OTHER PARTIES AS OWNER MAY GRANT EASEMENTS TO FOR THEIR USE AND ENJOYMENT. ACCESS FOR MAINTENANCE OF MAILBOXES, RECREATIONAL FACILITIES, TRAILS, DRAINAGE FACILITIES AND LANDSCAPE IS HEREBY GRANTED. THE MEMBERS OF THE ASSOCIATION ARE HEREBY GRANTED THE RIGHT TO USE THESE TRACTS SUBJECT TO THE DECLARATION OF RESTRICTIVE COVENANTS FOR TESSERA 2, RECORDED ON IN THE RECORDS OF THE SANTA FE COUNTY CLERK, UNDER INSTRUMENT No. _____ THE BY-LAWS OF THE ASSOCIATION, AND ANY RULES AND REGULATIONS ADOPTED BY THE ASSOCIATION.

GRANT OF TRAIL EASEMENTS: THE TRAIL EASEMENTS SHOWN ARE HEREBY GRANTED FOR PUBLIC USE, SUBJECT TO THE RULES AND REGULATIONS ADOPTED BY THE ASSOCIATION. TRAIL EASEMENTS ARE APPROXIMATELY LOCATED AND FINAL EASEMENTS SHALL BE CENTERED ON THE CONSTRUCTED PATH.

GRANT OF DRAINAGE EASEMENTS: DRAINAGE EASEMENTS ARE GRANTED AS SHOWN FOR THE PURPOSE OF MAINTAINING THE FLOW OF STORM WATERS. SUCH EASEMENTS ARE GRANTED TO THE ASSOCIATION, IT MEMBERS AND TO THE ADJOINING LOT OWNERS WHOSE SURFACE DRAINAGE NATURALLY FLOWS THROUGH SUCH EASEMENTS. THE ASSOCIATION IS RESPONSIBLE FOR MAINTAINING ALL DRAINAGE STRUCTURES AND EASEMENTS.

EXCAVATION EASEMENTS: EXCAVATION EASEMENTS FOR CUT AND FILL SLOPES FOR ALL ROADWAY IMPROVEMENTS RELATED DRAINAGE STRUCTURES AND WASTEWATER COLLECTION SYSTEM ARE HEREBY GRANTED TO THE ASSOCIATION AND RESERVED BY OWNER. FOR THE PLACEMENT, CONSTRUCTION, MAINTENANCE, REPAIR AND REPLACEMENT OF ROADWAYS AND ROADWAY APPURTENANCES INCLUDING EASEMENTS FOR ROAD RETAINING WALLS, CUT AND FILL SLOPES, DRAINAGE AND WASTEWATER COLLECTION SYSTEM IMPROVEMENTS, WHICH EASEMENTS WILL VARY IN WIDTH AS CONSTRUCTION AND MAINTENANCE REQUIRES. ANY ROADWAY IMPROVEMENTS CUT OR FILL SLOPES, DRAINAGE AND WASTEWATER IMPROVEMENTS INSTALLED OR CONSTRUCTED BY OWNER WITHIN THE BOUNDARY OF ANY LOTS OR TRACTS SHOWN HEREON ARE DEEMED TO BE WITHIN THE EASEMENT GRANTED HEREBY.

HOMEWISE, INC. A NEW MEXICO CORPORATION

MICHAEL D. LOFTON, CEO

STATE OF NEW MEXICO }
COUNTY OF SANTA FE }

ON THIS _____ DAY OF _____ 2017 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY THE PERSON(S) WHOSE NAME(S) APPEAR ABOVE.

NOTARY PUBLIC COMMISSION EXPIRES _____

COUNTY OF SANTA FE APPROVAL NOTES & CONDITIONS

MAINTENANCE OF ACCESS ROAD, PATHS, TRAFFIC SIGNAGE, LOW-PRESSURE WASTEWATER COLLECTION SYSTEM, UTILITY EASEMENTS AND DRAINAGE STRUCTURES TO BE THE RESPONSIBILITY OF THE TESSERA OWNERS ASSOCIATION.

THE APPROVAL OF THIS PLAT DOES NOT CONSTITUTE THE APPROVAL OF ANY FURTHER DEVELOPMENT INCLUDING BUILDING PERMITS. ALL STANDARD COUNTY PERMITS AND FEES MUST BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY OF ANY KIND. DEVELOPMENT PERMITS FOR BUILDING CONSTRUCTION WILL NOT BE ISSUED UNTIL REQUIRED IMPROVEMENTS FOR ROADS, FIRE PROTECTION, TERRAIN MANAGEMENT, AND DRAINAGE ARE COMPLETED AND APPROVED.

THESE LOTS MUST BE CONNECTED TO THE PRIVATE LOW-PRESSURE SEWER SYSTEM INSTALLED BY THE OWNER. SANITARY SEWER INDIVIDUAL SERVICE LINES WITHIN THE LOTS SHALL BE THE RESPONSIBILITY OF THE LOT OWNER TO CONSTRUCT AND MAINTAIN. ALL LOT OWNERS MUST INSTALL AN E-1 GRINDER PUMP CONNECTED TO THE LOW-PRESSURE SEWER. SANITARY SEWER LINES WITHIN THE LOTS SHALL BE THE RESPONSIBILITY OF THE LOT OWNER TO CONSTRUCT AND MAINTAIN.

THE SEWER LINES WITHIN THE ROAD RIGHT-OF-WAYS AND OFFSITE EASEMENTS SHALL BE MAINTAINED BY THE TESSERA SEWER COOPERATIVE. TRAIL, LANDSCAPING AND RECREATIONAL FACILITIES INSTALLED BY THE OWNER OR THE ASSOCIATION, WITHIN THE OPEN SPACE SHALL BE MAINTAINED BY THE TESSERA OWNERS ASSOCIATION.

NO BUILDING PERMITS SHALL BE GRANTED UNTIL SUCH TIME AS THE FIRE HYDRANTS HAVE BEEN TESTED AND APPROVED BY THE FIRE MARSHAL AND THE ACCESS ROADS ARE DEEMED PASSABLE BY THE FIRE MARSHAL.

ALL OUTDOOR LIGHTING SHALL BE SHIELDED. ALL UTILITY LINES SHALL BE UNDERGROUND.

ALL LOTS ARE SUBJECT TO A 10-FOOT UTILITY EASEMENT ADJACENT TO ALL ROAD RIGHTS-OF-WAY AND A 5 FOOT DRAINAGE EASEMENT ON ALL OTHER SIDES OF THE LOT.

THIS PLAT IS SUBJECT TO THAT CERTAIN DECLARATION OF RESTRICTIVE COVENANTS FOR TESSERA 2, FILED IN THE OFFICE OF THE COUNTY CLERK AS INSTRUMENT No. _____

THE TESSERA 2 DISCLOSURE STATEMENT IS FILED IN THE OFFICE OF THE COUNTY CLERK AND RECORDED AS INSTRUMENT No. _____. THIS DEVELOPMENT IS SUBJECT TO AN AFFORDABLE HOUSING AGREEMENT FOR LOTS 101, 102, 111, 112, 116, 117, 131, 132, 141, 142, 161 AND 162 WHICH IS FILED IN THE OFFICE OF THE COUNTY CLERK AND RECORDED AS INSTRUMENT No. _____

THE MINIMUM BUILDING SETBACK FROM LOT LINES IS 5 FEET AND 10 FEET FROM ROAD EASEMENTS, UNLESS THE HOMEOWNER ASSOCIATION COVENANTS PROVIDE FOR LARGER SETBACKS.

WATER USE ON THESE LOTS IS RESTRICTED BY THE DECLARATION OF RESTRICTIVE COVENANTS FOR TESSERA 2, RECORDED AS INSTRUMENT No. _____

PRIOR TO CONNECTING TO THE LOW-PRESSURE SEWER COLLECTION SYSTEM, LOT OWNERS SHALL ESTABLISH AN ACCOUNT WITH THE SANTA FE COUNTY UTILITY DIVISION FOR BILLING OF MONTHLY SERVICE.

THESE LOTS ARE SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP (FIRM) PANEL 35049C 04000 DATED 12-04-12, ALL OF PHASE TWO-TESSERA 2 LIES WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.02% ANNUAL CHANCE FLOODPLAIN

APPROVED BY THE BOARD OF COUNTY COMMISSIONERS AT THEIR MEETING OF _____

CHAIRPERSON _____ DATE _____

ATTEST BY COUNTY CLERK _____ DATE _____

COUNTY DEVELOPMENT PERMIT No. 16-

COUNTY LAND USE ADMINISTRATOR _____ DATE _____

COUNTY RURAL ADDRESSING _____ DATE _____

COUNTY FIRE MARSHAL _____ DATE _____

COUNTY TREASURER _____ DATE _____

COUNTY PUBLIC WORKS DIRECTOR _____ DATE _____

COUNTY UTILITIES DIRECTOR _____ DATE _____

UTILITY COMPANIES

PUBLIC SERVICE COMPANY OF NEW MEXICO DATE _____

NEW MEXICO GAS COMPANY DATE _____
IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND NEW MEXICO GAS COMPANY DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, THEY DO NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT WHICH ARE NOT SHOWN ON THIS PLAT.

CENTURY LINK DATE _____
CENTURY LINK DISCLAIMER
THIS PLAT HAS BEEN APPROVED FOR EASEMENT PURPOSES ONLY. THE SIGNING OF THIS PLAT DOES NOT IN ANY WAY GUARANTEE TELEPHONE SERVICE TO SUBDIVISION.

COMCAST DATE _____

PUBLIC UTILITY EASEMENTS (PUE)

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF UTILITIES, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
- B. NM GAS CO. FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
- C. CENTURY LINK FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- D. COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS SUBDIVISION SURVEY PLAT AND THE FIELD SURVEY ON WHICH IT IS BASED WAS MADE BY ME OR UNDER MY PERSONAL DIRECTION AND CONTROL, AND THAT THE DATA SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THAT THIS SURVEY MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS. FIELD WORK COMPLETED IN OCTOBER & NOVEMBER 2013.

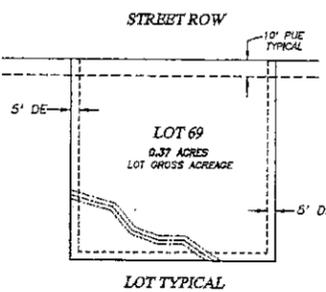
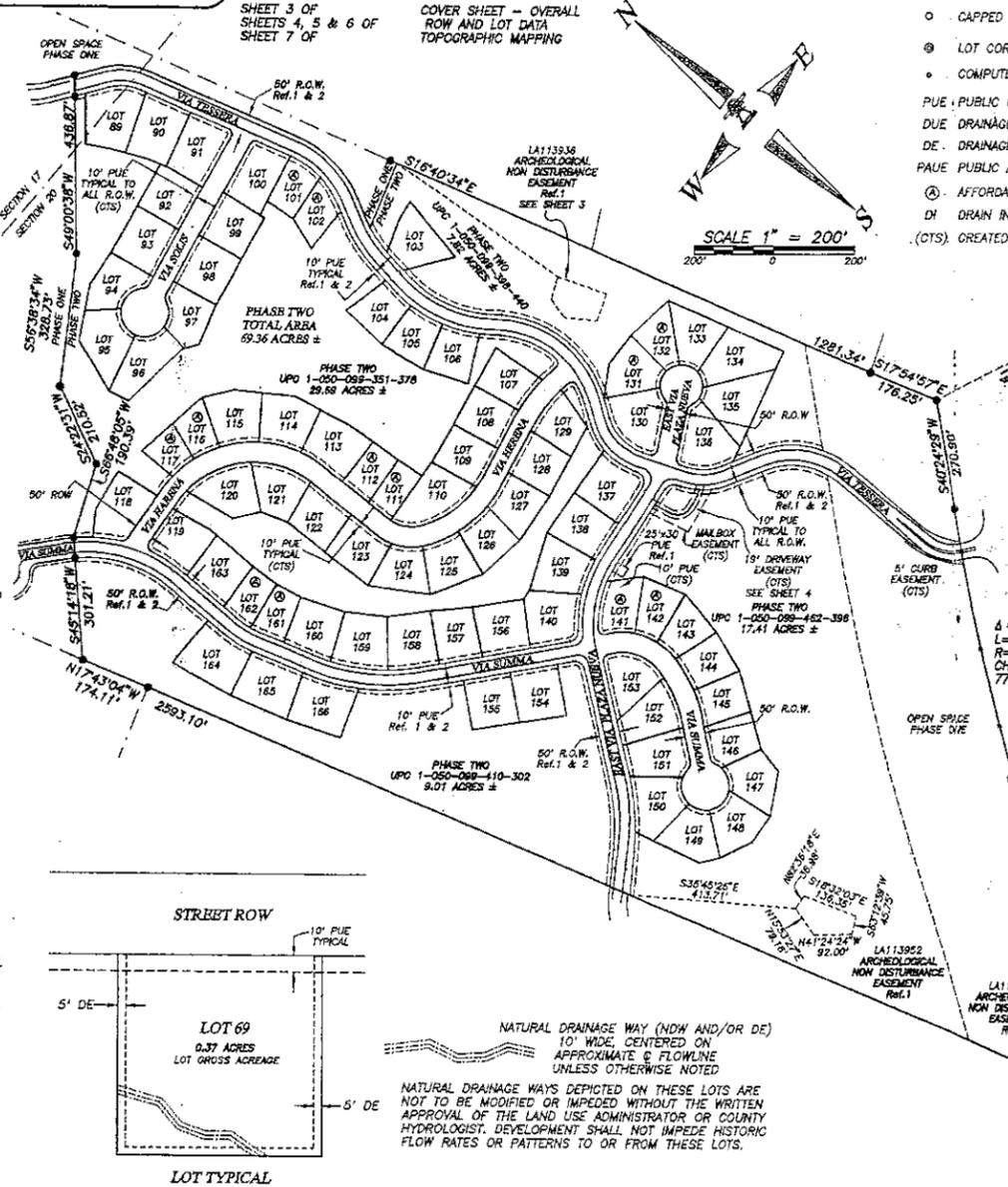
PRELIMINARY - FOR REVIEW ONLY
11-03-2016

JEFFERY L. LUDWIG N.M.L.S. 13054 DATE _____

SHEET INDEX

SHEET 3 OF SHEETS 4, 5 & 6 OF SHEET 7 OF

COVER SHEET - OVERALL ROW AND LOT DATA TOPOGRAPHIC MAPPING



SURVEY NOTES:

BASIS OF BEARING IS GEODETIC AZIMUTH BASED ON GPS OBSERVATIONS. ANY MONUMENTED LINE NOTED HEREON MAY BE UTILIZED AS A LOCAL BASIS OF BEARINGS.

BEARINGS ARE NM STATE PLANE CENTRAL ZONE - NAD83 DISTANCES ARE GROUND

ALL ROW/LOT CORNERS WILL BE MONUMENTED WITH A CAPPED REBAR "13054"

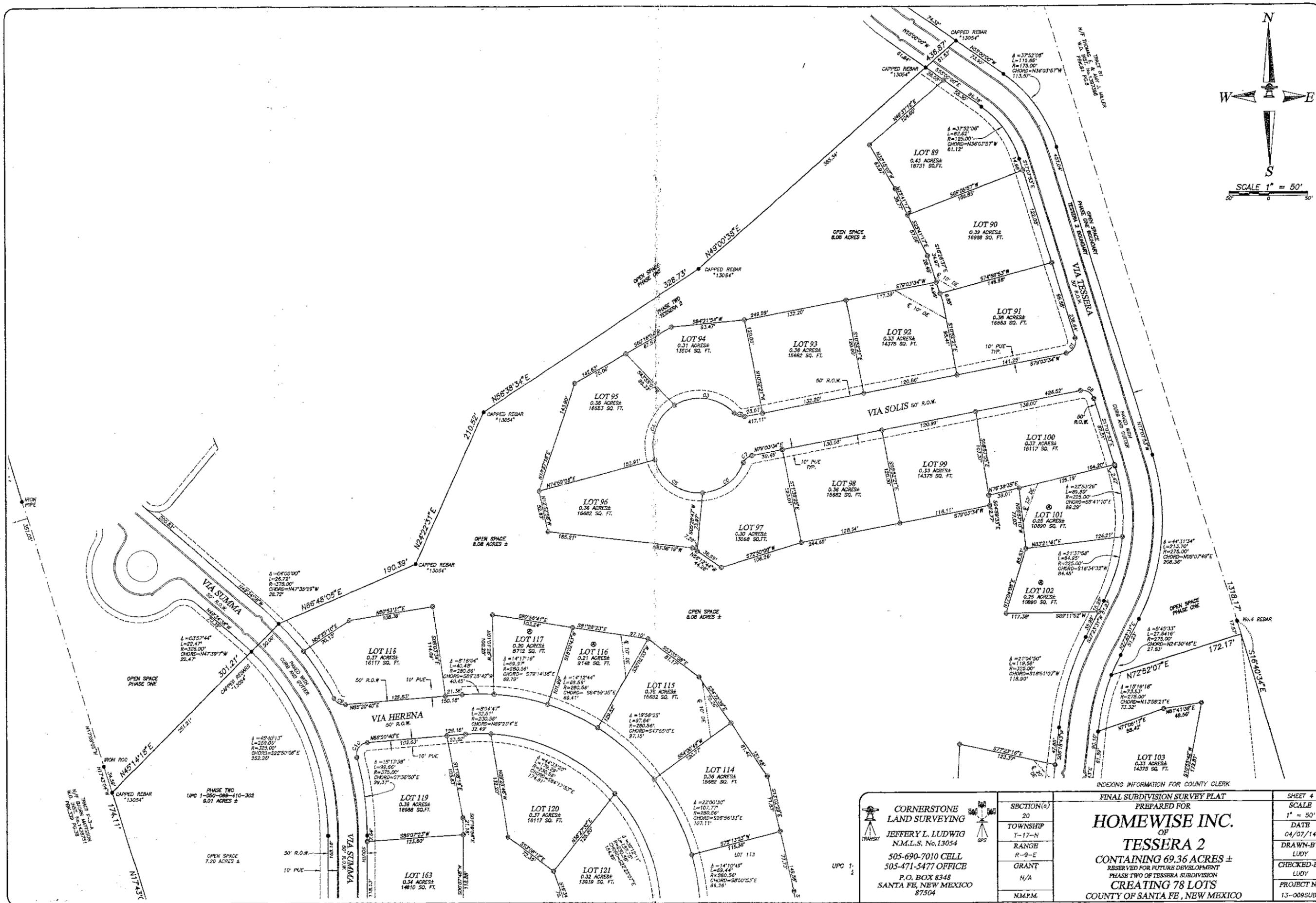
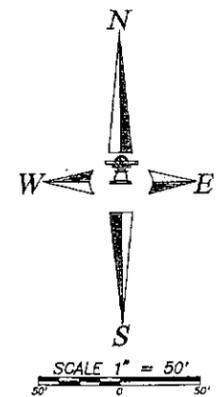
THE 7.5' PUBLIC UTILITY EASEMENT ALONG VIA SUMA, EAST VIA PLAZA NUEVA, & VIA TESSERA RIGHTS-OF-WAY HAVE BEEN INCREASED TO A 10' PUBLIC UTILITY EASEMENT THIS PLATING



COUNTY OF SANTA FE STATE OF NEW MEXICO
I hereby certify that this instrument was filed for record on the _____ day of _____ A.D. 20____ at _____ o'clock _____ m. and was duly recorded in book _____ page _____ of the records of Santa Fe County.
Witness my hand and Seal of Office
Geraldine Salazar
County Clerk, Santa Fe County, N.M.
Deputy

CORNERSTONE LAND SURVEYING
JEFFERY L. LUDWIG
N.M.L.S. No. 13054
505-690-7010 CELL
505-471-5477 OFFICE
P.O. BOX 8348
SANTA FE, NEW MEXICO 87504

INDEXING INFORMATION FOR COUNTY CLERK		FINAL SUBDIVISION SURVEY PLAT		SHEET 3	
SECTION	20	PREPARED FOR	HOMEWISE INC.		SCALE
TOWNSHIP	T-17-N	OF	TESSERA 2		1" = 200'
RANGE	R-9-E				DATE
GRANT	N/A				11/03/16
N.M.P.M.					DRAWN-BY
					LUDY
					CHECKED-BY
					LUDY
					PROJECT No.
					13-0095UBD



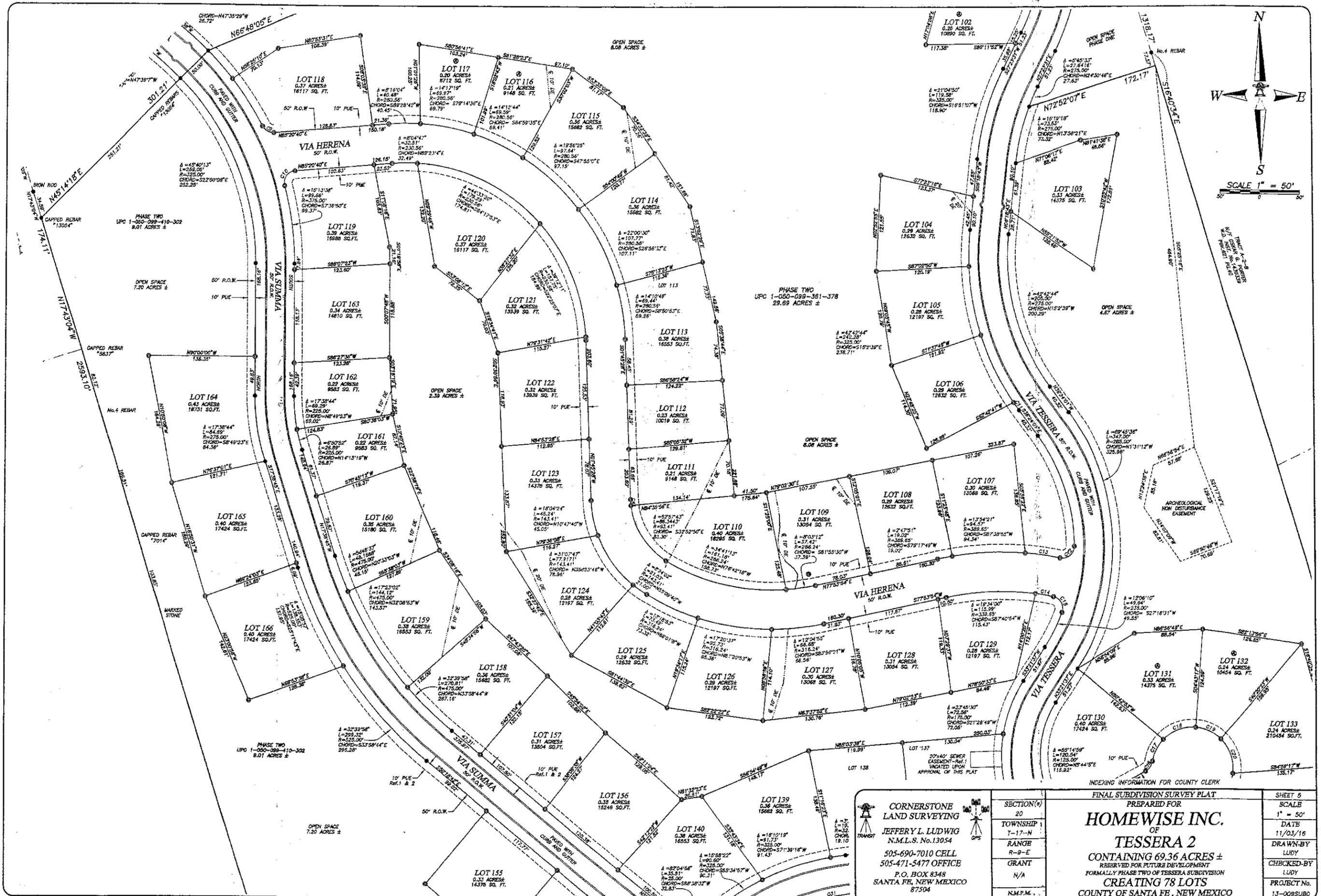
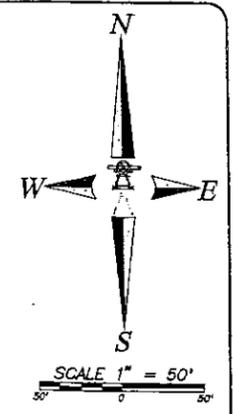
CORNERSTONE LAND SURVEYING
 JEFFERY L. LUDWIG
 N.M.L.S. No. 13054
 505-690-7010 CELL
 505-471-5477 OFFICE
 P.O. BOX 8348
 SANTA FE, NEW MEXICO
 87504

SECTION(s)	20
TOWNSHIP	T-17-N
RANGE	R-9-E
GRANT	N/A
N.M.E.M.	

FINAL SUBDIVISION SURVEY PLAT
 PREPARED FOR
HOMEWISER INC.
 OF
TESSERA 2
 CONTAINING 69.36 ACRES ±
 RESERVED FOR FUTURE DEVELOPMENT
 PHASE TWO OF TESSERA SUBDIVISION
CREATING 78 LOTS
 COUNTY OF SANTA FE, NEW MEXICO

SHEET #	4
SCALE	1" = 50'
DATE	04/07/14
DRAWN-BY	LUDY
CHECKED-BY	LUDY
PROJECT No.	13-009SUBD

20

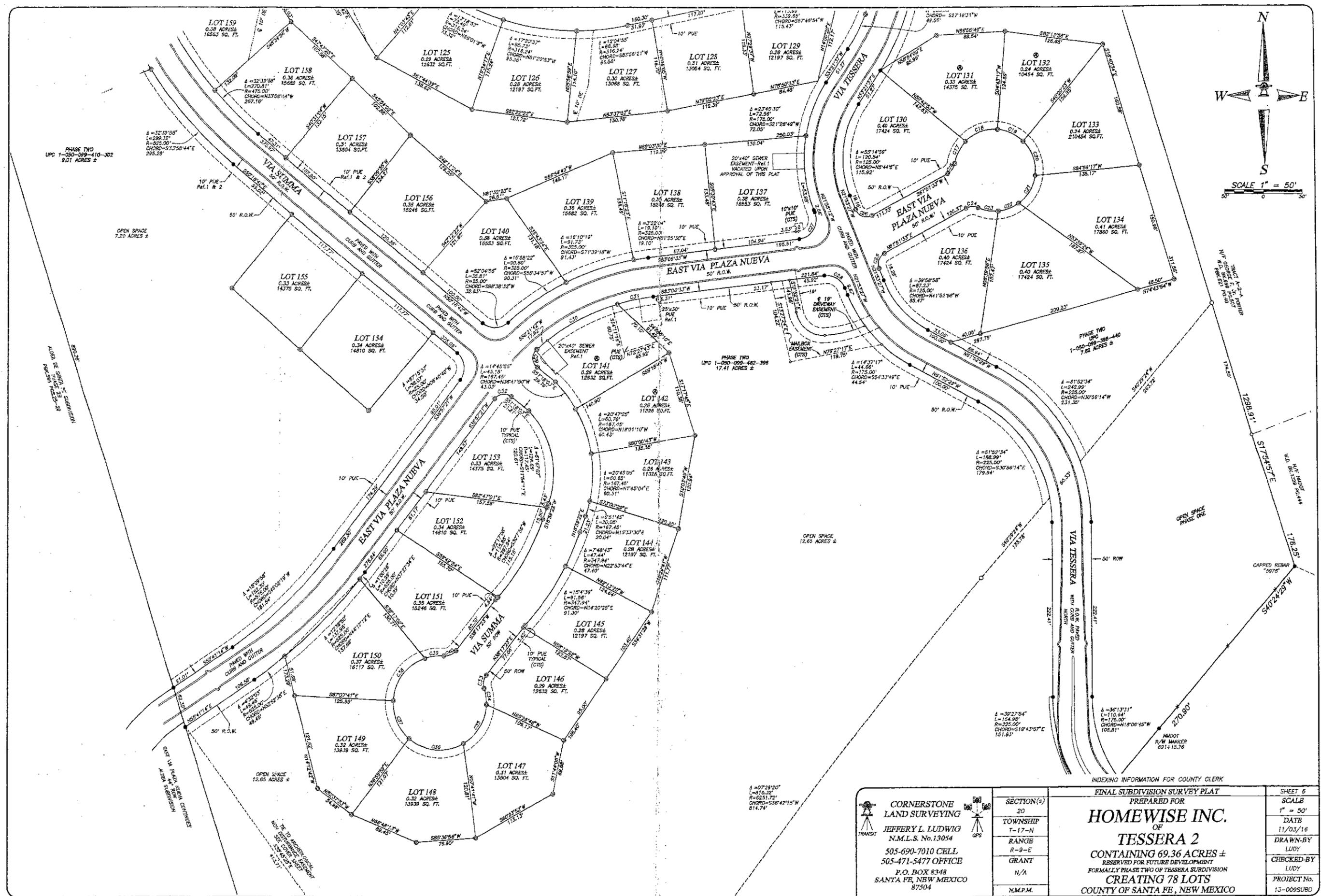
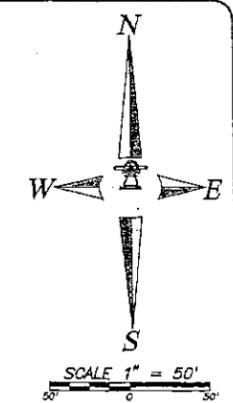


CORNERSTONE LAND SURVEYING
JEFFERY L. LUDWIG
 N.M.L.S. No. 13054
 505-690-7010 CELL
 505-471-5477 OFFICE
 P.O. BOX 8348
 SANTA FE, NEW MEXICO
 87504

SECTION(s)	20
TOWNSHIP	7-17-N
RANGE	R-9-E
GRANT	N/A
N.M.P.M.	

INDEXING INFORMATION FOR COUNTY CLERK
FINAL SUBDIVISION SURVEY PLAT
 PREPARED FOR
HOMEWISER INC.
 OF
TESSERA 2
 CONTAINING 69.36 ACRES ±
 RESERVED FOR FUTURE DEVELOPMENT
 FORMALLY PHASE TWO OF TESSERA SUBDIVISION
CREATING 78 LOTS
 COUNTY OF SANTA FE, NEW MEXICO

SHEET	5
SCALE	1" = 50'
DATE	11/03/16
DRAWN BY	LUDY
CHECKED BY	LUDY
PROJECT No.	13-008SUBD



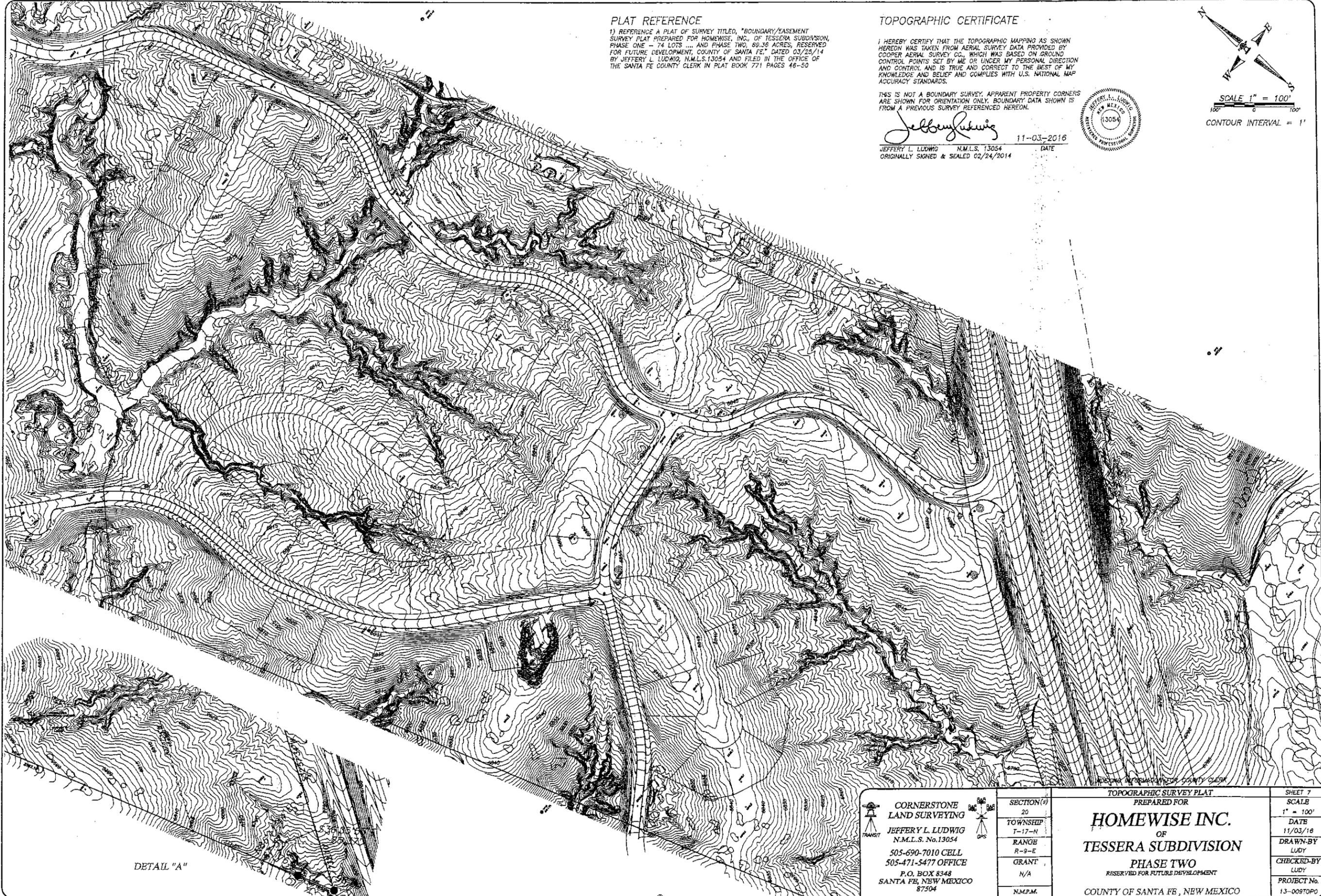
CORNERSTONE LAND SURVEYING
 JEFFERY L. LUDWIG
 N.M.L.S. No. 13054
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 P.O. BOX 8348
 SANTA FE, NEW MEXICO 87504

SECTION(S)	20
TOWNSHIP	T-17-N
RANGE	R-9-E
GRANT	N/A
N.M.P.M.	

FINAL SUBDIVISION SURVEY PLAT
 PREPARED FOR
HOMEWISER INC.
 OF
TESSERA 2
 CONTAINING 69.36 ACRES ±
 RESERVED FOR FUTURE DEVELOPMENT
 FORMERLY PHASE TWO OF TESSERA SUBDIVISION
CREATING 78 LOTS
 COUNTY OF SANTA FE, NEW MEXICO

SHEET 6
SCALE 1" = 50'
DATE 11/03/18
DRAWN-BY LUDY
CHECKED-BY LUDY
PROJECT No. 13-009SUBD

22



PLAT REFERENCE

1) REFERENCE A PLAT OF SURVEY TITLED, "BOUNDARY/EASEMENT SURVEY PLAT PREPARED FOR HOMEWISE, INC., OF TESSERA SUBDIVISION, PHASE ONE - 74 LOTS AND PHASE TWO, 89.36 ACRES, RESERVED FOR FUTURE DEVELOPMENT, COUNTY OF SANTA FE," DATED 03/25/14 BY JEFFERY L. LUDWIG, N.M.L.S. 13054 AND FILED IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN PLAT BOOK 771 PAGES 46-50

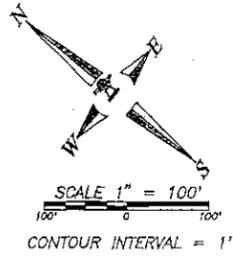
TOPOGRAPHIC CERTIFICATE

I HEREBY CERTIFY THAT THE TOPOGRAPHIC MAPPING AS SHOWN HEREON WAS TAKEN FROM AERIAL SURVEY DATA PROVIDED BY COOPER AERIAL SURVEY CO., WHICH WAS BASED ON GROUND CONTROL POINTS SET BY ME OR UNDER MY PERSONAL DIRECTION AND CONTROL AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND COMPLIES WITH U.S. NATIONAL MAP ACCURACY STANDARDS.

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA SHOWN IS FROM A PREVIOUS SURVEY REFERENCED HEREON.

Jeffery Ludwig

JEFFERY L. LUDWIG N.M.L.S. 13054 DATE 11-03-2016
 ORIGINALLY SIGNED & SEALED 02/24/2014

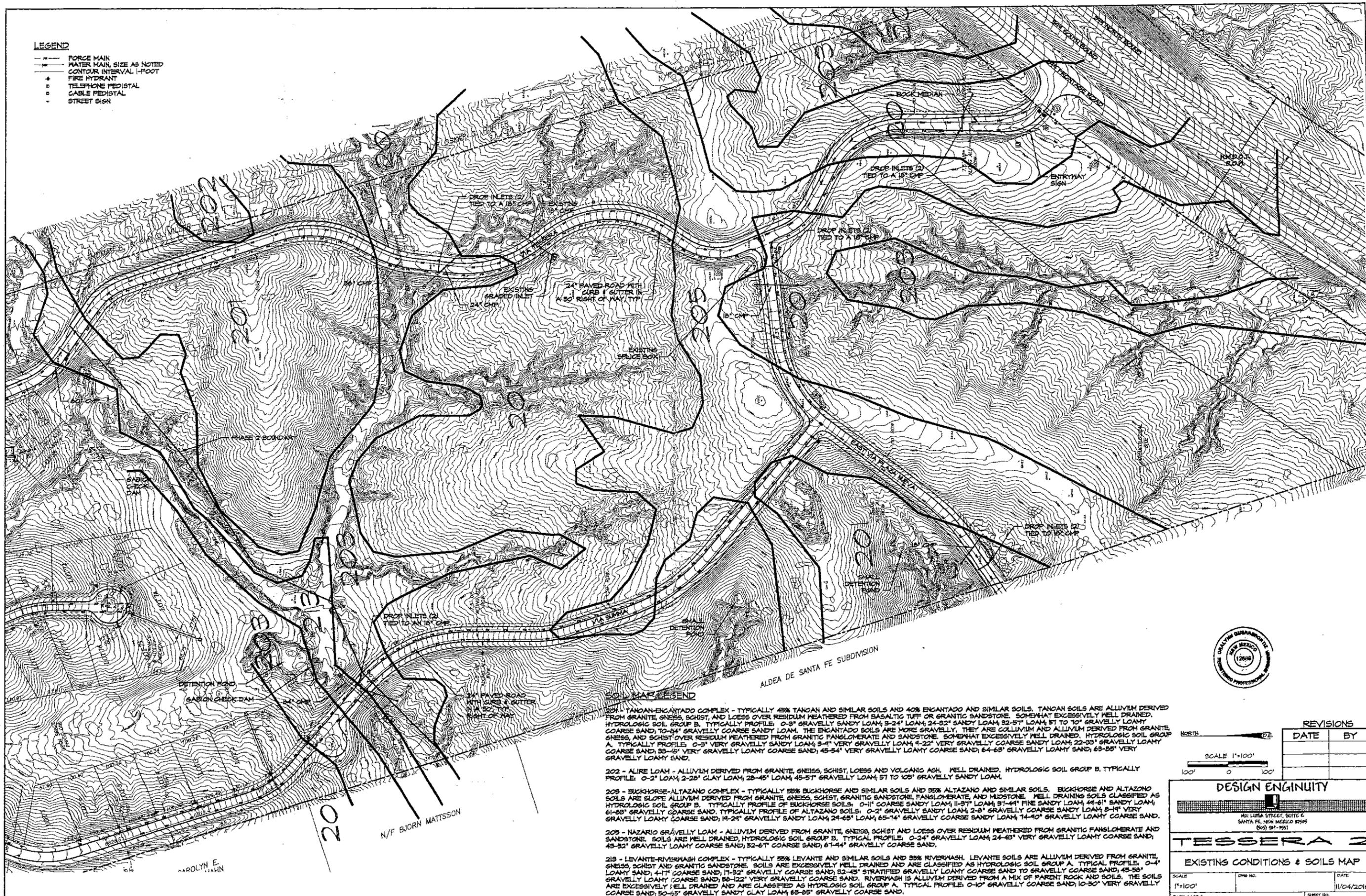


DETAIL "A"

<p>CORNERSTONE LAND SURVEYING JEFFERY L. LUDWIG N.M.L.S. No. 13054 505-690-7010 CELL 505-471-5477 OFFICE P.O. BOX 8348 SANTA FE, NEW MEXICO 87504</p>	SECTION(s) 20	TOPOGRAPHIC SURVEY PLAT PREPARED FOR	SHEET 7
	TOWNSHIP T-17-N	<p>HOMEWISE INC. OF TESSERA SUBDIVISION PHASE TWO RESERVED FOR FUTURE DEVELOPMENT COUNTY OF SANTA FE, NEW MEXICO</p>	SCALE 1" = 100'
	RANGE R-9-E		DATE 11/03/16
	GRANT N/A		DRAWN-BY LUDY
	N.M.P.M.		CHECKED-BY LUDY
		PROJECT No. 13-009TOPO	

LEGEND

- FORCE MAIN
- WATER MAIN, SIZE AS NOTED
- CONTOUR INTERVAL 1-FOOT
- FIRE HYDRANT
- TELEPHONE PEDISTAL
- CABLE PEDISTAL
- STREET SIGN



SOIL MAP LEGEND

- 201 - TANCAN-ENCANTADO COMPLEX - TYPICALLY 45% TANCAN AND SIMILAR SOILS AND 40% ENCANTADO AND SIMILAR SOILS. TANCAN SOILS ARE ALLUVIUM DERIVED FROM GRANITE, GNEISS, SCHIST, AND LOESS OVER RESIDUUM WEATHERED FROM BASALTIC TUFF OR GRANITIC SANDSTONE. SOMEWHAT EXCESSIVELY WELL DRAINED. HYDROLOGIC SOIL GROUP B. TYPICAL PROFILE: 0-3" GRAVELLY SANDY LOAM; 3-24" LOAM; 24-52" SANDY LOAM; 52-57" LOAM; 57 TO 100" GRAVELLY LOAMY COARSE SAND; 10-84" GRAVELLY COARSE SANDY LOAM. THE ENCANTADO SOILS ARE MORE GRAVELLY, THEY ARE COLLUVIUM AND ALLUVIUM DERIVED FROM GRANITE, GNEISS, AND SCHIST OVER RESIDUUM WEATHERED FROM GRANITIC FANGLOMERATE AND SANDSTONE. SOMEWHAT EXCESSIVELY WELL DRAINED. HYDROLOGIC SOIL GROUP A. TYPICAL PROFILE: 0-3" VERY GRAVELLY SANDY LOAM; 3-4" VERY GRAVELLY LOAM; 4-22" VERY GRAVELLY COARSE SANDY LOAM; 22-33" GRAVELLY LOAMY COARSE SAND; 33-45" VERY GRAVELLY LOAMY COARSE SAND; 45-54" VERY GRAVELLY LOAMY COARSE SAND; 64-68" GRAVELLY LOAMY SAND; 68-85" VERY GRAVELLY LOAMY SAND.
- 202 - ALIPE LOAM - ALLUVIUM DERIVED FROM GRANITE, GNEISS, SCHIST, LOESS AND VOLCANIC ASH. WELL DRAINED. HYDROLOGIC SOIL GROUP B. TYPICAL PROFILE: 0-2" LOAM; 2-25" CLAY LOAM; 25-45" LOAM; 45-57" GRAVELLY LOAM; 57 TO 100" GRAVELLY SANDY LOAM.
- 203 - BUCKHORSE-ALTAZANO COMPLEX - TYPICALLY 55% BUCKHORSE AND SIMILAR SOILS AND 55% ALTAZANO AND SIMILAR SOILS. BUCKHORSE AND ALTAZANO SOILS ARE SLOPE ALLUVIUM DERIVED FROM GRANITE, GNEISS, SCHIST, GRANITIC SANDSTONE, FANGLOMERATE, AND MUDSTONE. WELL DRAINING SOILS CLASSIFIED AS HYDROLOGIC SOIL GROUP B. TYPICAL PROFILE OF BUCKHORSE SOILS: 0-11" COARSE SANDY LOAM; 11-57" LOAM; 57-141" FINE SANDY LOAM; 44-61" SANDY LOAM; 61-85" GRAVELLY COARSE SAND. TYPICAL PROFILE OF ALTAZANO SOILS: 0-2" GRAVELLY SANDY LOAM; 2-8" GRAVELLY COARSE SANDY LOAM; 8-14" VERY GRAVELLY LOAMY COARSE SAND; 14-24" GRAVELLY SANDY LOAM; 24-65" LOAM; 65-74" GRAVELLY COARSE SANDY LOAM; 74-100" GRAVELLY LOAMY COARSE SAND.
- 205 - NAZARIO GRAVELLY LOAM - ALLUVIUM DERIVED FROM GRANITE, GNEISS, SCHIST AND LOESS OVER RESIDUUM WEATHERED FROM GRANITIC FANGLOMERATE AND SANDSTONE. SOILS ARE WELL DRAINED. HYDROLOGIC SOIL GROUP B. TYPICAL PROFILE: 0-24" GRAVELLY LOAM; 24-48" VERY GRAVELLY LOAMY COARSE SAND; 48-52" GRAVELLY LOAMY COARSE SAND; 52-67" COARSE SAND; 67-144" GRAVELLY COARSE SAND.
- 215 - LEVANTE-RIVERMASH COMPLEX - TYPICALLY 55% LEVANTE AND SIMILAR SOILS AND 55% RIVERMASH. LEVANTE SOILS ARE ALLUVIUM DERIVED FROM GRANITE, GNEISS, SCHIST AND GRANITIC SANDSTONE. SOILS ARE EXCESSIVELY WELL DRAINED AND ARE CLASSIFIED AS HYDROLOGIC SOIL GROUP A. TYPICAL PROFILE: 0-4" LOAMY SAND; 4-17" COARSE SAND; 17-52" GRAVELLY COARSE SAND; 52-45" STRATIFIED GRAVELLY LOAMY COARSE SAND TO GRAVELLY COARSE SAND; 45-55" GRAVELLY LOAMY COARSE SAND; 55-122" VERY GRAVELLY COARSE SAND. RIVERMASH IS ALLUVIUM DERIVED FROM A MIX OF PARENT ROCK AND SOILS. THE SOILS ARE EXCESSIVELY WELL DRAINED AND ARE CLASSIFIED AS HYDROLOGIC SOIL GROUP A. TYPICAL PROFILE: 0-10" GRAVELLY COARSE SAND; 10-30" VERY GRAVELLY COARSE SAND; 30-65" GRAVELLY SANDY CLAY LOAM; 65-85" GRAVELLY COARSE SAND.

SOURCE: UNITED STATES DEPT. OF AGRICULTURE, NATIONAL RESOURCES CONSERVATION SERVICE.



REVISIONS		
DATE	BY	

SCALE 1"=100'
 DESIGN ENGINEER
 101 LUISA STREET, SUITE C
 SANTA FE, NEW MEXICO 87505
 (505) 831-1951

TESSERA 2		
EXISTING CONDITIONS & SOILS MAP		
SCALE: 1"=100'	DWG. NO.:	DATE: 11/04/2016
PLOT. CASE #:	SHEET NO.:	5

24



PHASE 2 REQUIRED OPEN SPACE 34.23 ACRES
 PHASE 2 PROVIDED OPEN SPACE 34.97 ACRES

8' WIDE NATURAL DIRT PATH FOR PEDESTRIANS,
 EQUESTRIANS AND BICYCLISTS.
 PATH LOCATIONS SHOWN ARE APPROXIMATE.
 10-FOOT EASEMENTS SHALL BE CENTERED
 WHERE TRAILS ARE ACTUALLY CONSTRUCTED.



REVISIONS

DATE	BY

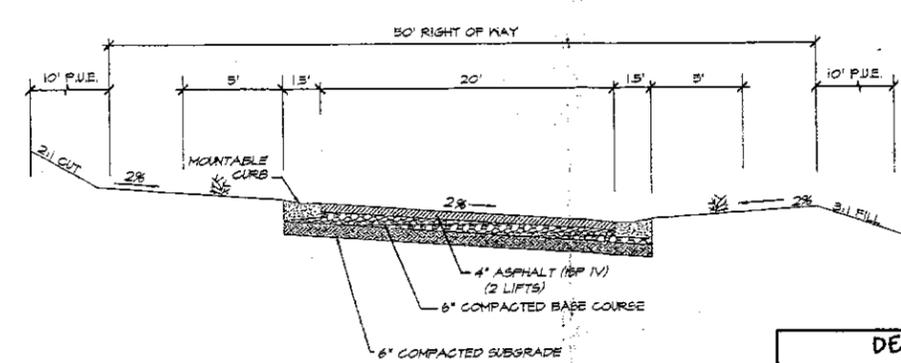
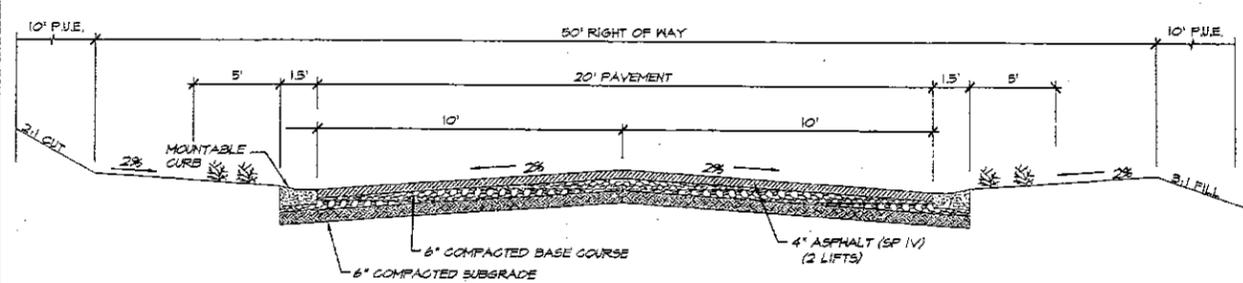
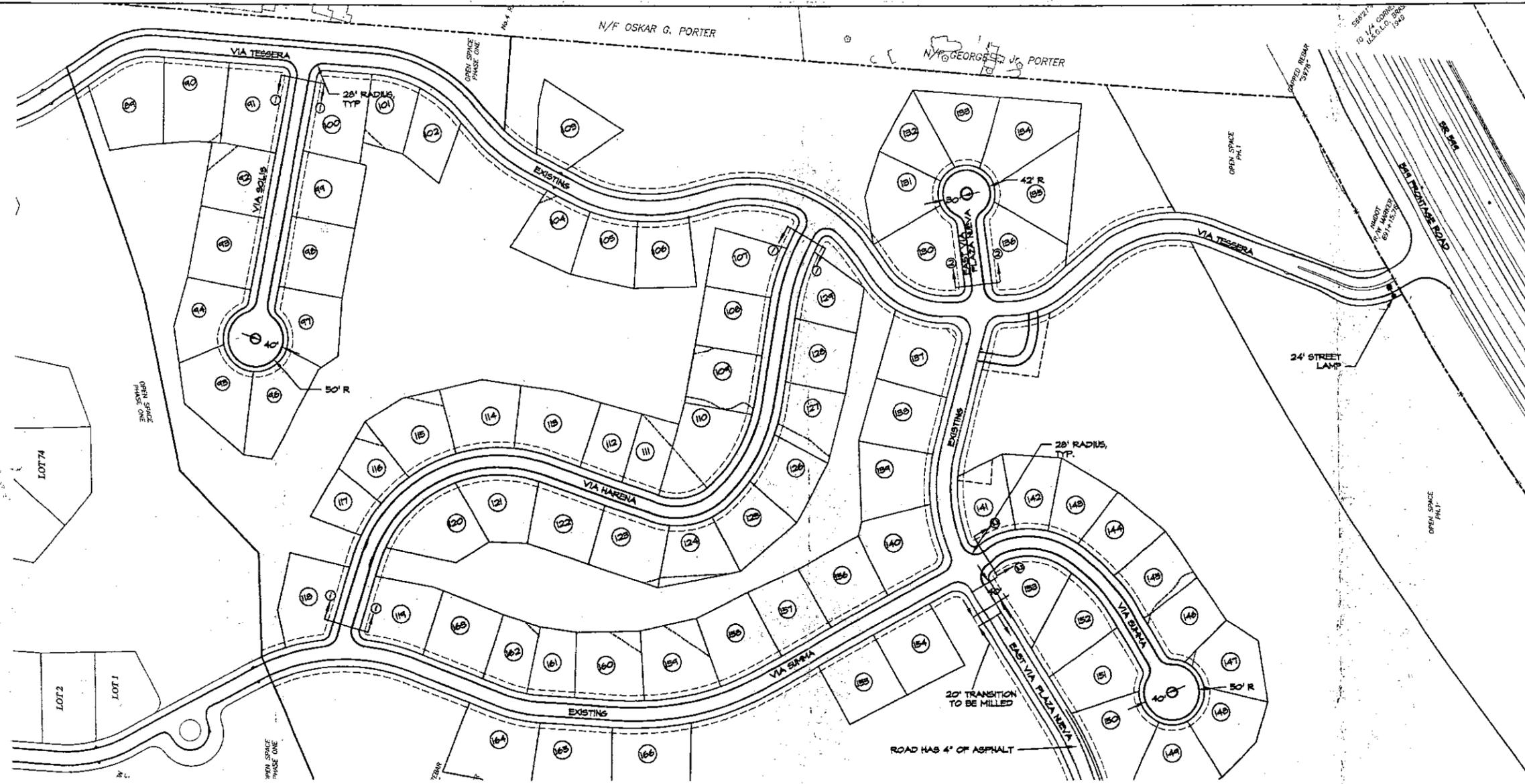
DESIGN ENGINEER

LISA S. SIZER, SUITE C
 SANTA FE, NEW MEXICO 87505
 (505) 994-3951

TESSERA 2

TRAILS & OPEN SPACE

SCALE: 1"=100'
 DATE: 11/04/2016
 SHEET NO.: 10



NOTE:
ALL EXISTING ROADS REQUIRE A SECOND 2-INCH LIFT OF ASPHALT. ONCE ALL UTILITY IMPROVEMENTS ARE INSTALLED, THE REQUIRED SECOND LIFT WILL BE INSTALLED.



REVISIONS	
DATE	BY

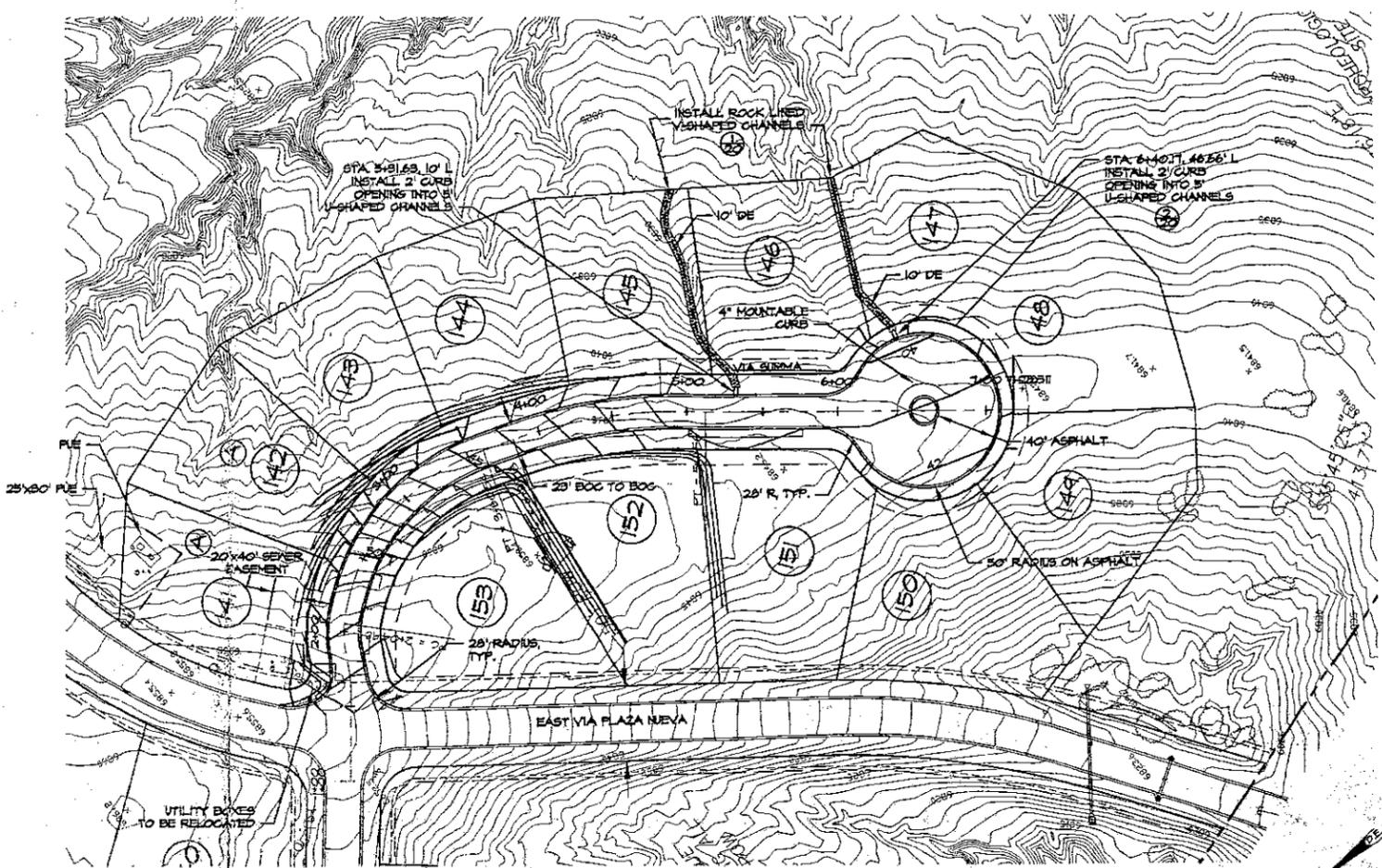
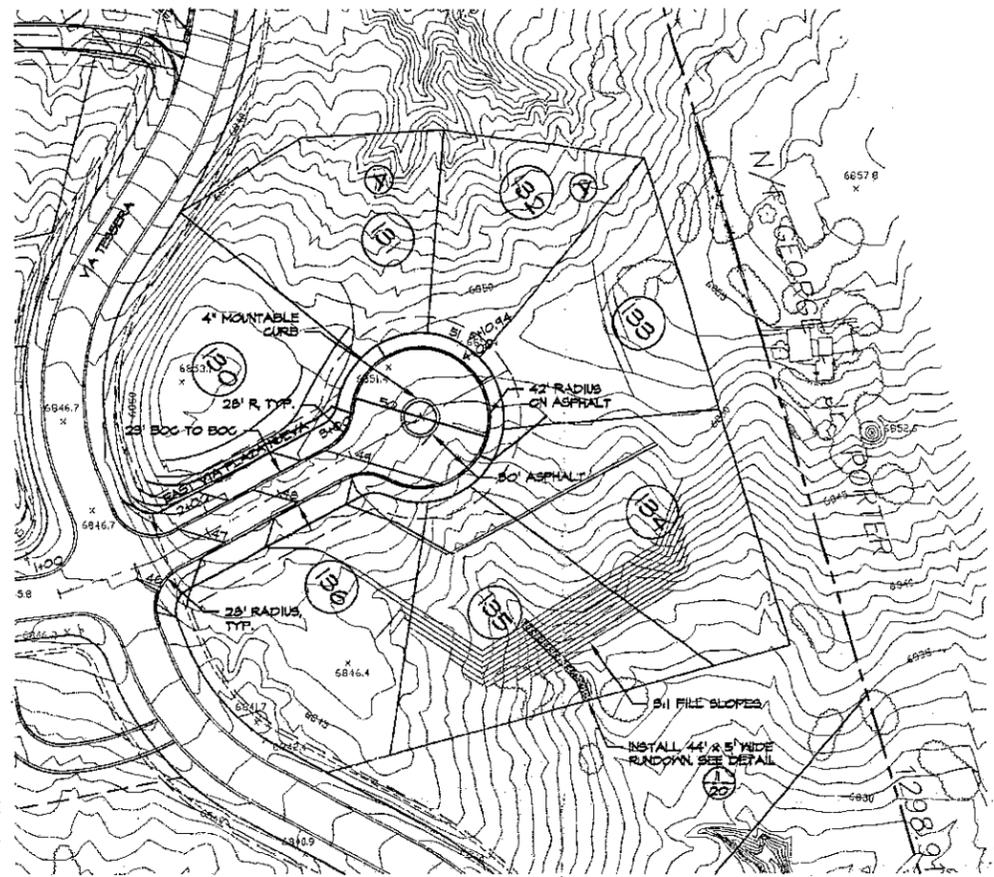
DESIGN ENGINEUTY

440 LUNA STREET, SUITE C
SANTA FE, NEW MEXICO 87505
(505) 991-9957

TESSERA 2

ROADWAY PLAN & TYPICAL SECTIONS

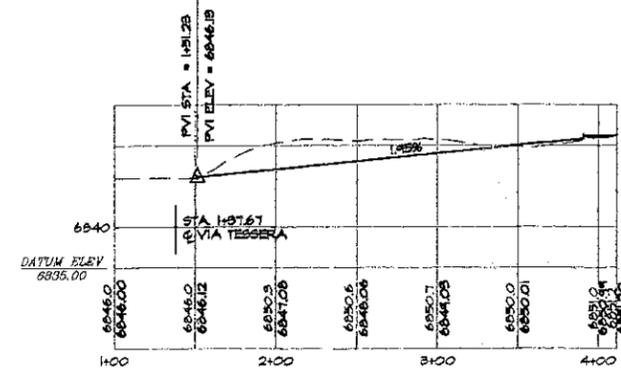
SCALE: 1"=100'
DATE: 11/04/2016
SHEET NO. 27



SCALE
VERTICAL = 1" = 10'
HORIZONTAL = 1" = 50'

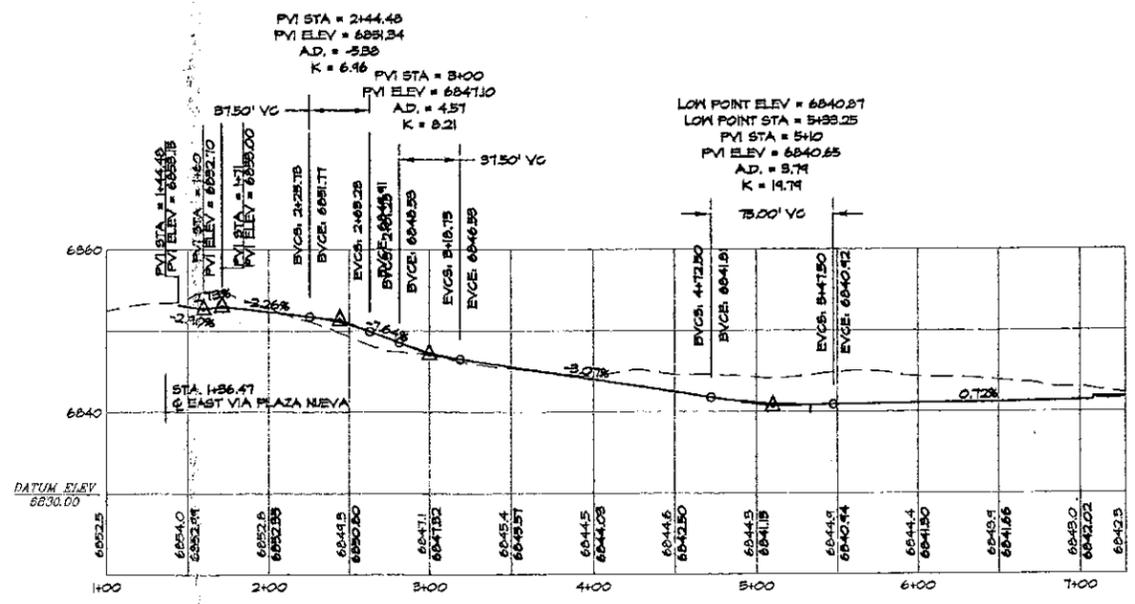
SCALE
VERTICAL = 1" = 10'
HORIZONTAL = 1" = 50'

REMOVE EXISTING CURB & GUTTER
MAKE NEW ASPHALT FLUSH WITH
EXISTING



EAST VIA PLAZA NUEVA

REMOVE EXISTING CURB & GUTTER
MAKE NEW ASPHALT FLUSH WITH
EXISTING



VIA SUMMA



REVISIONS	
DATE	BY

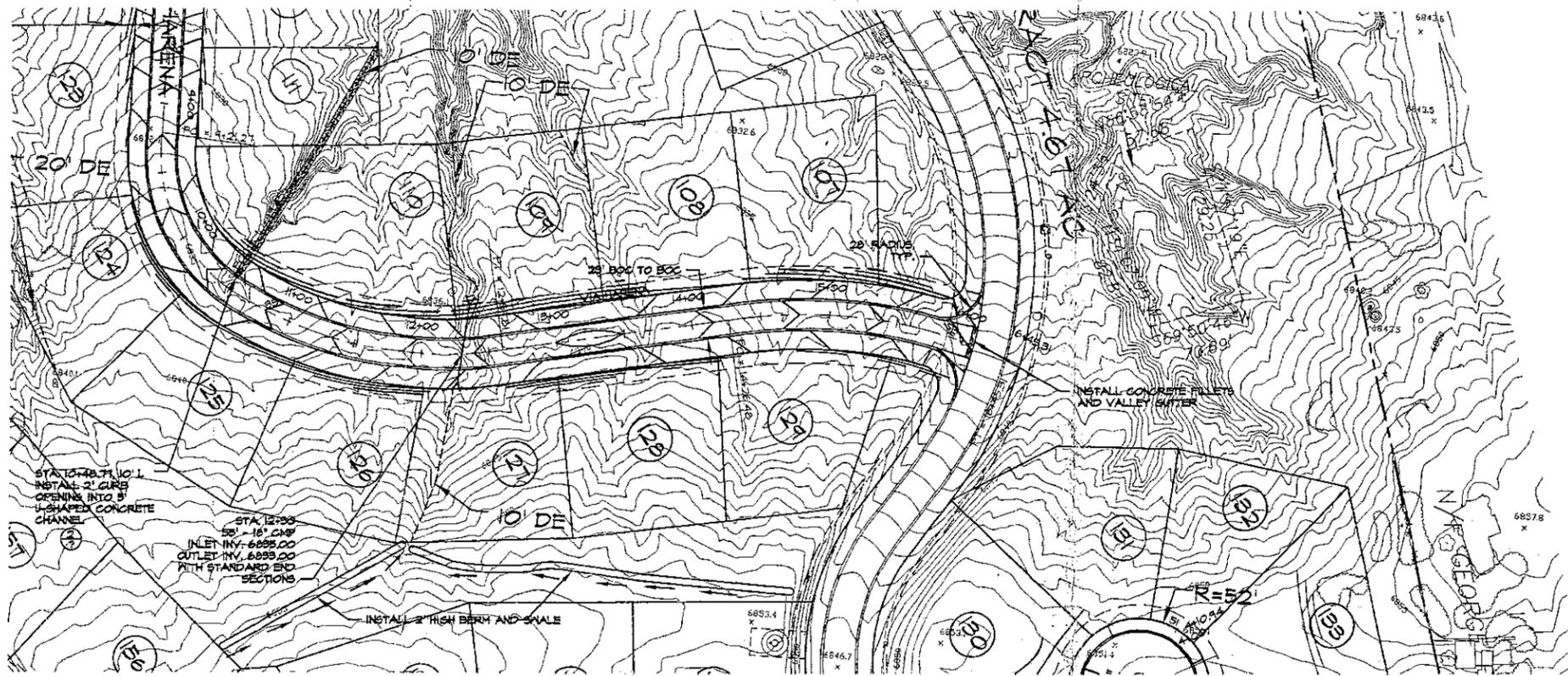
DESIGN ENGINEER

151 LUNA STREET, SUITE 6
SANTA FE, NEW MEXICO 87505
(505) 981-9997

TESSERA 2

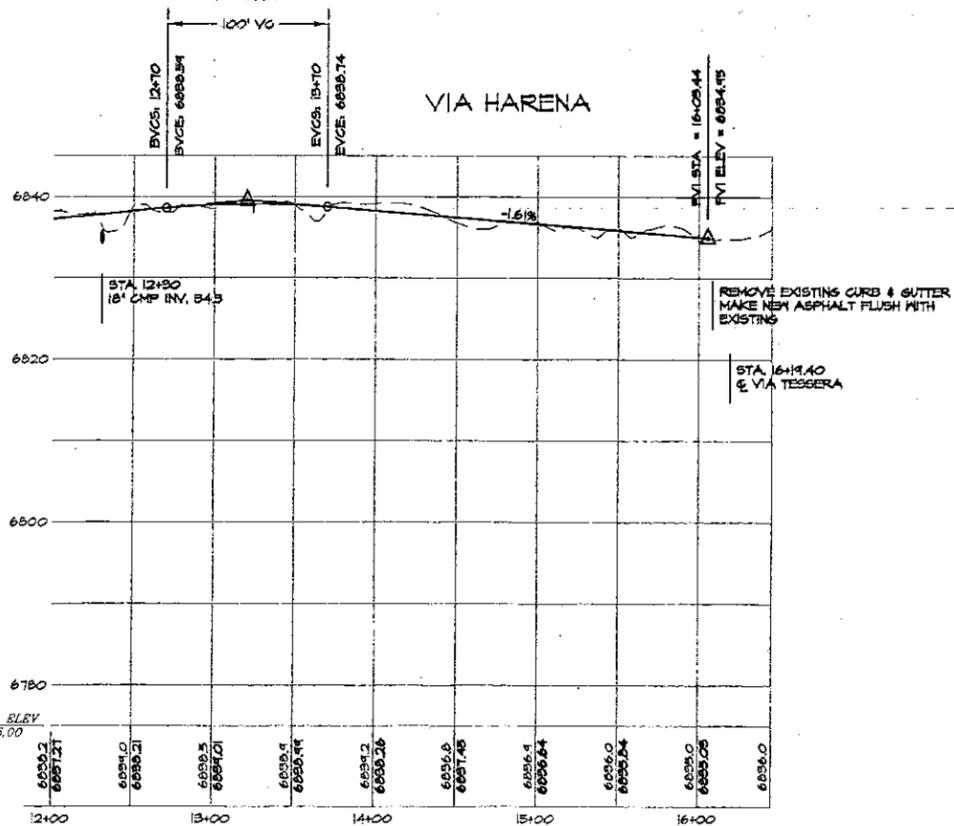
**EAST VIA PLAZA NUEVA & VIA SUMMA
PLAN AND PROFILE**

SCALE: 1" = 50' DATE: 11/04/2016
SHEET NO. 13



SCALE:
 VERTICAL = 1" = 10'
 HORIZONTAL = 1" = 50'

HIGH POINT ELEV = 6834.11
 HIGH POINT STA = 13+24.10
 PVI STA = 13+20
 PVI ELEV = 6834.54
 A.D. = -5.51
 K = 29.50



REVISIONS	
DATE	BY

DESIGN ENGINEER

1811 LUISA STREET, SUITE C
 SANTA FE, NEW MEXICO 87505
 (505) 841-9521

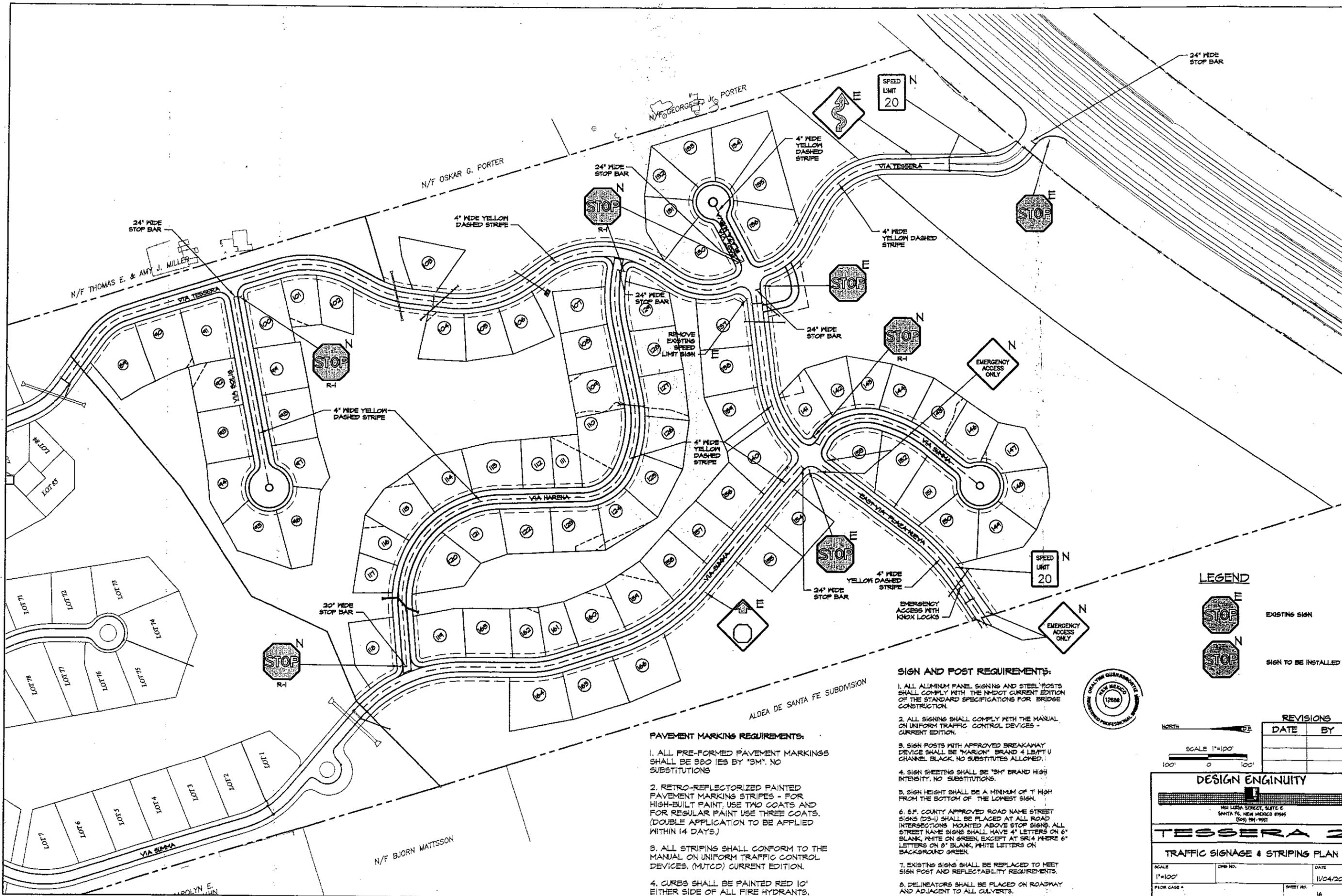
TESSERA 2

VIA HERENA PLAN AND PROFILE

SCALE: 1"=50' PWB NO. DATE: 11/04/2016

FEED CASE # SHEET NO. 15

30



- PAVEMENT MARKING REQUIREMENTS:**
1. ALL PRE-FORMED PAVEMENT MARKINGS SHALL BE 300 IES BY 13M. NO SUBSTITUTIONS
 2. RETRO-REFLECTORIZED PAINTED PAVEMENT MARKING STRIPES - FOR HIGH-BUILT PAINT, USE TWO COATS AND FOR REGULAR PAINT USE THREE COATS. (DOUBLE APPLICATION TO BE APPLIED WITHIN 14 DAYS.)
 3. ALL STRIPING SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. (MUTCD) CURRENT EDITION.
 4. CURBS SHALL BE PAINTED RED 10' EITHER SIDE OF ALL FIRE HYDRANTS.

- SIGN AND POST REQUIREMENTS:**
1. ALL ALUMINUM PANEL SIGNING AND STEEL POSTS SHALL COMPLY WITH THE MCDOT CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR BRIDGE CONSTRUCTION.
 2. ALL SIGNING SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES - CURRENT EDITION.
 3. SIGN POSTS WITH APPROVED BREAKAWAY DEVICE SHALL BE "MARION" BRAND 4 LIFT U CHANNEL BLACK. NO SUBSTITUTES ALLOWED.
 4. SIGN SHEETING SHALL BE "3M" BRAND HIGH INTENSITY. NO SUBSTITUTIONS.
 5. SIGN HEIGHT SHALL BE A MINIMUM OF 7' HIGH FROM THE BOTTOM OF THE LOWEST SIGN.
 6. S.F. COUNTY APPROVED ROAD NAME STREET SIGNS (D3-U) SHALL BE PLACED AT ALL ROAD INTERSECTIONS MOUNTED ABOVE STOP SIGNS. ALL STREET NAME SIGNS SHALL HAVE 4" LETTERS ON 6" BLANK WHITE ON GREEN, EXCEPT AT SR14 WHERE 6" LETTERS ON 6" BLANK WHITE LETTERS ON BACKGROUND GREEN.
 7. EXISTING SIGNS SHALL BE REPLACED TO MEET SIGN POST AND REFLECTABILITY REQUIREMENTS.
 8. DELINEATORS SHALL BE PLACED ON ROADWAY AND ADJACENT TO ALL CULVERTS.

LEGEND

- EXISTING SIGN
- SIGN TO BE INSTALLED



REVISIONS

DATE	BY

DESIGN ENGINEER

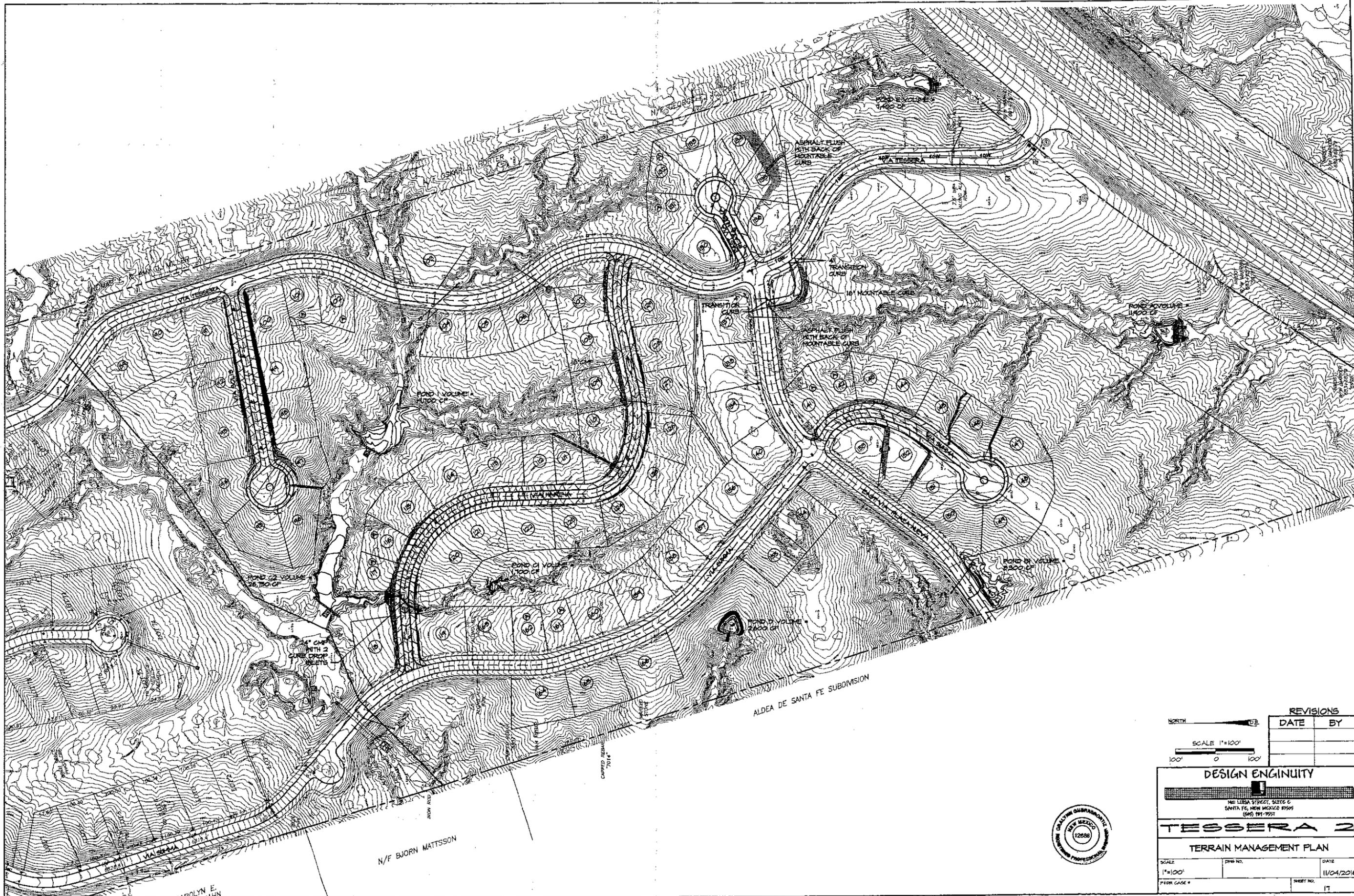
161 LUISA STREET, SUITE C
SANTA FE, NEW MEXICO 87505
(505) 944-1991

TESSERA 2

TRAFFIC SIGNAGE & STRIPING PLAN

SCALE: 1"=100' DATE: 11/04/2016

PLOD CASE # SHEET NO. 16



NORTH

SCALE 1"=100'

REVISIONS	
DATE	BY

DESIGN ENGINEUTY

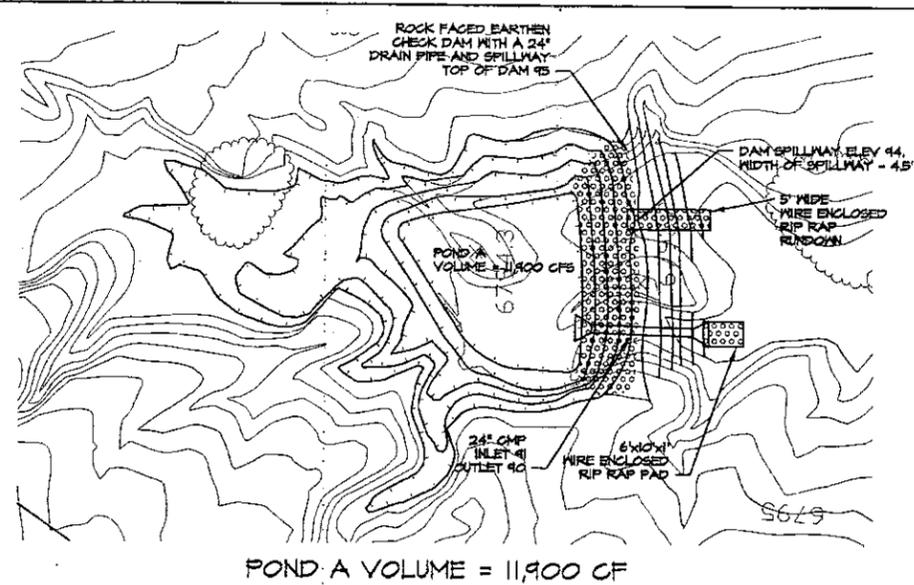
1401 LIBRA STREET, SUITE C
SANTA FE, NEW MEXICO 87505
(505) 981-9957

TESSERA 2

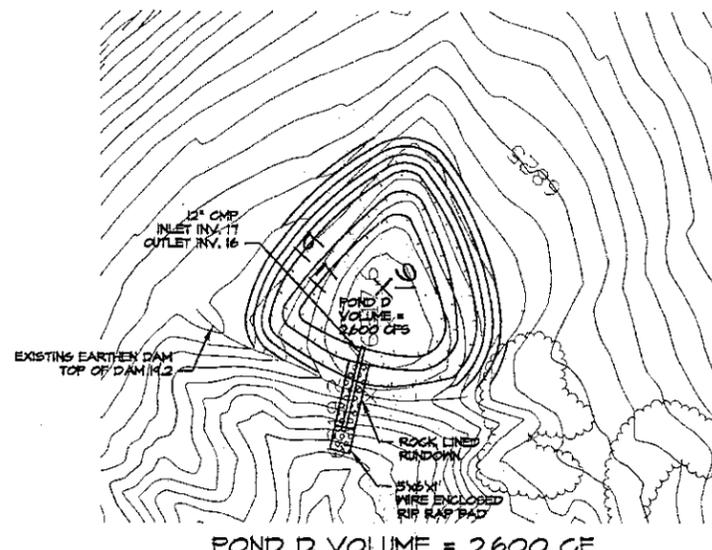
TERRAIN MANAGEMENT PLAN

SCALE 1"=100'	PLOT NO.	DATE 11/04/2016
PLOT CASE #	SHEET NO. 17	

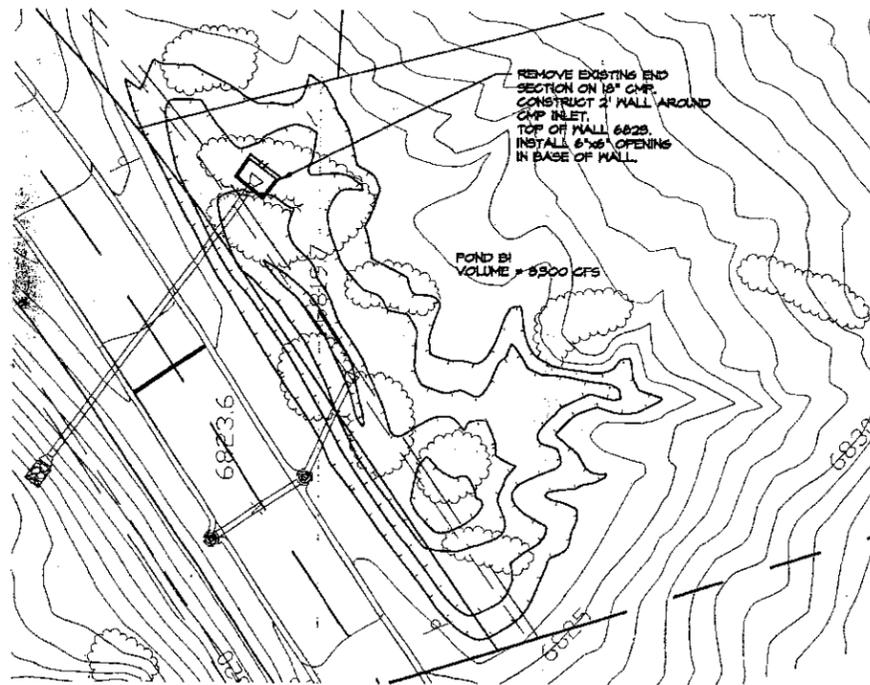




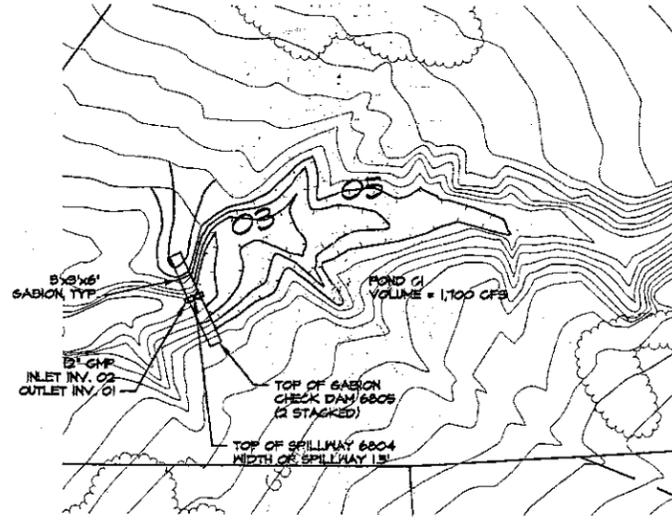
POND A VOLUME = 11,900 CF



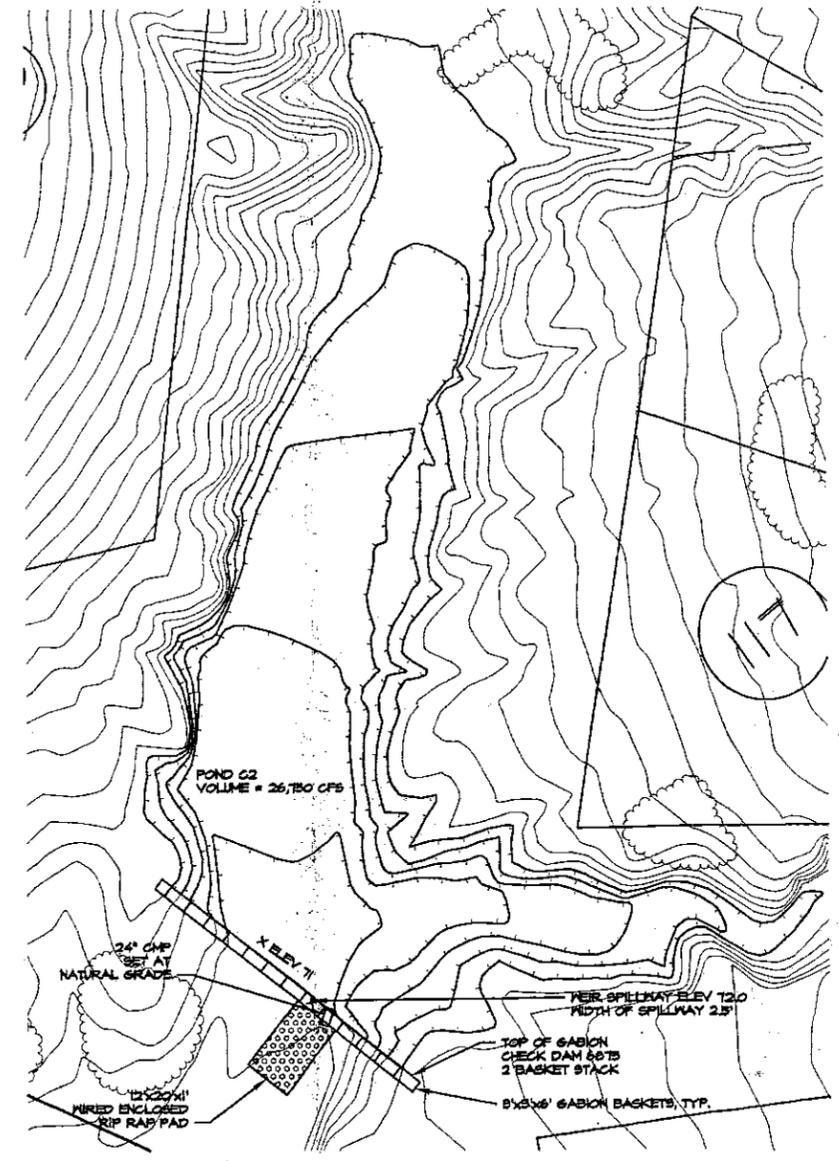
POND D VOLUME = 2,600 CF



POND B1 VOLUME = 8,300 CF



POND C1 VOLUME = 1,700 CF



POND G2 VOLUME = 26,750 CF

REVISIONS

DATE	BY

SCALE 1"=20'

20' 0 20'

DESIGN ENGINEER

1611 LUNA STREET, SUITE 6
SANTA FE, NEW MEXICO 87505
(505) 991-3221

TESSERA 2

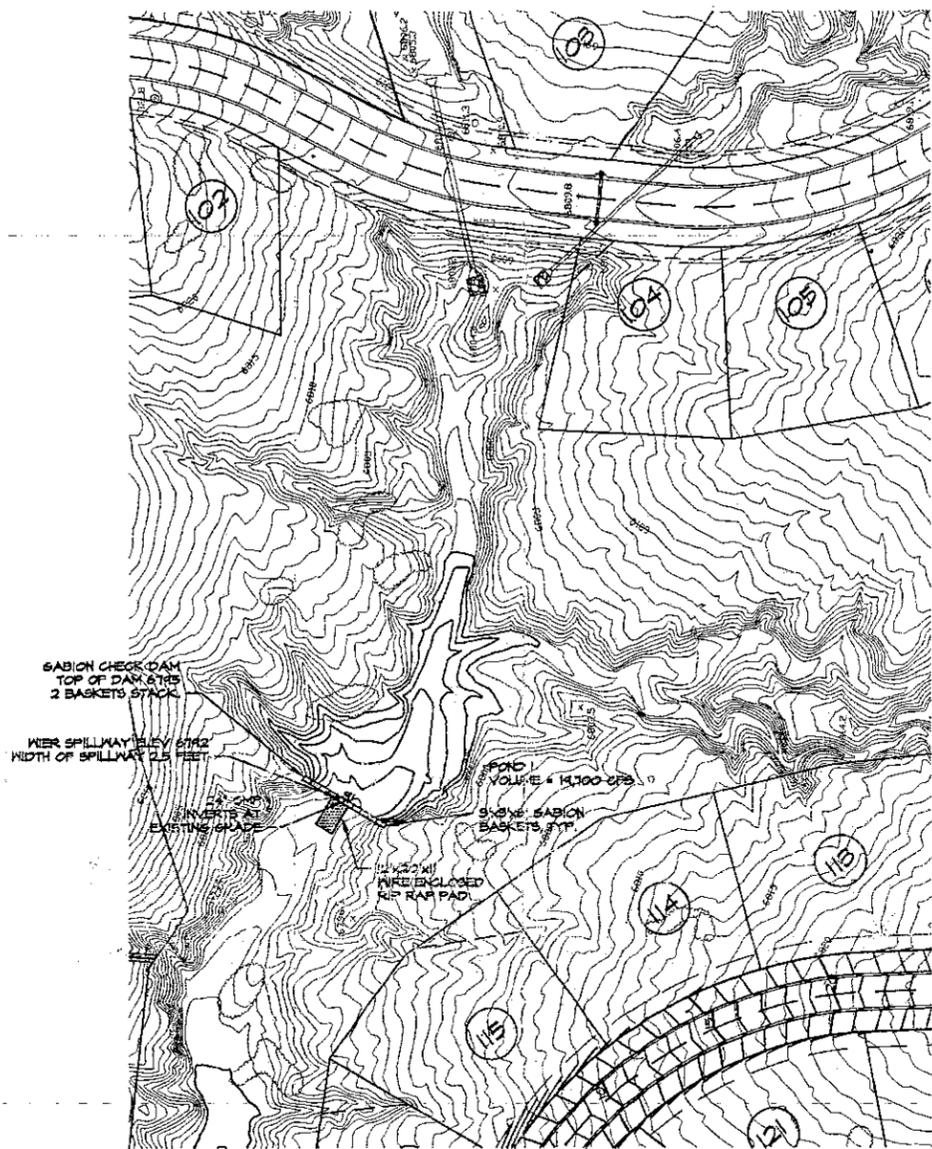
DETENTION POND GRADING

SCALE 1"=20' DATE 11/04/2016

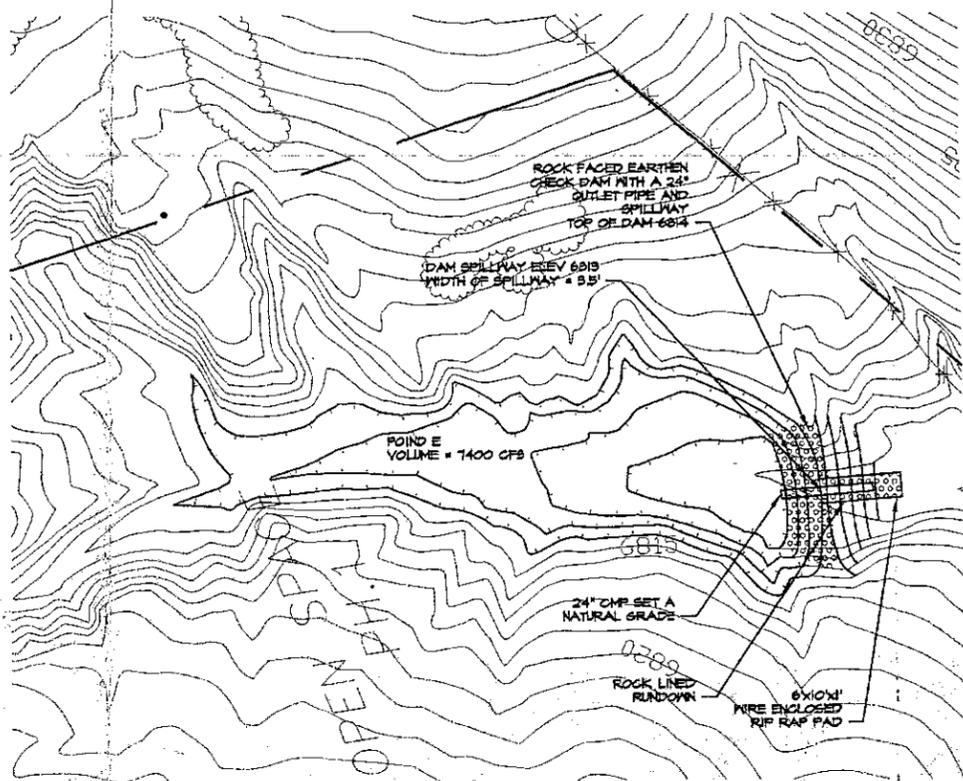
PI DR CASE # SHEET NO. 15



S:\P\DWG PROJECTS (backlog & plots)\Tessera\dwg\2016-10-25 Tessa\Submission\ssm.dwg, 11/3/2016 11:23:07 AM, HP Designer: T770pt 24x HPCL2



POND 1 VOLUME = 19,700 CF



POND E VOLUME = 7,400 CF

REVISIONS		
DATE	BY	

DESIGN ENGINEER

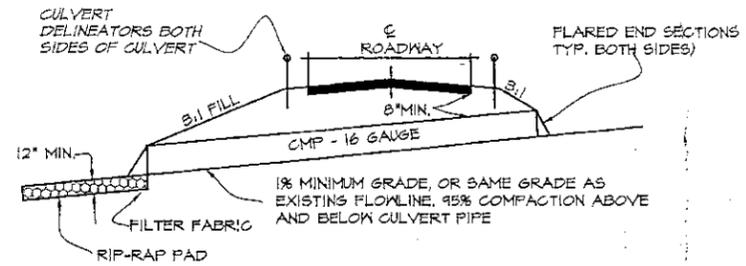
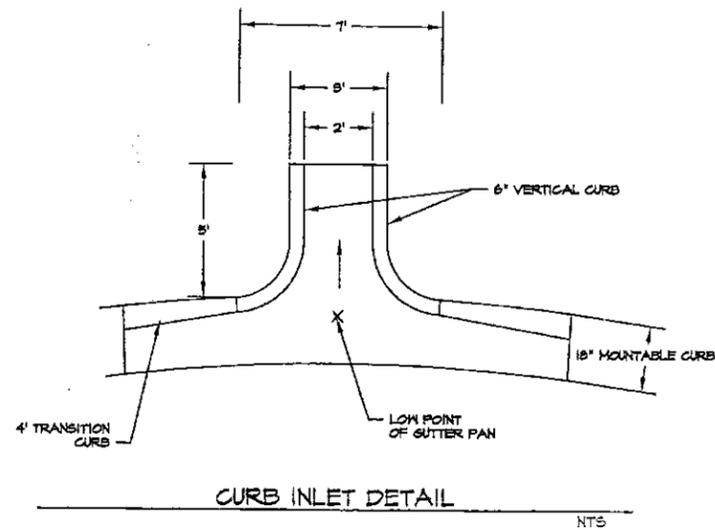
101 LUISA STREET, SUITE 6
SANTA FE, NEW MEXICO 87505
(505) 991-7997

TESSERA 2

DETENTION POND GRADING

SCALE: 1"=20'
DATE: 11/04/2016
SHEET NO.: 19





TYPICAL CULVERT SECTION
NTS

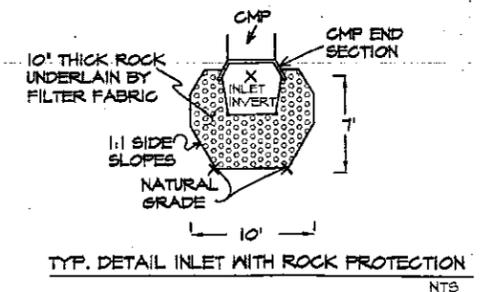
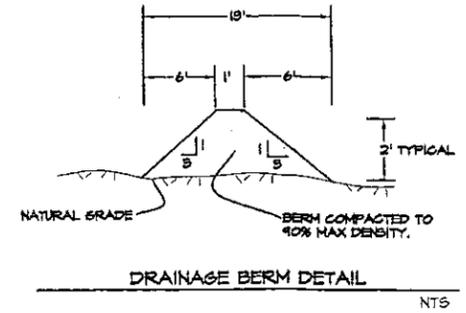
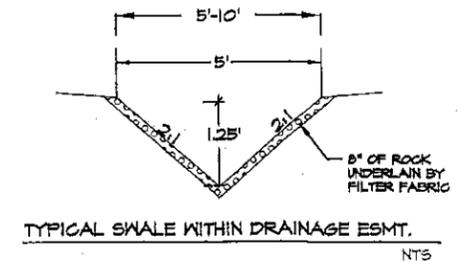
RIP-RAP PADS ARE TO BE CONSTRUCTED TO FIT FIELD CONDITIONS AND AS APPROVED BY THE ENGINEER. IF ROCK EXISTS AT OUTLET, THEN AT THE DISCRETION OF THE ENGINEER THE PAD MAY BE ELIMINATED. GENERALLY PADS WILL HAVE A 6' WIDTH AND 8' LENGTH CONSTRUCTED OF ROCK 6" OR LARGER.

RIP RAP PAD SIZES FOR ALL CULVERTS

PIPE SIZE	WIDTH	LENGTH
6"	2'	2'
24"	6'	8'
36"	7'	12'
12"	5'	4'
18"	5'	6'

- NOTES:**
1. RIP RAP SHALL BE WIRE ENCLOSED AND UNDERLAIN BY FILTER FABRIC.
 2. USE 6" RIVER ROCK MINIMUM.
 3. 2' MIN. SPACING BETWEEN ALL MULTIPLE CULVERTS.
 4. PAD SHALL BE ANCHORED WITH 4" STEEL PIPE, 5' LONG SET 4' O.C. LONGITUDINALLY ALTERNATIVELY.
 5. IF D₅₀ 10' RIVER ROCK AND 15' MINIMUM THICKNESS WIRE-WRAP MAY BE ELIMINATED.

- NOTES:**
1. ALL PONDING AREAS WILL BE 10 FEET FROM STRUCTURES MINIMUM.
 2. GRADES NEAR STRUCTURES SHALL BE A MINIMUM OF 4% AWAY FROM BUILDINGS.
 3. ALL DISTURBED AREAS SHALL BE REVEGETATED WITH PLANTS OF THE SOUTHWEST DRYLAND BLEND.
 4. ALL FILL MATERIALS SHALL MEET NM DOT SPECIFICATIONS (DIVISION 200) AND COMPACTED PER NMDOT SPECIFICATIONS OR ARCHITECTURAL SPECIFICATIONS, WHICHEVER IS STRICTER.
 5. MAINTENANCE OF ALL PONDS, SWALES, DRAINAGE PIPES AND OTHER DRAINAGE FACILITIES IS THE RESPONSIBILITY OF TESSERA OWNERS ASSOCIATION.
 6. PRIOR TO BEGINNING GRADING OPERATIONS, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED.



REVISIONS	
DATE	BY



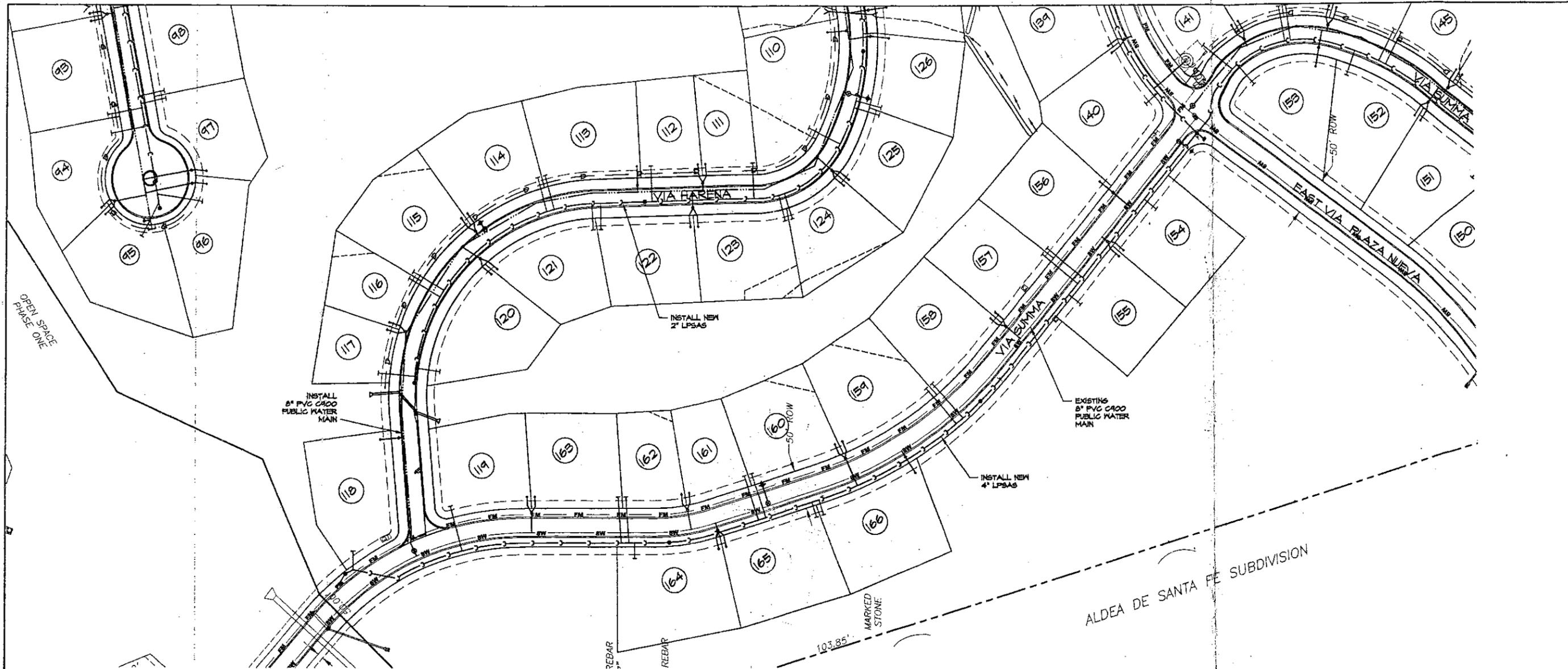
DESIGN ENGINEER

101 LUNA STREET, SUITE 6
SANTA FE, NEW MEXICO 87505
(505) 991-9551

TESSERA 2

MISCELLANEOUS DETAILS

SCALE	DATE
DATE	11/04/2016
PROJECT CASE #	SHEET NO. 20



NOTES:

1. ALL ROAD RIGHT-OF-WAY ARE 50' FEET.
2. TO INSTALL MET AND DRY UTILITIES ACROSS EXISTING ROADS CONTRACTOR SHALL SAWCUT ASPHALT A MINIMUM OF THE LINE WIDTH PLUS 2 FEET. TRENCH COMPACTION SHALL BE TESTED UNDER THE LINE AND AT 2-FOOT INTERVAL DEPTHS. 95% OF MAX. DENSITY COMPACTION IS REQUIRED WITHIN ROAD BED. SIX-INCHES OF COMPACTED BASECOURSE AND 2-INCHES OF ASPHALT MEETING SPECIFICATION AND TESTING REQUIREMENTS LISTED ON SHEET 55 ARE REQUIRED.
3. CONTRACTOR SHALL HAVE WRITTEN SIGN OFF FROM ALL MET AND DRY UTILITIES AND THE PROJECT ENGINEER BEFORE A FINAL TWO-INCH LIFT IS ADDED TO THE EXISTING ROADWAYS.
4. SEWER AND WATER SERVICES SHALL EXTEND 1-FOOT PAST THE DRY UTILITY TRENCH.
5. ALL UTILITY LINES SHALL BE UNDERGROUND.
6. WATER METERS SHALL BE PLACE BEHIND THE CURB WITHIN THE ROAD R.O.W.

- LEGEND**
- SINGLE WATER SERVICE
 - DOUBLE WATER SERVICE
 - NEW FIRE HYDRANT
 - NEW WATER LINE CAP
 - NEW 8" PUBLIC WATERLINE, UNLESS OTHERWISE NOTED
 - EXISTING PUBLIC WATERLINE, SIZE AS NOTED
 - ⊙ NEW WATER GATE VALVE AND VALVE BOX
 - ⊙ NEW FLUSHING HYDRANT AND GATE VALVE
 - NEW WATER AIR & VACUUM RELIEF VALVE
 - ⊙ EXISTING WATER GATE VALVE
 - ⊙ EXISTING FLUSHING HYDRANT AND GATE VALVE
 - NEW LOW PRESSURE SEWER, SIZE AS NOTED, HOPE
 - NEW LPSAS AIR VACUUM RELEASE VALVE STATION
 - ⊙ EXISTING LPSAS AIR VACUUM RELEASE VALVE STATION
 - ⊙ EXISTING LPSAS FLUSHING STATION
 - EXISTING LOW PRESSURE SEWER, SIZE AS NOTED
 - NEW LPSAS FLUSHING STATION
 - EXISTING DRY UTILITY LINE (ABOVE EXISTING LOW PRESSURE SEWER)
 - NEW PRIMARY DRY UTILITY LINE (CABLE, ELECTRIC, GAS AND TELEPHONE)
 - NEW LPSAS 1/4" SERVICE LINE

ALDEA DE SANTA FE SUBDIVISION

REVISIONS

DATE	REVISIONS

SCALE 1"=60'

NORTH

DESIGN ENGINEUNITY

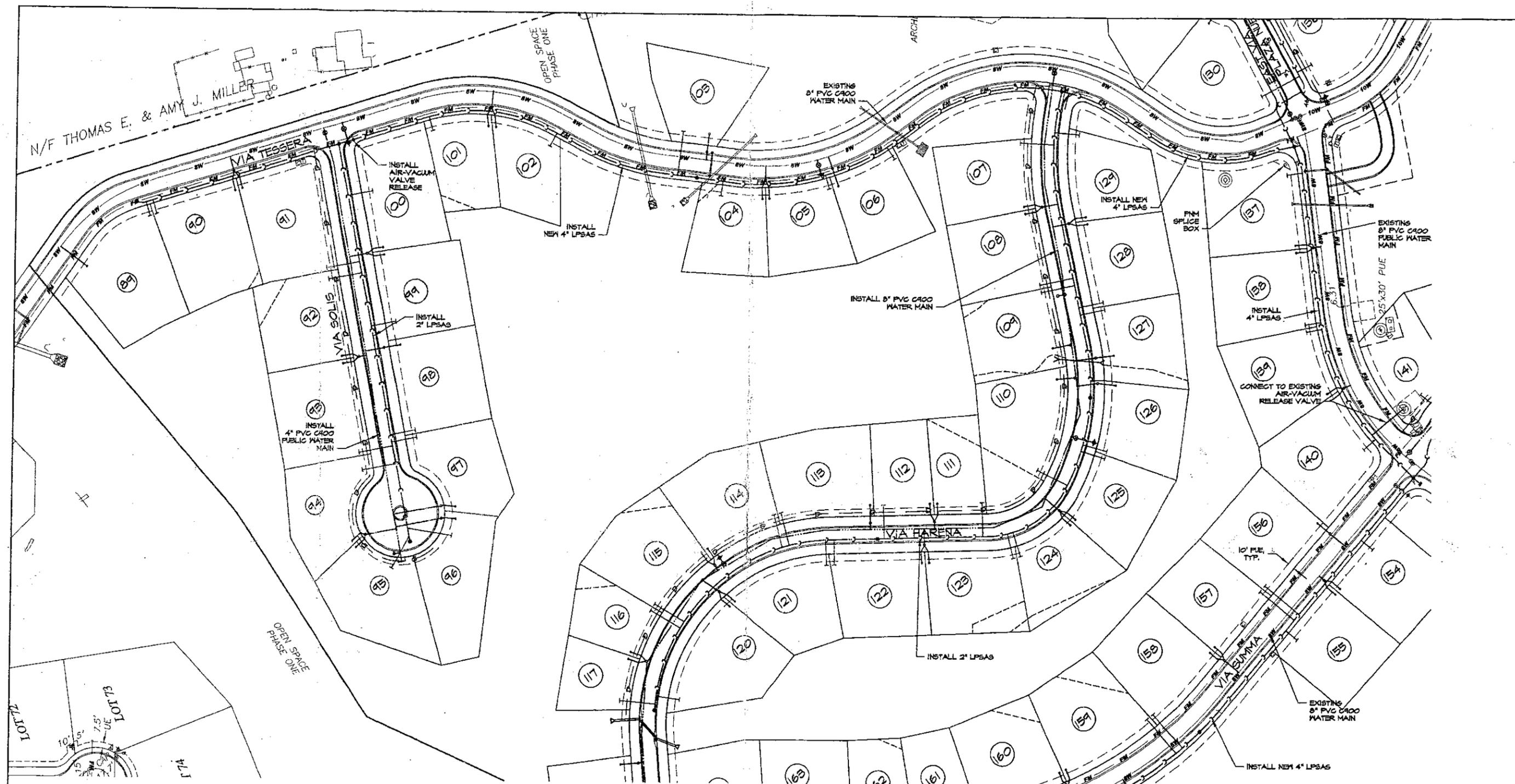
1801 LIBERA STREET, SUITE C
SANTA FE, NEW MEXICO 87505
(505) 994-1971

TESSERA 2

MASTER UTILITY PLAN

SCALE 1"=60'	DWG. NO.	DATE 11/04/2016
PATRICK GARDNER	SHEET NO. 22	





NOTES:

1. ALL ROAD RIGHT-OF-WAY ARE 50' FEET.
2. TO INSTALL NET AND DRY UTILITIES ACROSS EXISTING ROADS CONTRACTOR SHALL SAWCUT ASPHALT A MINIMUM OF THE LINE WIDTH PLUS 2 FEET. TRENCH COMPACTION SHALL BE TESTED UNDER THE LINE AND AT 2-FOOT INTERVAL DEPTHS. 45% OF MAX. DENSITY COMPACTION IS REQUIRED WITHIN ROAD BED. SIX-INCHES OF COMPACTED BASECOURSE AND 2-INCHES OF ASPHALT MEETING SPECIFICATION AND TESTING REQUIREMENTS LISTED ON SHEET 95 ARE REQUIRED.
3. CONTRACTOR SHALL HAVE WRITTEN SIGN OFF FROM ALL NET AND DRY UTILITIES AND THE PROJECT ENGINEER BEFORE A FINAL TWO-INCH LIFT IS ADDED TO THE EXISTING ROADWAYS.
4. SEWER AND WATER SERVICES SHALL EXTEND 1-FOOT PAST THE DRY UTILITY TRENCH.
5. ALL UTILITY LINES SHALL BE UNDERGROUND.
6. WATER METERS SHALL BE PLACE BEHIND THE CURB WITHIN THE ROAD R.O.W.

- LEGEND**
- SINGLE WATER SERVICE
 - DOUBLE WATER SERVICE
 - NEW FIRE HYDRANT
 - NEW WATER LINE CAP
 - NEW 8" PUBLIC WATERLINE, UNLESS OTHERWISE NOTED
 - EXISTING PUBLIC WATERLINE, SIZE AS NOTED
 - NEW WATER GATE VALVE AND VALVE BOX
 - NEW FLUSHING HYDRANT AND GATE VALVE
 - NEW WATER AIR & VACUUM RELIEF VALVE
 - EXISTING WATER GATE VALVE
 - EXISTING FLUSHING HYDRANT AND GATE VALVE
 - NEW LOW PRESSURE SEWER, SIZE AS NOTED, HDPE
 - NEW LPSAS AIR VACUUM RELEASE VALVE STATION
 - EXISTING LPSAS AIR VACUUM RELEASE VALVE STATION

- EXISTING LPSAS FLUSHING STATION
- EXISTING LOW PRESSURE SEWER, SIZE AS NOTED
- NEW LPSAS FLUSHING STATION
- EXISTING DRY UTILITY LINE (ABOVE EXISTING LOW PRESSURE SEWER)
- NEW PRIMARY DRY UTILITY LINE (CABLE, ELECTRIC, GAS AND TELEPHONE)
- NEW LPSAS 1-1/4" SERVICE LINE

REVISIONS

DATE	BY

SCALE 1"=60'



DESIGN ENGINEER

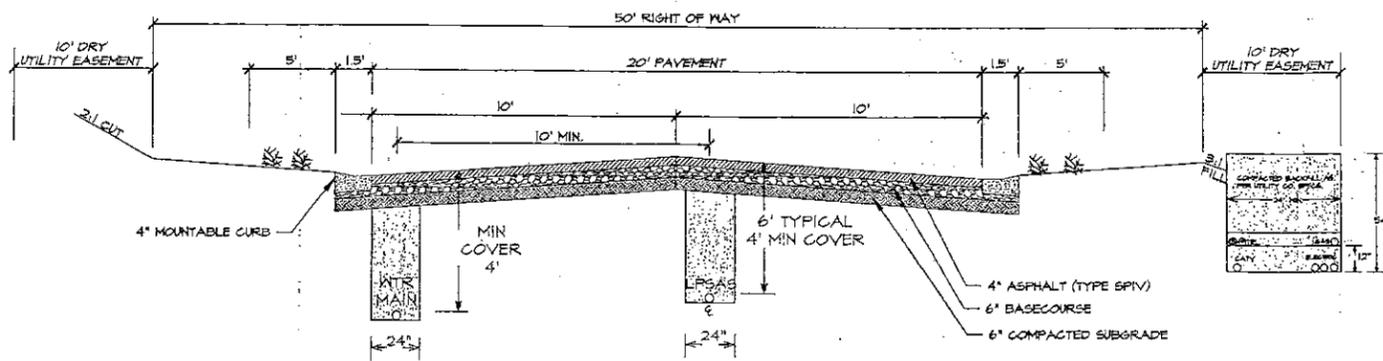
181 LUISA STREET, SUITE 6
SANTA FE, NEW MEXICO 87505
(505) 991-1551

TESSERA 2

MASTER UTILITY PLAN

SCALE: 1"=60' DATE: 11/04/2016

FIG. CASE # SHEET NO. 23



NEW ROAD TYPICAL UNDERGROUND UTILITIES RELATIVE LOCATION
NTS

- * NOTE:
1. WHERE NEW SERVICE LINES OR MAINS WILL BE INSTALLED WHERE ASPHALT IS PRESENT, CONTRACTOR SHALL SAWCUT ASPHALT A MINIMUM OF THE LINE WIDTH + 2'. TRENCH COMPACTION SHALL BE TESTED UNDER THE LINE AND AT 2' INTERVAL DEPTHS. 95% OF MAX. COMPACTION IS REQUIRED IN ROADWAY. SIX INCHES OF COMPACTED BASECOURSE AND FOUR INCHES OF ASPHALT MEETING SPECIFICATIONS AND TESTING REQUIREMENTS LISTED ON SHEET 20' ARE REQUIRED.
 2. SEWER AND WATER SERVICES SHALL EXTEND 1' PAST THE DRY UTILITY TRENCH.
 3. ALL UTILITY LINES MUST BE PLACED UNDERGROUND.
 4. WATER METER SHALL BE PLACED INSIDE ROAD ROW BEHIND THE CURB.

ACRONYM LEGEND
 CATV: CABLE TELEVISION LINE
 LPSAS: LOW PRESSURE SANITARY SEWER
 WTR: WATER MAIN

REVISIONS	
DATE	BY



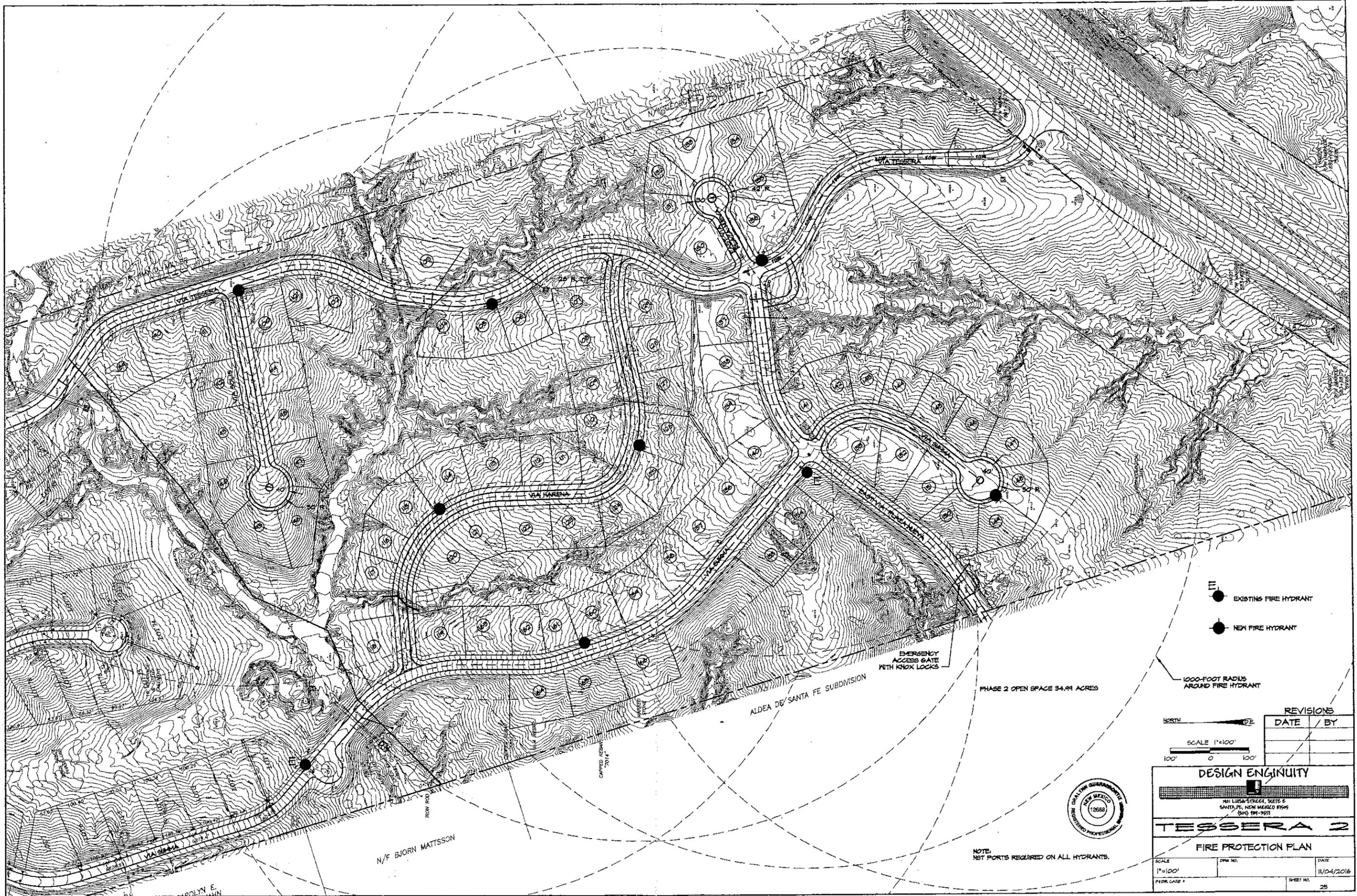
DESIGN ENGINEER

MR. LUISA STREET, SUITE 6
 SANTA FE, NEW MEXICO 87505
 (505) 991-1991

TESSERA 2

UTILITY SERVICES STANDARD DETAILS

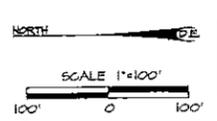
SCALE	DWG NO.	DATE
		11/04/2016
PLOR CASE #	SHEET NO. 24	



● EXISTING FIRE HYDRANT

● NEW FIRE HYDRANT

1000-FOOT RADIUS AROUND FIRE HYDRANT



REVISIONS	
DATE	BY



DESIGN ENGINEER

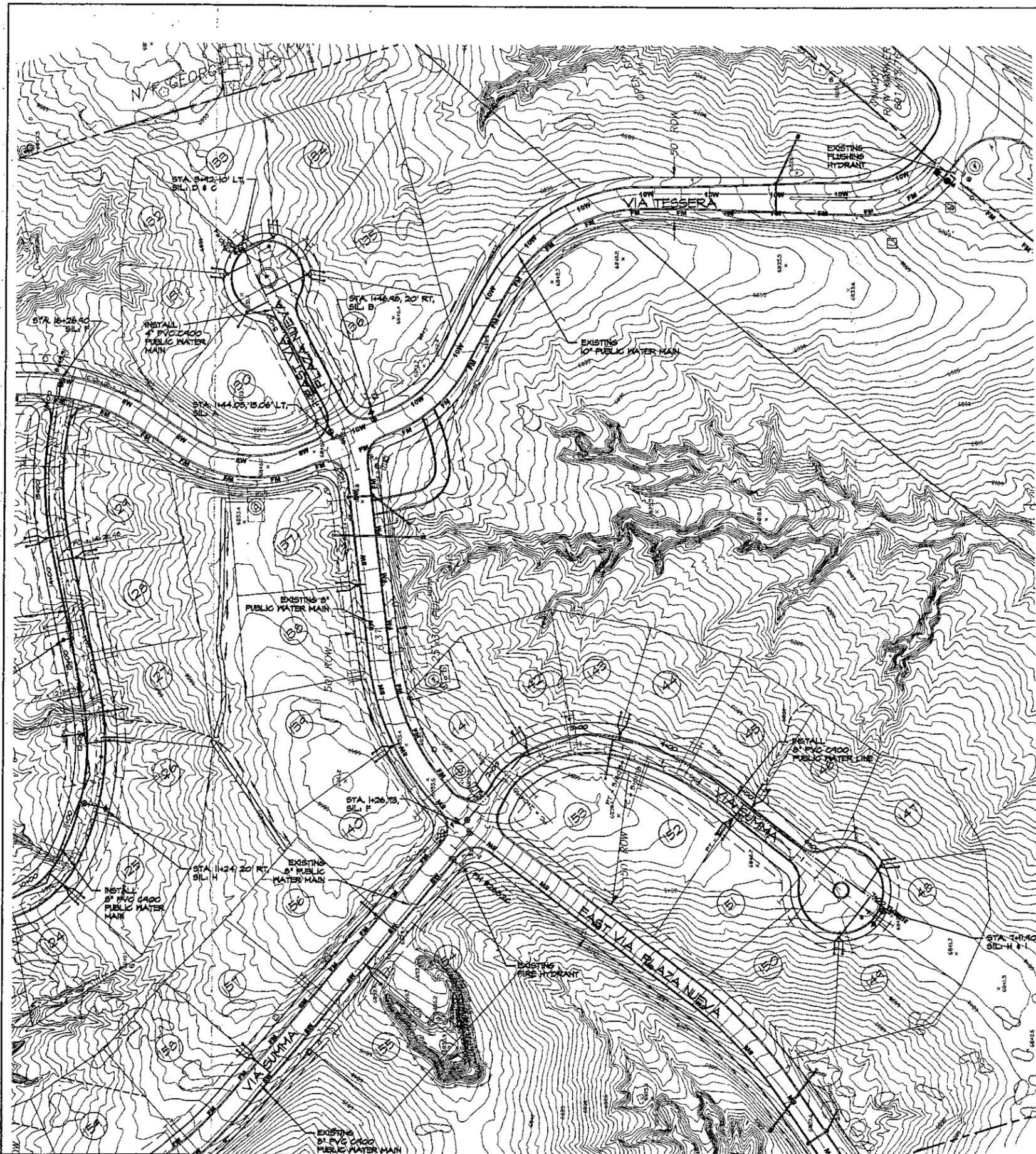
1411 LUNA STREET, SUITE 6
SANTA FE, NEW MEXICO 87505
(505) 981-3971

TESSERA 2

FIRE PROTECTION PLAN

SCALE 1"=100'	DWG. NO.	DATE 11/04/2016
FEDR. CASE #	SHEET NO. 25	

NOTE:
NET PORTS REQUIRED ON ALL HYDRANTS.



- LEGEND**
- SINGLE WATER SERVICE
 - DOUBLE WATER SERVICE
 - NEW FIRE HYDRANT
 - NEW WATER LINE CAP
 - NEW 8" PUBLIC WATERLINE, UNLESS OTHERWISE NOTED
 - EXISTING PUBLIC WATERLINE, SIZE AS NOTED
 - ⊙ NEW WATER GATE VALVE AND VALVE BOX
 - ⊙ NEW FLUSHING HYDRANT AND GATE VALVE
 - NEW WATER AIR & VACUUM RELIEF VALVE
 - ⊙ EXISTING WATER GATE VALVE
 - ⊙ EXISTING FLUSHING HYDRANT AND GATE VALVE
 - NEW LOW PRESSURE SEWER, SIZE AS NOTED, HDPE
 - NEW LPSAS AIR VACUUM RELEASE VALVE STATION
 - ⊙ EXISTING LPSAS AIR VACUUM RELEASE VALVE STATION
 - ⊙ EXISTING LPSAS FLUSHING STATION
 - EXISTING LOW PRESSURE SEWER, SIZE AS NOTED
 - NEW LPSAS FLUSHING STATION
 - NEW LPSAS 1-1/4" SERVICE LINE

- NOTES:**
1. CONTRACTOR SHALL NOTIFY THE COUNTY WATER UTILITY OF THEIR SCHEDULE TO INSTALL THE TAPPING SLEEVES ON EXISTING WATERLINE. SUCH NOTIFICATION SHALL BE MADE NOT LESS THAN 72 HOURS BEFORE WORK BEGINS.
 2. PRESSURE CONNECTION MAY INVOLVE WATER LINE SHUTDOWN AND DEWATERING, ALL INCIDENTAL TO THE CONNECTION.
 3. PIPE COUPON SHALL BE REMOVED AS PART OF THE INSTALLATION WORK AND TURNED OVER TO THE COUNTY WATER UTILITY STAFF PRESENT DURING EXECUTION OF TAPPING OPERATION.
 4. NST PORTS REQUIRED ON ALL FIRE HYDRANTS.

STANDARD INSTALLATION LIST (SIL)

- | | |
|---|--|
| <p>A. INSTALL 8"x4" TAP SLEEVE ON EXISTING WATERLINE. INSTALL 4" M.J.xFL6 GATE VALVE AND VALVE BOX. RESTRAIN AS REQUIRED.</p> <p>B. INSTALL 8"x6" TAP SLEEVE ON EXISTING WATERLINE. 6" M.J.xFL6 GATE VALVE AND VALVE BOX. 3-WAY FIRE HYDRANT ASSEMBLY WITH NST NOZZLE. PLACE 5 FEET BEHIND CURB. RESTRAIN AS REQUIRED.</p> <p>C. INSTALL 4" CAP. RESTRAIN AS REQUIRED.</p> <p>D. INSTALL FLUSHING HYDRANT WITH 2" GATE VALVE AND BOX. RESTRAIN AS REQUIRED.</p> <p>E. INSTALL 8"x1" TAP SLEEVE ON EXISTING WATERLINE. INSTALL 1" AIR & VACUUM RELIEF VALVE AND VALVE BOX. RESTRAIN AS REQUIRED.</p> <p>F. INSTALL 8"x8" TAP SLEEVE ON EXISTING WATERLINE. INSTALL 8" M.J. x FL6 GATE VALVE AND VALVE BOX. RESTRAIN AS REQUIRED.</p> | <p>G. INSTALL 1" AIR VACUUM RELEASE VALVE AND VALVE BOX. RESTRAIN AS REQUIRED.</p> <p>H. INSTALL 8"x6" TEE. 6" M.J.xFL6 GATE VALVE AND VALVE BOX. 3-WAY FIRE HYDRANT ASSEMBLY WITH NST NOZZLE. PLACE 5 FEET BEHIND CURB. RESTRAIN AS REQUIRED.</p> <p>I. INSTALL 8" CAP. RESTRAIN AS REQUIRED.</p> |
|---|--|

REVISIONS	
DATE	BY

SCALE 1"=60'

DESIGN ENGINEUTY

1451 LUISA STREET, SUITE 6
SANTA FE, NEW MEXICO 87505
(505) 964-1997

TESSERA 2

WATER PLAN

SCALE 1"=60'	DWG. NO.	DATE 11/04/2016
FEED CASE #	SHEET NO. 26	





- NOTES:
1. CONTRACTOR SHALL NOTIFY THE COUNTY WATER UTILITY OF THEIR SCHEDULE TO INSTALL THE TAPPING SLEEVES ON EXISTING WATERLINE. SUCH NOTIFICATION SHALL BE MADE NOT LESS THAN 72 HOURS BEFORE WORK BEGINS.
 2. PRESSURE CONNECTION MAY INVOLVE WATER LINE SHUTDOWN AND DEMATERING, ALL INCIDENTAL TO THE CONNECTION.
 3. PIPE COUPON SHALL BE REMOVED AS PART OF THE INSTALLATION WORK AND TURNED OVER TO THE COUNTY WATER UTILITY STAFF PRESENT DURING EXECUTION OF TAPPING OPERATION.
 4. NST PORTS REQUIRED ON ALL FIRE HYDRANTS.

STANDARD INSTALLATION LIST (SIL)

LEGEND

- SINGLE WATER SERVICE
- DOUBLE WATER SERVICE
- NEW FIRE HYDRANT
- NEW WATER LINE CAP
- NEW 8" PUBLIC WATERLINE, UNLESS OTHERWISE NOTED
- EXISTING PUBLIC WATERLINE, SIZE AS NOTED
- NEW WATER GATE VALVE AND VALVE BOX
- NEW FLUSHING HYDRANT AND GATE VALVE
- NEW WATER AIR & VACUUM RELIEF VALVE
- EXISTING WATER GATE VALVE
- EXISTING FLUSHING HYDRANT AND GATE VALVE
- NEW LOW PRESSURE SEWER, SIZE AS NOTED, HOPS
- NEW LPSAS AIR VACUUM RELEASE VALVE STATION
- EXISTING LPSAS AIR VACUUM RELEASE VALVE STATION
- EXISTING LPSAS FLUSHING STATION
- EXISTING LOW PRESSURE SEWER, SIZE AS NOTED
- NEW LPSAS FLUSHING STATION
- NEW LPSAS 1-1/4" SERVICE LINE

- A. INSTALL 8"x4" TAP SLEEVE ON EXISTING WATERLINE. INSTALL 4" M.J.xFL6 GATE VALVE AND VALVE BOX. RESTRAIN AS REQUIRED.
- B. INSTALL 8"x6" TAP SLEEVE ON EXISTING WATERLINE. 6" M.J.xFL6 GATE VALVE AND VALVE BOX. 8-WAY FIRE HYDRANT ASSEMBLY WITH NST NOZZLE. PLACE 5 FEET BEHIND CURB. RESTRAIN AS REQUIRED.
- C. INSTALL 4" CAP. RESTRAIN AS REQUIRED.
- D. INSTALL FLUSHING HYDRANT WITH 2" GATE VALVE AND BOX. RESTRAIN AS REQUIRED.
- E. INSTALL 8"x1" TAP SLEEVE ON EXISTING WATERLINE. INSTALL 1" AIR & VACUUM RELIEF VALVE AND VALVE BOX. RESTRAIN AS REQUIRED.
- F. INSTALL 8"x8" TAP SLEEVE ON EXISTING WATERLINE. INSTALL 8" M.J. x FL6 GATE VALVE AND VALVE BOX. RESTRAIN AS REQUIRED.
- G. INSTALL 1" AIR VACUUM RELEASE VALVE AND VALVE BOX. RESTRAIN AS REQUIRED.
- H. INSTALL 8"x6" TEE. 6" M.J.xFL6 GATE VALVE AND VALVE BOX. 8-WAY FIRE HYDRANT ASSEMBLY WITH NST NOZZLE. PLACE 5 FEET BEHIND CURB. RESTRAIN AS REQUIRED.
- I. INSTALL 8" CAP. RESTRAIN AS REQUIRED.

REVISIONS	
DATE	

DESIGN ENGINEERING

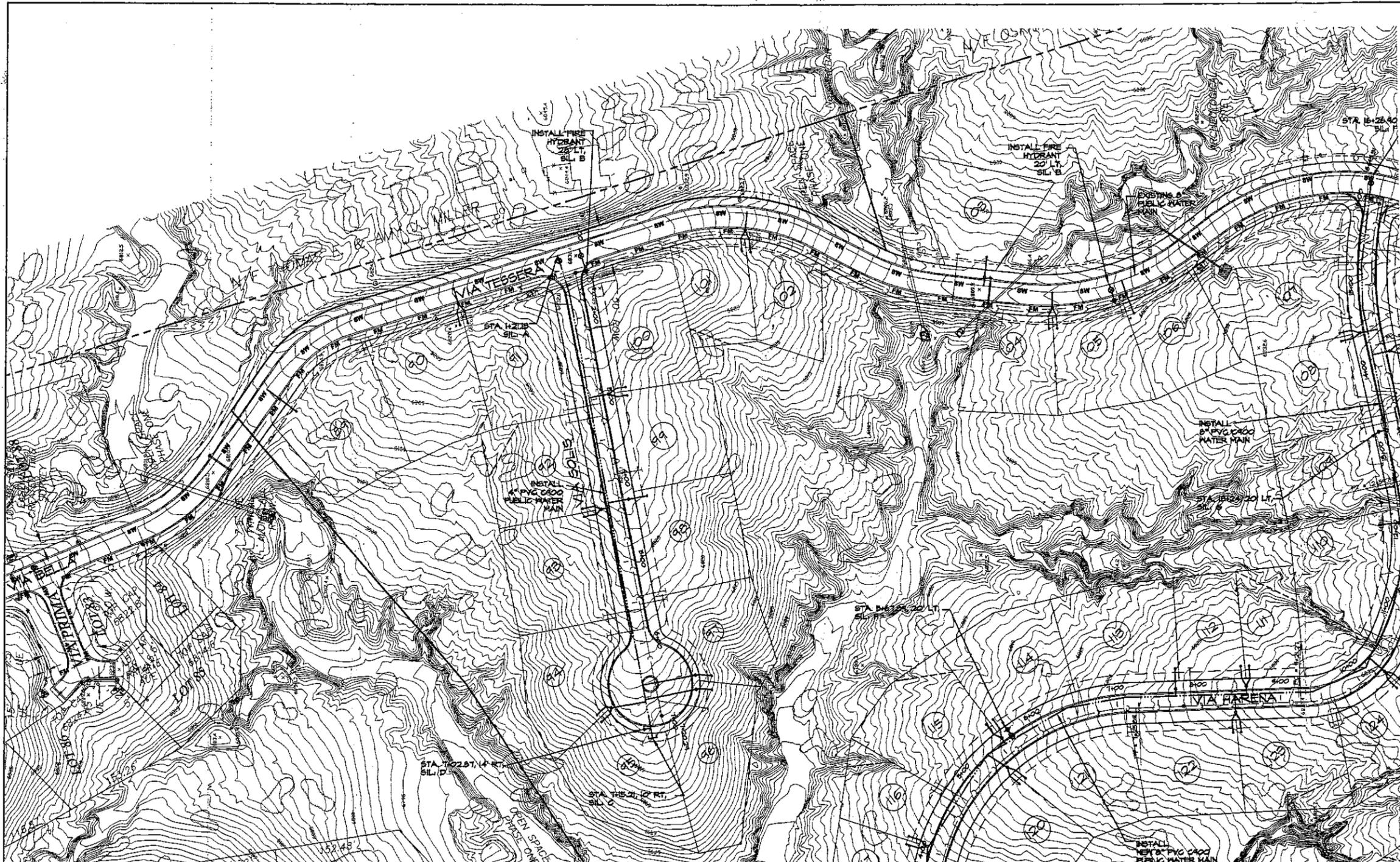
1001 LIBRA STREET, SUITE 6
SANTA FE, NEW MEXICO 87505
(505) 991-2551

TESSERA 2

WATER PLAN

SCALE 1"=60'	DWG NO.	DATE 11/04/2016
PLOT CASE #		SHEET NO. 21





- NOTES:
1. CONTRACTOR SHALL NOTIFY THE COUNTY WATER UTILITY OF THEIR SCHEDULE TO INSTALL THE TAPPING SLEEVES ON EXISTING WATERLINE. SUCH NOTIFICATION SHALL BE MADE NOT LESS THAN 72 HOURS BEFORE WORK BEGINS.
 2. PRESSURE CONNECTION MAY INVOLVE WATER LINE SHUTDOWN AND Dewatering, ALL INCIDENTAL TO THE CONNECTION
 3. PIPE COUPON SHALL BE REMOVED AS PART OF THE INSTALLATION WORK AND TURNED OVER TO THE COUNTY WATER UTILITY STAFF PRESENT DURING EXECUTION OF TAPPING OPERATION.
 4. NST PORTS REQUIRED ON ALL FIRE HYDRANTS.

- LEGEND
- SINGLE WATER SERVICE
 - DOUBLE WATER SERVICE
 - NEW FIRE HYDRANT
 - NEW WATER LINE CAP
 - NEW 8" PUBLIC WATERLINE, (UNLESS OTHERWISE NOTED)
 - EXISTING PUBLIC WATERLINE, SIZE AS NOTED
 - NEW WATER GATE VALVE AND VALVE BOX
 - ⊕ NEW FLUSHING HYDRANT AND GATE VALVE
 - ⊕ NEW WATER AIR & VACUUM RELIEF VALVE
 - EXISTING WATER GATE VALVE
 - ⊕ EXISTING FLUSHING HYDRANT AND GATE VALVE
 - NEW LOW PRESSURE SEWER, SIZE AS NOTED, (NPE)
 - NEW LPSAS AIR VACUUM RELEASE VALVE STATION
 - ⊕ EXISTING LPSAS AIR VACUUM RELEASE VALVE STATION
 - ⊕ EXISTING LPSAS FLUSHING STATION
 - EXISTING LOW PRESSURE SEWER, SIZE AS NOTED
 - NEW LPSAS FLUSHING STATION
 - NEW LPSAS 1/4" SERVICE LINE

STANDARD INSTALLATION LIST (SIL)

- | | |
|---|---|
| <p>A. INSTALL 8"x4" TAP SLEEVE ON EXISTING WATERLINE. INSTALL 4" M.J.xFL6 GATE VALVE AND VALVE BOX. RESTRAIN AS REQUIRED.</p> <p>B. INSTALL 8"x6" TAP SLEEVE ON EXISTING WATERLINE. 6" M.J.xFL6 GATE VALVE AND VALVE BOX. 3-WAY FIRE HYDRANT ASSEMBLY WITH NST NOZZLE. PLACE 5 FEET BEHIND CURB. RESTRAIN AS REQUIRED.</p> <p>C. INSTALL 4" CAP. RESTRAIN AS REQUIRED.</p> <p>D. INSTALL FLUSHING HYDRANT WITH 2" GATE VALVE AND BOX. RESTRAIN AS REQUIRED.</p> <p>E. INSTALL 8"x1" TAP SLEEVE ON EXISTING WATERLINE. INSTALL 1" AIR & VACUUM RELIEF VALVE AND VALVE BOX. RESTRAIN AS REQUIRED.</p> <p>F. INSTALL 8"x8" TAP SLEEVE ON EXISTING WATERLINE. INSTALL 8" M.J. x FL6 GATE VALVE AND VALVE BOX. RESTRAIN AS REQUIRED.</p> | <p>G. INSTALL 1" AIR VACUUM RELEASE VALVE AND VALVE BOX. RESTRAIN AS REQUIRED.</p> <p>H. INSTALL 8"x6" TEE 6" M.J.xFL6 GATE VALVE AND VALVE BOX. 3-WAY FIRE HYDRANT ASSEMBLY WITH NST NOZZLE. PLACE 5 FEET BEHIND CURB. RESTRAIN AS REQUIRED.</p> <p>I. INSTALL 8" CAP. RESTRAIN AS REQUIRED.</p> |
|---|---|

REVISIONS		
DATE	BY	

DESIGN ENGINEER

161 LUISA STREET, SUITE 6
SANTA FE, NEW MEXICO 87505
(505) 991-9951

TESSERA 2

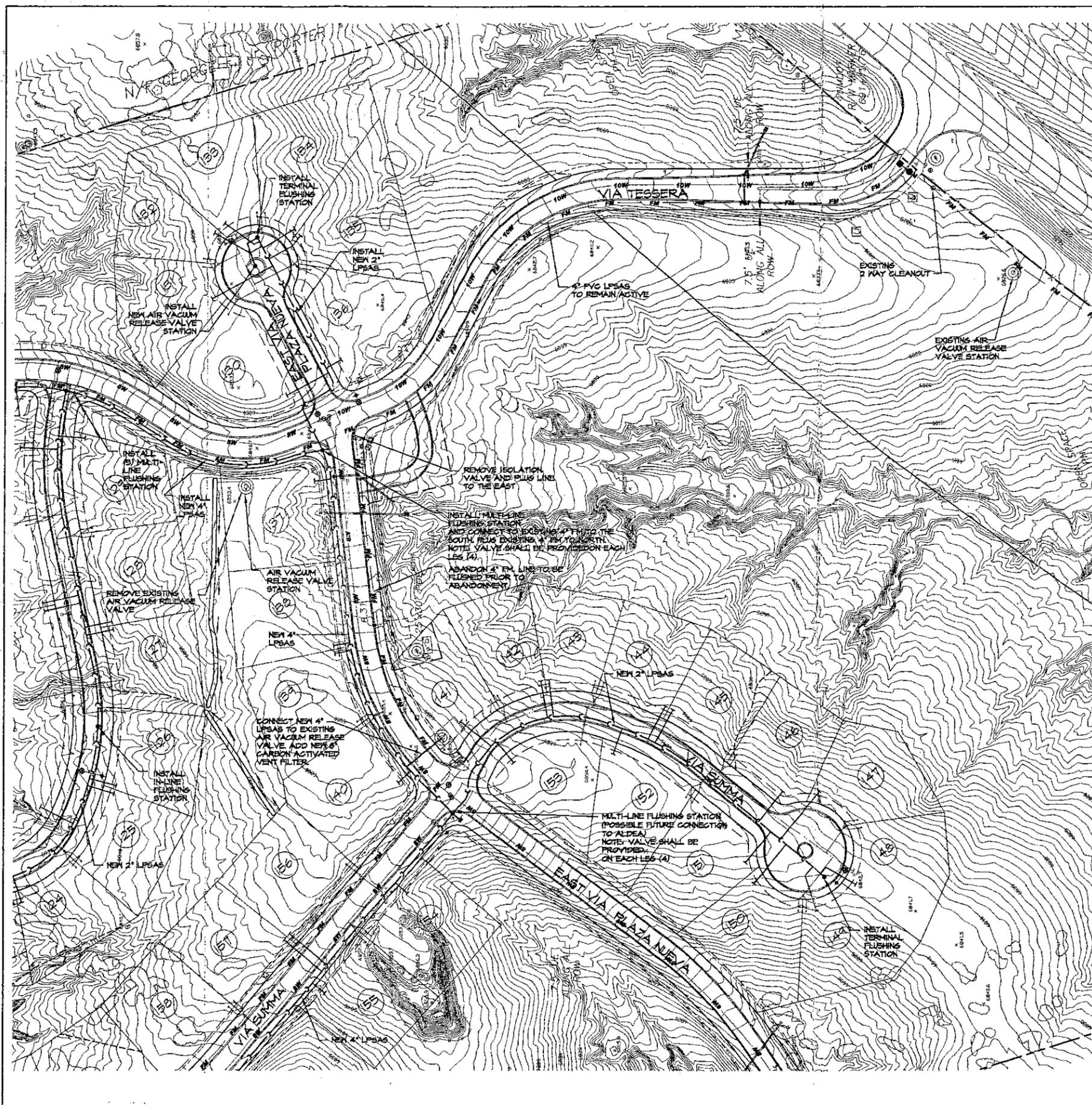
WATER PLAN

SCALE: 1"=60'

DATE: 11/04/2016

SHEET NO. 25





LPSAS CONNECTS TO CITY MANHOLE ALONG SANTA FE RIVER 1400 FEET SOUTH OF PROPERTY

LEGEND

- NEW LOW PRESSURE SEWER, SIZE AS NOTED, HDPE
- NEW LPSAS AIR VACUUM RELEASE VALVE STATION
- EXISTING LPSAS AIR VACUUM RELEASE VALVE STATION
- EXISTING LPSAS FLUSHING STATION
- EXISTING LOW PRESSURE SEWER, SIZE AS NOTED
- NEW LPSAS FLUSHING STATION
- NEW LPSAS 1-1/4" SERVICE LINE
- SINGLE WATER SERVICE
- DOUBLE WATER SERVICE
- NEW FIRE HYDRANT
- NEW WATER LINE CAP
- NEW 8" PUBLIC WATERLINE, UNLESS OTHERWISE NOTED
- EXISTING PUBLIC WATERLINE, SIZE AS NOTED
- NEW WATER GATE VALVE AND VALVE BOX
- NEW FLUSHING HYDRANT AND GATE VALVE
- NEW WATER AIR & VACUUM RELIEF VALVE
- EXISTING WATER GATE VALVE

REVISIONS	
DATE	BY

SCALE 1"=60'

NORTH

DESIGN ENGINEER

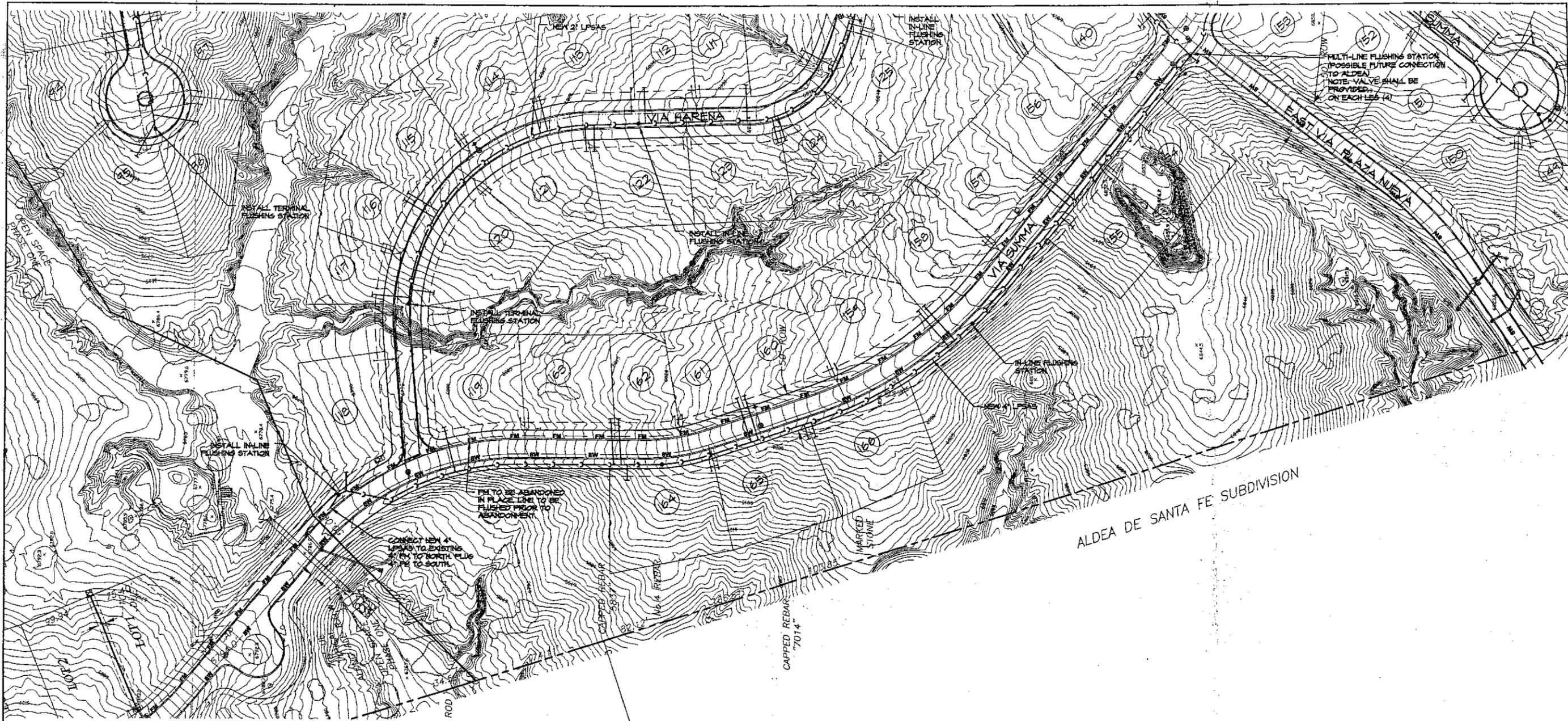
1811 LUISA STREET, SUITE 2
SANTA FE, NEW MEXICO 87505
(505) 991-9951

TESSERA 2

SANITARY SEWER PLAN

SCALE 1"=60'	DWG NO. 	DATE 11/04/2016
PLOT CASE #	SHEET NO. 24	





ALDEA DE SANTA FE SUBDIVISION

LEGEND

- NEW LOW PRESSURE SEWER, SIZE AS NOTED, HDPE
- NEW LPSAS AIR VACUUM RELEASE VALVE STATION
- ⊙ EXISTING LPSAS AIR VACUUM RELEASE VALVE STATION
- * EXISTING LPSAS FLUSHING STATION
- EXISTING LOW PRESSURE SEWER, SIZE AS NOTED
- NEW LPSAS FLUSHING STATION
- NEW LPSAS 1-1/4" SERVICE LINE
- SINGLE WATER SERVICE
- DOUBLE WATER SERVICE
- NEW FIRE HYDRANT
- NEW WATER LINE GAP
- NEW 6" PUBLIC WATERLINE, UNLESS OTHERWISE NOTED
- EXISTING PUBLIC WATERLINE, SIZE AS NOTED
- ⊙ NEW WATER GATE VALVE AND VALVE BOX
- ⊙ NEW FLUSHING HYDRANT AND GATE VALVE
- ⊙ NEW WATER AIR & VACUUM RELIEF VALVE
- ⊙ EXISTING WATER GATE VALVE

REVISIONS	
DATE	

DESIGN ENGINEER

181 LUISA STREET, SUITE C
SANTA FE, NEW MEXICO 87504
(505) 991-9951

TESSERA 2

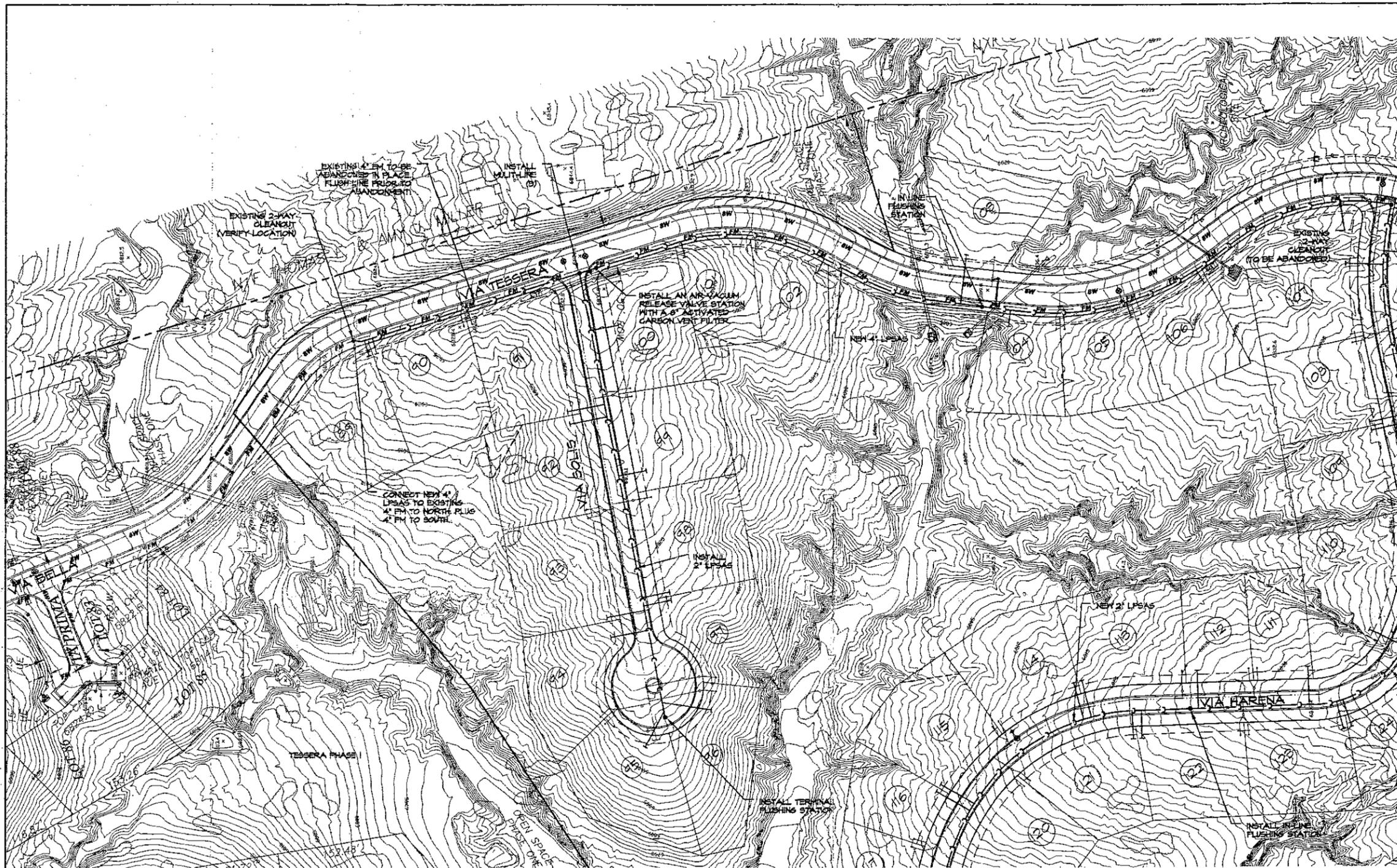
SANITARY SEWER PLAN

SCALE: 1"=60' DATE: 11/04/2016

SHEET NO. 30



45



- LEGEND**
- NEW LOW PRESSURE SEWER, SIZE AS NOTED, HDPE
 - NEW LPSAS AIR VACUUM RELEASE VALVE STATION
 - ⊙ EXISTING LPSAS AIR VACUUM RELEASE VALVE STATION
 - ⊙ EXISTING LPSAS FLUSHING STATION
 - EXISTING LOW PRESSURE SEWER, SIZE AS NOTED
 - NEW LPSAS FLUSHING STATION
 - NEW LPSAS 1-1/4" SERVICE LINE
 - SINGLE WATER SERVICE
 - DOUBLE WATER SERVICE
 - NEW FIRE HYDRANT
 - NEW WATER LINE GAP
 - NEW 8" PUBLIC WATERLINE, UNLESS OTHERWISE NOTED
 - EXISTING PUBLIC WATERLINE, SIZE AS NOTED
 - ⊙ NEW WATER GATE VALVE AND VALVE BOX
 - ⊙ NEW FLUSHING HYDRANT AND GATE VALVE
 - ⊙ NEW WATER AIR & VACUUM RELIEF VALVE
 - ⊙ EXISTING WATER GATE VALVE

NORTH

SCALE 1"=60'

REVISIONS		
NO.	DATE	BY



DESIGN ENGINEER

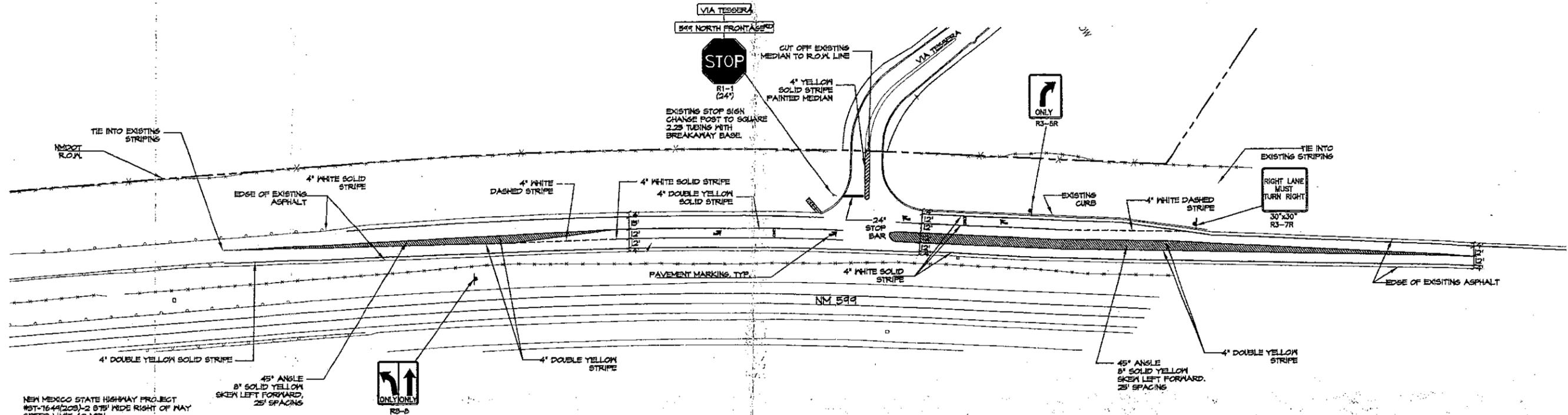
1811 LUISA STREET, SUITE C
SANTA FE, NEW MEXICO 87505
(505) 991-9591

TESSERA 2

SANITARY SEWER PLAN

SCALE: 1"=60' DWG. NO. DATE: 11/04/2016

PLOT. CASE # SHEET NO. 51



NEW MEXICO STATE HIGHWAY PROJECT
 #ST-1644(205)-2 8'7" WIDE RIGHT OF WAY
 SPEED LIMIT 40 MPH

45° ANGLE
 8" SOLID YELLOW
 SKEN LEFT FORWARD,
 25' SPACING



- NOTES:
1. STRIPING AND TRAFFIC SIGNAGE SHALL FOLLOW THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
 2. ALL STRIPING AND PAVEMENT MARKINGS SHALL BE NHDOT 3M 60MM TAPE.
 3. ALL SIGNAGE SHALL HAVE U-CHANNELS AND BREAKAWAY BASES.
 4. FINAL LIFT OF SPVY SHALL BE PLACED ON NEWER SEGMENTS OF ASPHALT.

REVISIONS		
DATE	BY	

DESIGN ENGINEER

12836

TESSERA 2

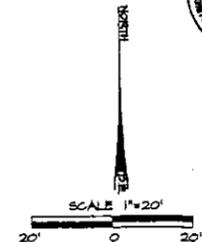
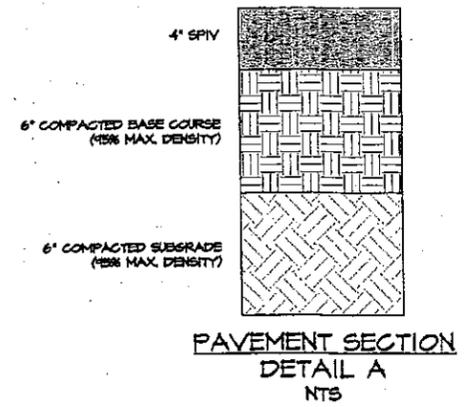
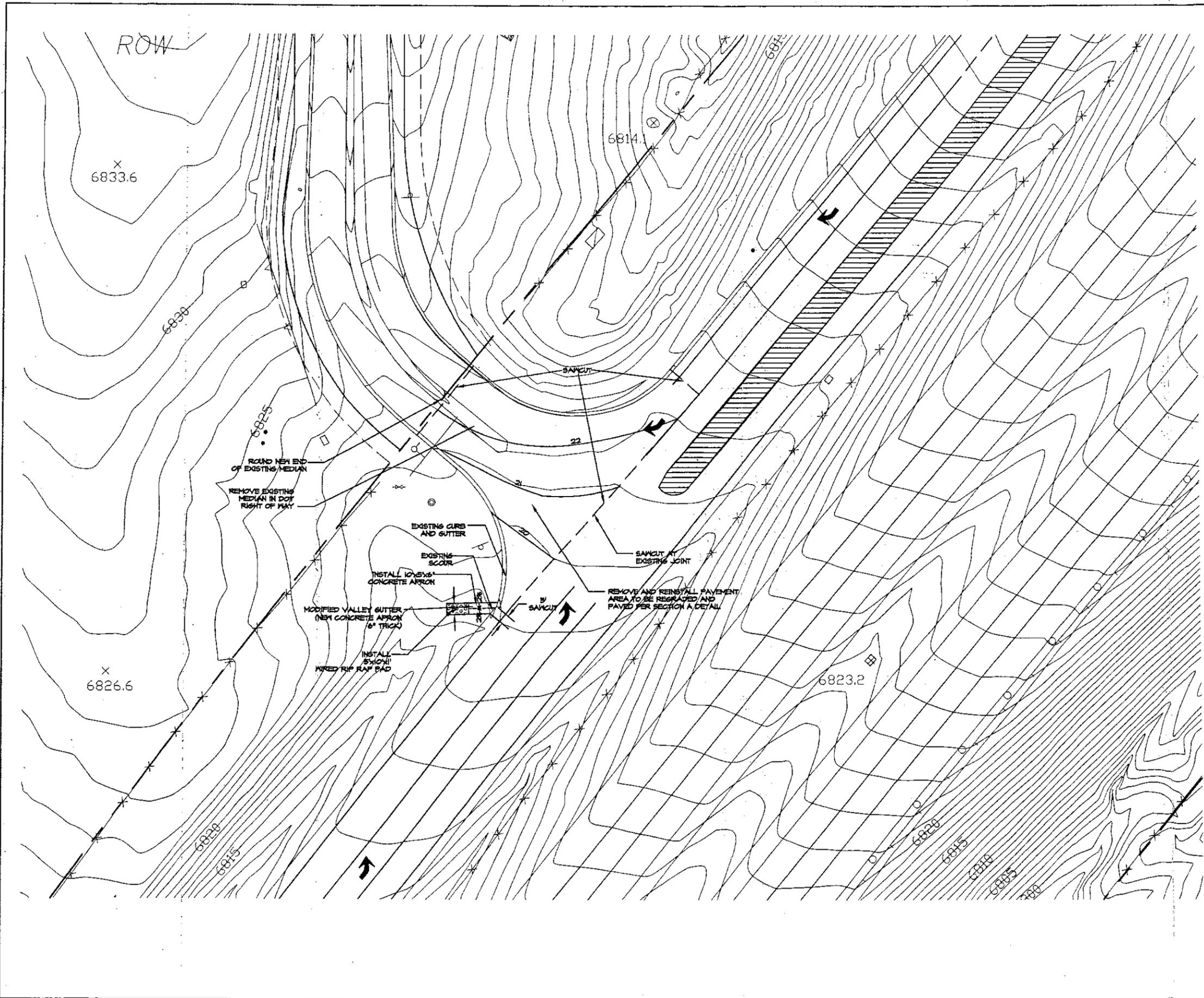
FRONTAGE ROAD STRIPING & SIGNAGE PLAN

SCALE: 1"=60'

DATE: 11/04/2016

SHEET NO. 33





REVISIONS	
DATE	BY

DESIGN ENGINEUTY

1401 LUNA STREET, SUITE E
SANTA FE, NEW MEXICO 87505
(505) 941-9971

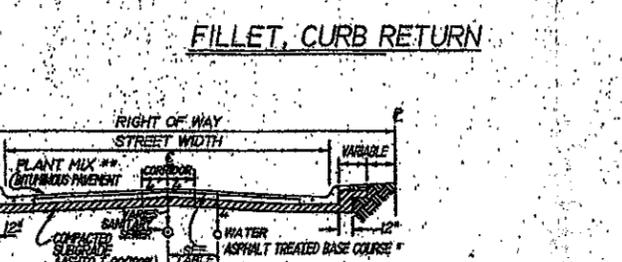
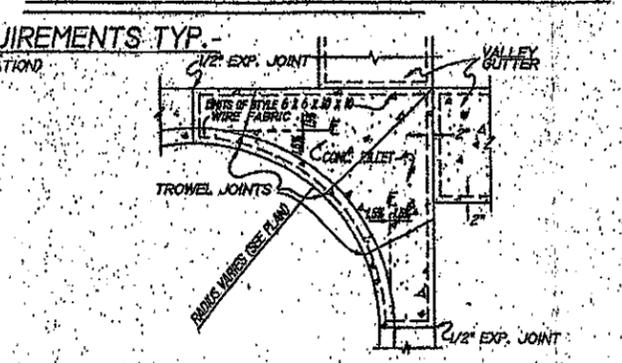
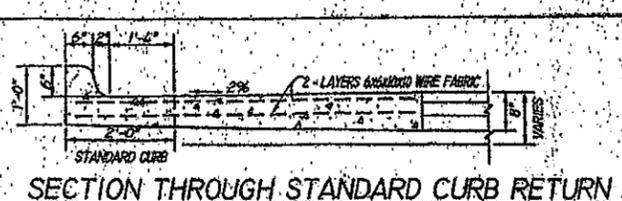
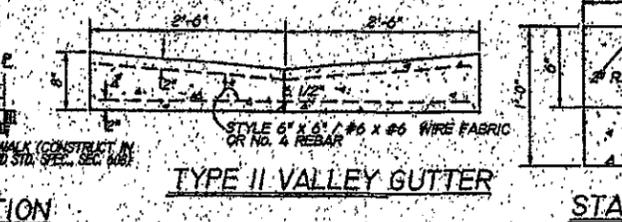
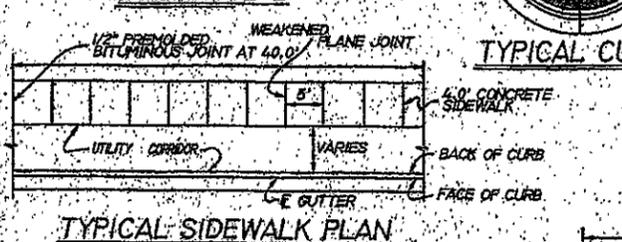
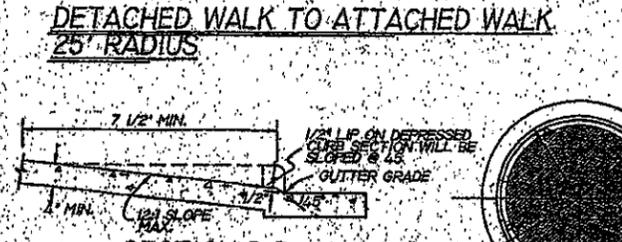
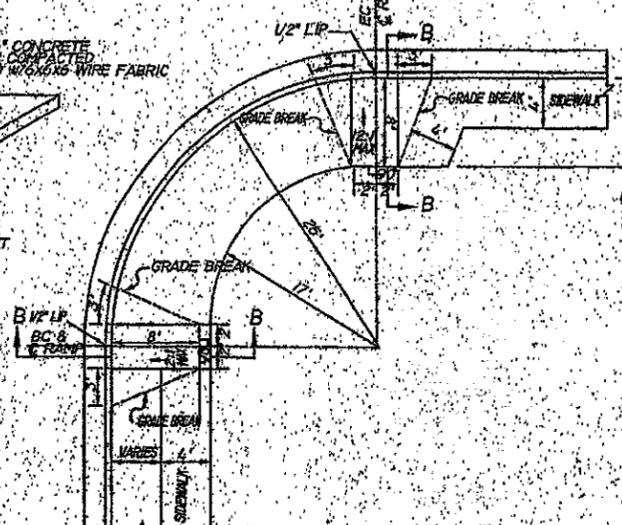
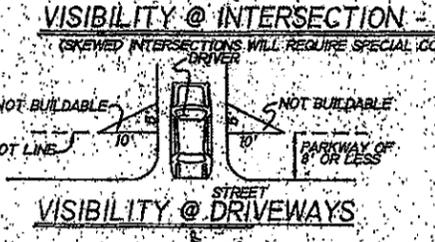
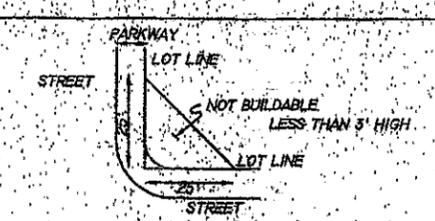
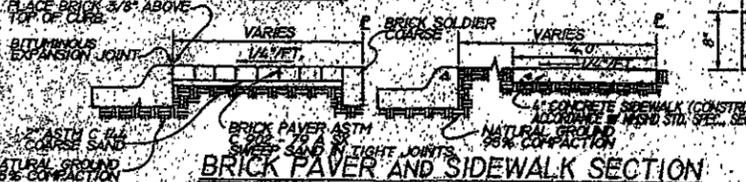
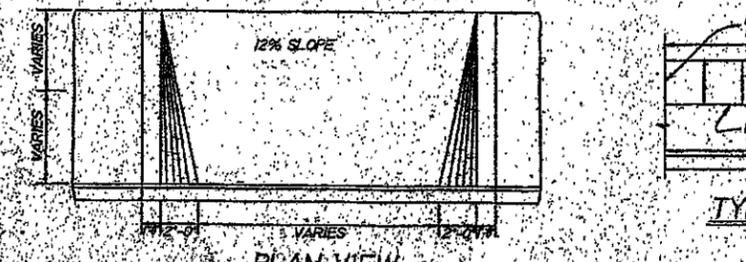
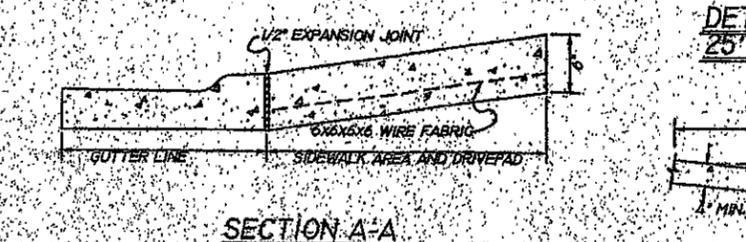
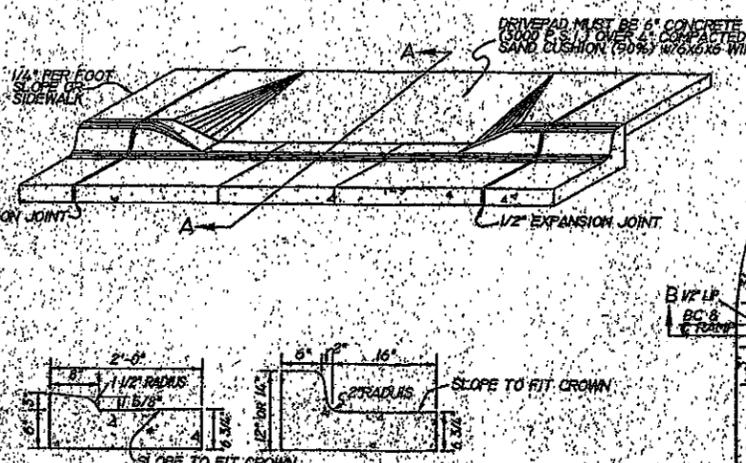
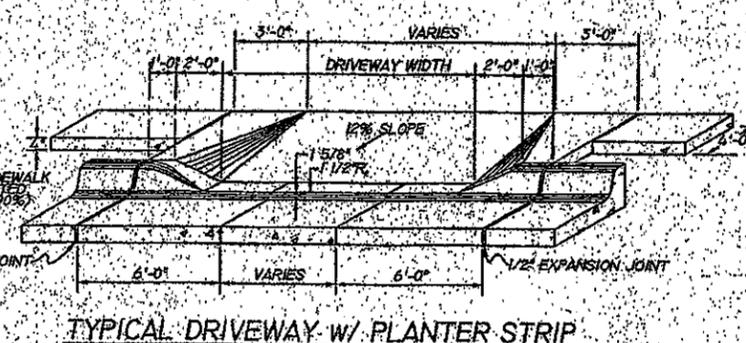
TESSERA 2

ENTRANCE GRADING PLAN

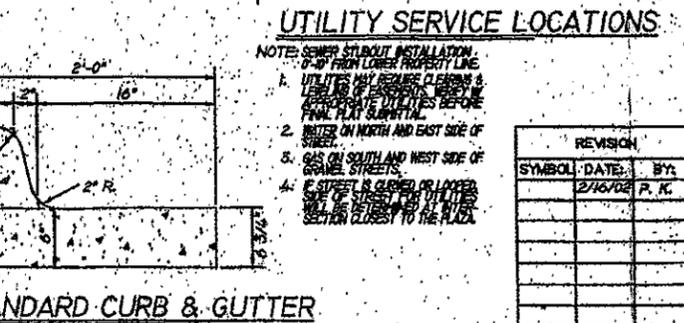
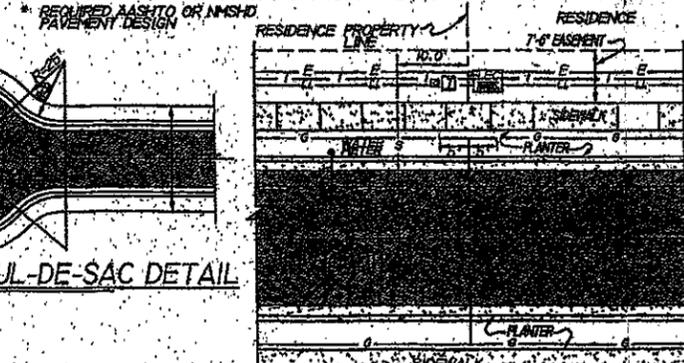
SCALE 1"=20'	DWG NO.	DATE 11/04/2016
SHEET NO.		B-4

SANTA FE COUNTY CONSTRUCTION NOTES

- STREET CONSTRUCTION SHALL CONFORM WITH THE NEW MEXICO STATE HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION. SOILS EXTERIOR UTILITY CONSTRUCTION SHALL CONFORM TO THE AMERICAN PUBLIC WORKS ASSOCIATION STANDARD MANUAL, 1987 EDITION. ALL CONSTRUCTION SHALL CONFORM WITH COUNTY STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- THE CONTRACTOR SHALL NOT COMMENCE CONSTRUCTION WITHOUT CONSTRUCTION PLAN APPROVAL BY THE COUNTY SUBDIVISION ENGINEER. A COPY OF THE PERMIT & APPROVED PLANS SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES DURING WORKING HOURS.
- THE CONTRACTOR SHALL NOTIFY THE OFFICE OF THE COUNTY SUBDIVISION ENGINEER OF THE PROPOSED COMMENCEMENT OF CONSTRUCTION AT LEAST 7 BUSINESS DAYS PRIOR TO ACTUAL START-UP. PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO START OF CONSTRUCTION. CALL 985-3748 TO SCHEDULE THE MEETING DATE, 30 DAYS IN ADVANCE.
- THE DEVELOPER'S ENGINEER SHALL SUBMIT TO THE COUNTY SUBDIVISION ENGINEER AT LEAST 7 BUSINESS DAYS PRIOR TO CONSTRUCTION WORK RESUMING FROM A STOP, ALL CHANGES TO THE PLANS. CHANGES SHALL BE FILED BY THE PROJECT DESIGN ENGINEER WITH FINAL DESIGN DRAWINGS OBTAINED BY A NEW MEXICO REGISTERED PROFESSIONAL ENGINEER AND RECORD APPROVAL PRIOR TO RESUMING CHANGE ORDER CONSTRUCTION.
- THE OWNER SHALL BE RESPONSIBLE THROUGH HIS ENGINEER FOR MAINTAINING ALL ENGINEERING PLANS CHANGED AND RETURNING TO THE OWNER APPROVED CHANGES. THE COUNTY SUBDIVISION ENGINEER SHALL BE FILED WITH THE OFFICE OF THE LAND USE DEPARTMENT BEFORE COUNTY PROJECT ACCEPTANCE.
- ALL DRIVEWAY / CURB CUT LOCATIONS SHALL BE APPROVED BY THE COUNTY SUBDIVISION ENGINEER. ALL DRIVEWAY CUTS OR DRIVEWAY CUTS TO EXISTING DRIVEWAYS ARE NOT TO BE INSTALLED PRIOR TO COUNTY APPROVAL. BEFORE THE CONSTRUCTION PLAN IS APPROVED BY THE COUNTY SUBDIVISION ENGINEER, THE CONTRACTOR OBTAINING THE PERMIT FROM THE COUNTY SUBDIVISION ENGINEER PRIOR TO CONSTRUCTION.
- WHERE THE WATER AND SEWER LINES ARE LAYED PARALLEL, THE MINIMUM SEPARATION SHALL BE AT LEAST 18" APART, AND THE WATER LINE SHALL BE AT LEAST 12" DEEPER THAN THE SEWER LINE. IF POSSIBLE, SEWERAGE SERVICES WILL BE INSTALLED IN ALL CASES (THIS SHALL BE SPECIFICALLY SHOWN ON LINE HAS ALREADY BEEN INSTALLED PRIOR TO APPROVAL, AND THE WATER LINE SHALL BE AT LEAST 3" ABOVE THE SEWER LINE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES AND SHOULD NOT RELY SOLELY ON RECORD DRAWINGS. ALL UTILITY LOCATIONS SHALL BE VERIFIED BY THE UTILITY COMPANIES. RECORDS FOR ALL UTILITIES SHALL BE OBTAINED. ONE CALL 1-800-321-3833, 48 HOURS PRIOR TO DIGGING.
- THE CONTRACTOR MUST OBTAIN ALL SEWER HOODS PERMITS (OBTAINED BEFORE COMMENCING ANY SEWER LINE CONSTRUCTION). A COPY OF THE PERMIT MUST BE KEPT AT THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL OBTAIN ALL SEWER HOODS PERMITS (OBTAINED BEFORE COMMENCING ANY SEWER LINE CONSTRUCTION). A COPY OF THE PERMIT MUST BE KEPT AT THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL OBTAIN ALL SEWER HOODS PERMITS (OBTAINED BEFORE COMMENCING ANY SEWER LINE CONSTRUCTION). A COPY OF THE PERMIT MUST BE KEPT AT THE CONSTRUCTION SITE.
- FOR ALL CONCRETE UTILITIES, THE DESIGN COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3000 PSI. 3-DAY AND MAXIMUM MODULUS OF ELASTICITY OF THE CONCRETE AT THE PROJECT SITE SHALL BE WITHIN 4 TO 7 PERCENT.
- MINIMUM (3) CONCRETE CYLINDER SAMPLES ARE TO BE TAKEN FOR EACH 500 LF OF 6" OR 8" DIAMETER UTILITY. A MINIMUM OF ONE SAMPLE PER DAY. MINIMUM (3) CONCRETE CYLINDER SAMPLES ARE TO BE TAKEN FOR EACH 500 LF OF 12" OR 18" DIAMETER UTILITY. A MINIMUM OF ONE SAMPLE PER DAY. ALL TESTS SHALL BE PERFORMED BY A QUALIFIED LABORATORY. RESULTS SHALL BE SUBMITTED IMMEDIATELY TO THE SUBDIVISION ENGINEER, 48 HOURS BEFORE WORK.
- THE DEVELOPER/CONTRACTOR DURING CONSTRUCTION SHALL MAINTAIN THE PROPER SLOTTED CONTROL DEVICES IN COMPLIANCE WITH THE MANUAL OF STANDARD CONSTRUCTION DETAILS AND AS APPROVED BY THE COUNTY SUBDIVISION ENGINEER. CALL 985-3748.
- THE MINIMUM DEPTH OF THE TOP SURFACE OF THE CURB AND SIDEWALK SHALL BE 18" FROM THE FINISH GRADE. SIDEWALK SHALL BE 18" FROM A STAMMANT LINE. FROM 18" OR DURING THE COUNTY'S FLOOD INSPECTION THE CURB AND SIDEWALK SHALL BE 18" FROM THE FINISH GRADE. ALL UTILITY LOCATIONS SHALL BE MAINTAINED WITHIN THE PROPERTY LINE. ALL AREAS WITH STANDING WATER SHALL BE REPAIRED.
- THE CONTRACTOR SHALL IMPLEMENT THE NECESSARY SITE EROSION CONTROL MEASURES FOR BARRIERS, SLOPES AND AIR SEDIMENT CONTROL. EROSION CONTROL MEASURES OR STRIPS OF CONSTRUCTION SHALL BE INSTALLED AT THE END OF THE ROAD STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- AN EROSION CONTROL PERMIT IS REQUIRED PRIOR TO COMMENCING EROSION CONTROL MEASURES. CALL 985-3748.
- THE CONTRACTOR SHALL CONTACT THE SUBDIVISION ENGINEER TO VERIFY THE EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE SUBDIVISION ENGINEER TO VERIFY THE EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE SUBDIVISION ENGINEER TO VERIFY THE EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- UTILITY LINES MUST BE COVERED UNDER ALL EXISTING STREET CONCRETE APPROPRIATELY. A MINIMUM OF 12" OF SEPARATION MUST BE MAINTAINED BETWEEN UTILITY LINES. ALL CURB AND GUTTER DAMAGE MUST BE REPAIRED BEFORE FINAL INSPECTION.
- A COMPLETION LETTER FROM EACH UTILITY COMPANY MUST BE OBTAINED TO THE SUBDIVISION ENGINEER BEFORE THE PERMIT IS INSTALLED OR BEFORE A SEWER TYP. INSPECTION CAN OCCUR.
- ASPH. OR ASHITO COATED CURBS AND SIDEWALKS ARE TO BE SUBMITTED TO THE SUBDIVISION ENGINEER.
- SUBGRADE BASE MATERIAL, ASPHALT COATED BASE AND ASPHALT SURFACE COURSE REQUIRE COMPACTION TESTS FOR EACH 500 LINEAR FEET. ASPHALT SAMPLES FOR EACH 500 FEET SHALL BE TAKEN BY THE SUBDIVISION ENGINEER.
- THE CONTRACTOR SHALL PROVIDE AN AREA TO STORE CONSTRUCTION DEBRIS WHERE IT WILL NOT BE A HAZARD TO THE SUBDIVISION ENGINEER. ALL DEBRIS SHALL BE REMOVED BY THE CONTRACTOR. ALL DEBRIS INCLUDING TREES AND UNDERGROUND SHALL BE REMOVED OR PROPERLY BRUSHED. THE CITY OF SANTA FE LANDFILL AND RECYCLING CENTER SHALL BE PROVIDED FROM THE PROJECT TO THE SITE INSPECTION.
- ALL UTILITY APPROPRIATE SUCH AS TELEPHONE, CABLE, ELECTRIC, GAS AND WATER IN APPROPRIATE AREAS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY AND BEING UTILITY COMPANIES. THE DEVELOPER SHALL BE RESPONSIBLE FOR RELOCATING APPLICABLE UTILITY SERVICES PRIOR TO PROJECT APPROVAL. WATER MAINS, SEWER LINES AND GAS LINES SHALL BE PLACED BETWEEN THE SIDEWALK AND CURB. WATER MAINS AND SEWER LINES ARE NOT TO BE PLACED NEAR MAINTENANCE AREAS OF BRIDGE ROADS.



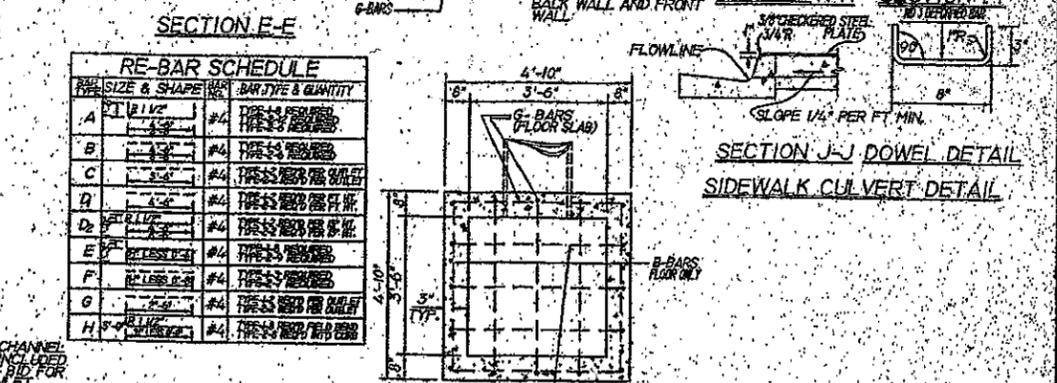
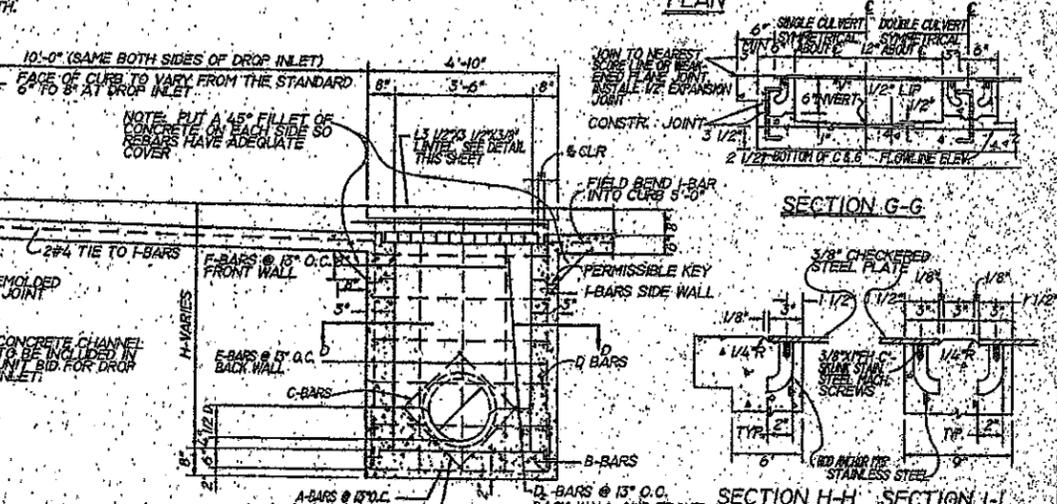
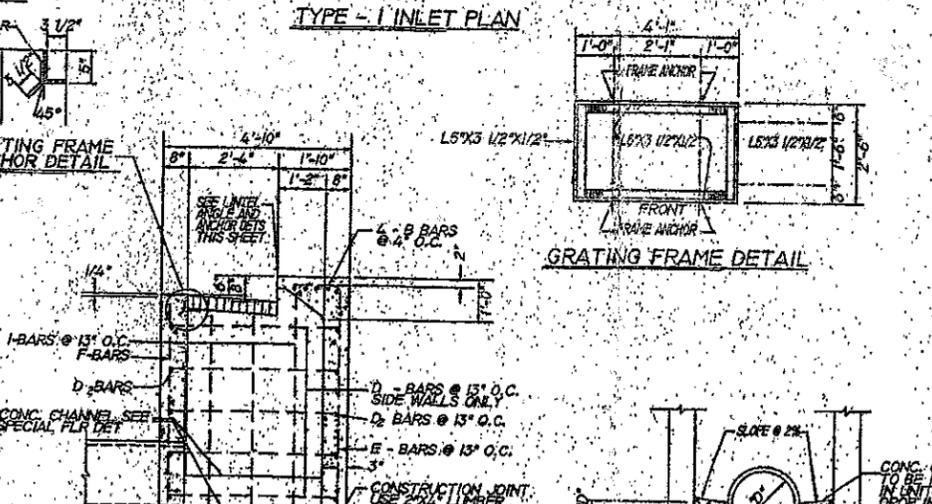
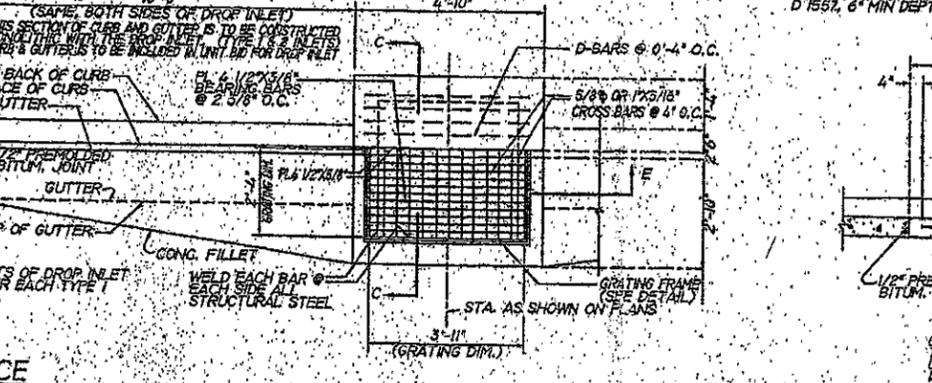
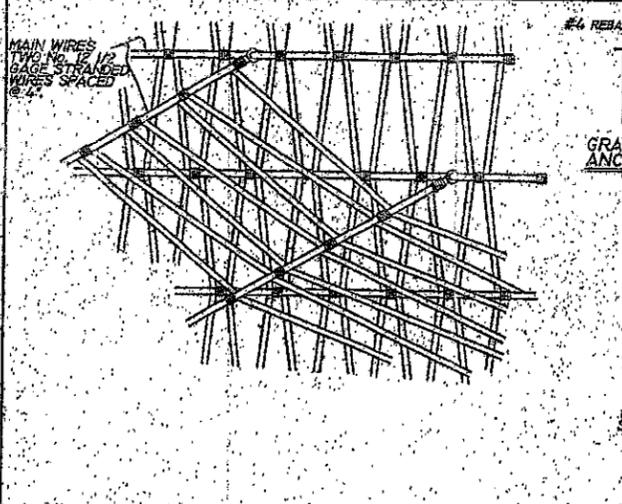
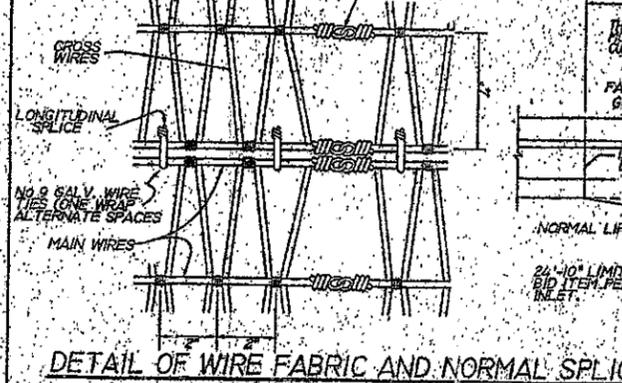
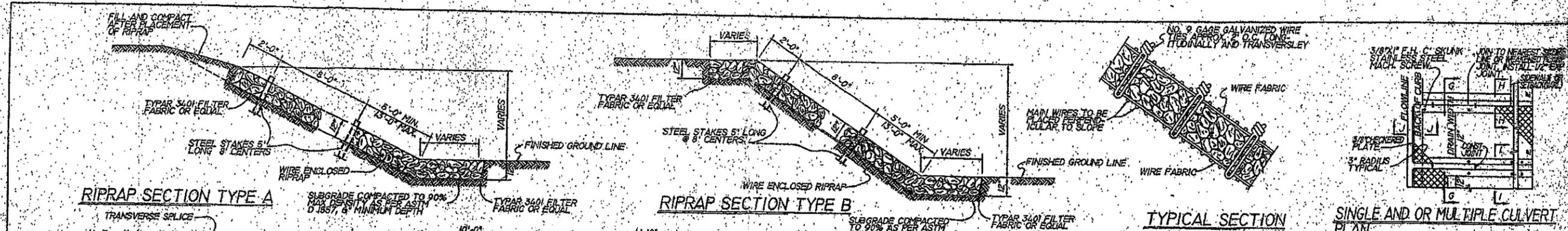
STREET CLASS	ACCESS DENSITY	ADT	2' CURB & GUTTER	RIGHT OF WAY	ASPHALT WIDTH	MAXIMUM PERCENT GRADE	PLANT MIX	UTILITY LOCATIONS	SEWER WATER
ARTERIAL			YES		24'	6%	6"		10.0'
COLLECTOR	50 - 199	500 - 1999	YES	50' - 66'	24'	10%	4"	7.0' CORR.	10.0'
SUB-COLL.	5 - 199	UP TO 599	YES	38' - 50'	20' - 24'	11%	3" - 4"	7.0' CORR.	10.0'
LANE	5 - 29	UP TO 299	NO	38' OR 60'	20'	11%	3"	7.0' CORR.	5.0'
COMMON	UP TO 4	UP TO 100	NO	38'	20'	11%	N/A	7.0' CORR.	5.0'



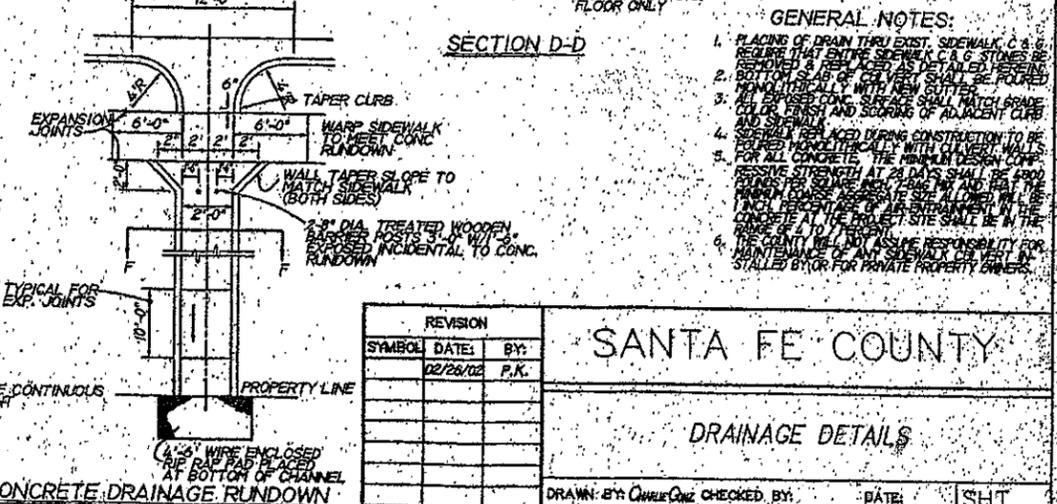
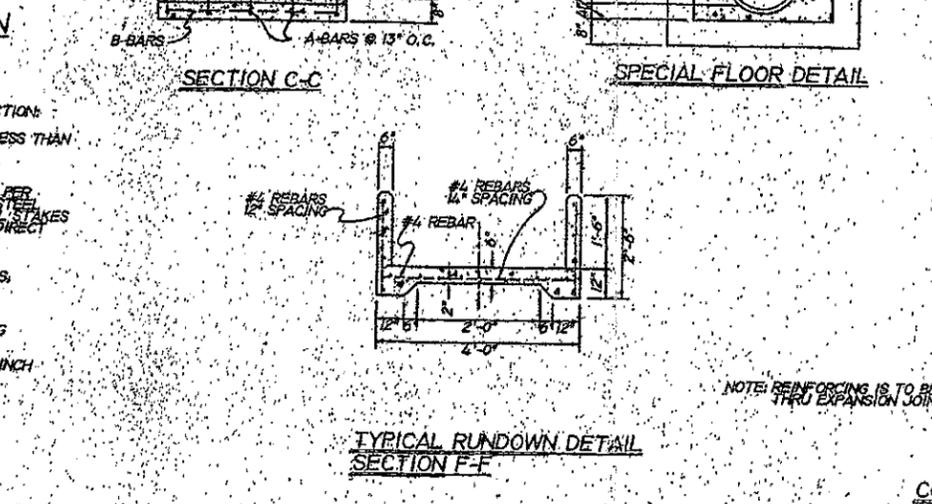
UTILITY SERVICE LOCATIONS

- NOTE: SEWER SHOOTOUT INSTALLATION, 0'-0" FROM LOWER PROPERTY LINE.
- UTILITIES MUST BE CLEARLY MARKED AND Labeled PRIOR TO CONSTRUCTION. ALL UTILITIES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 - WATER ON NORTH AND EAST SIDE OF STREET.
 - GAS ON SOUTH AND WEST SIDE OF STREET.
 - IF STREET IS SLOPED OR LAYED OFF, UTILITIES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

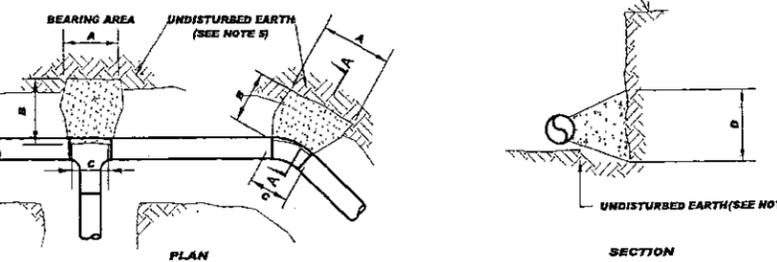
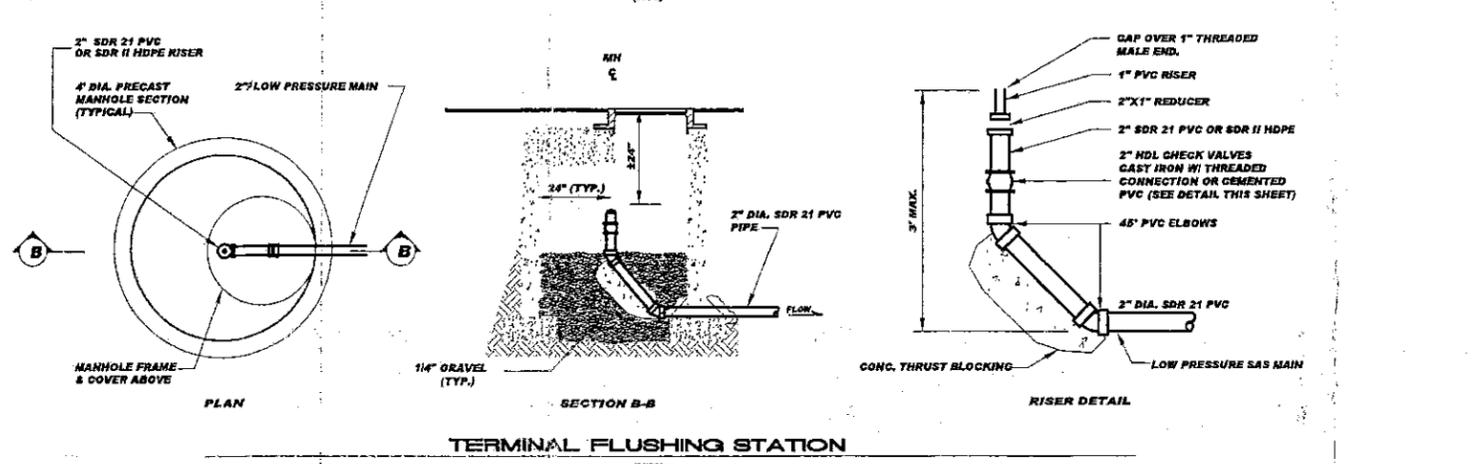
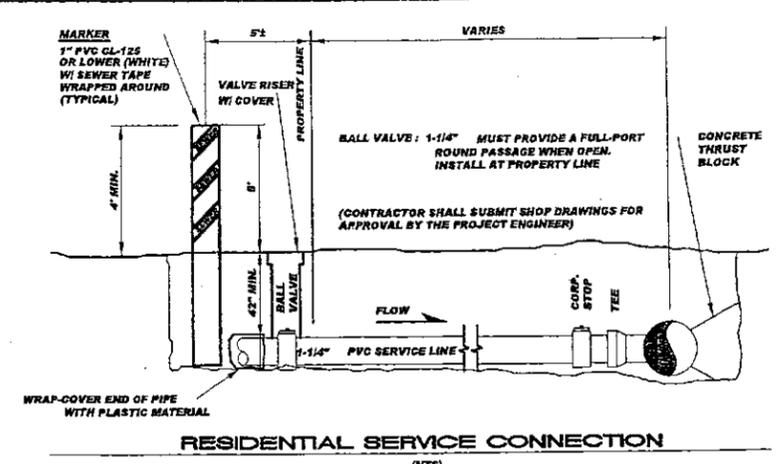
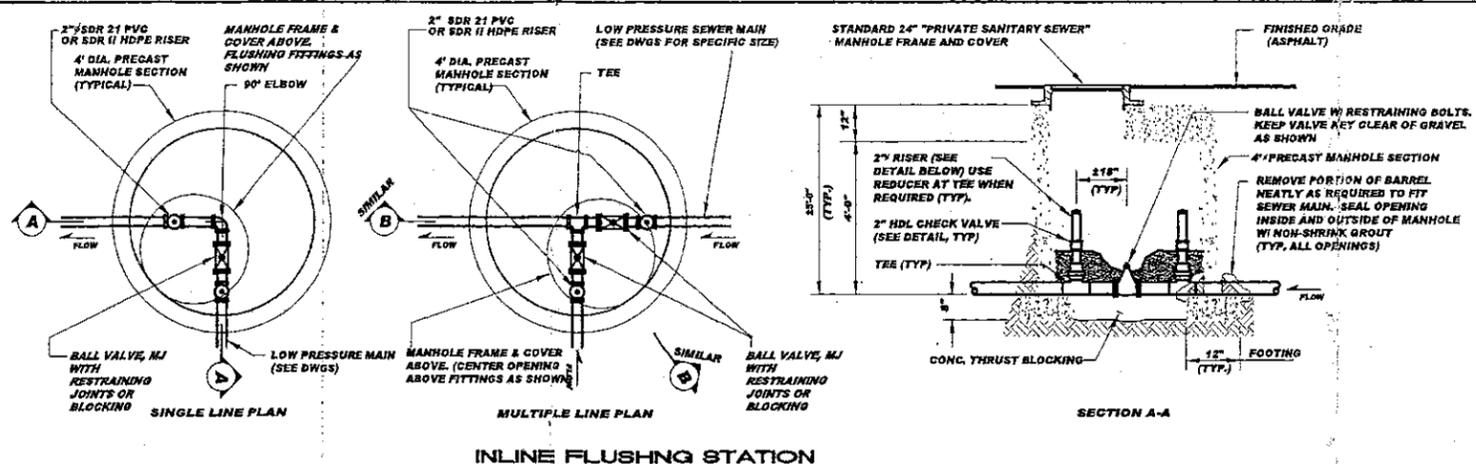
REVISION	BY	DATE



- RIPRAP - GENERAL NOTES:**
- WIRE FABRIC IS TO BE GALVANIZED #4 MESH OF THE FOLLOWING CONSTRUCTION:
 MAIN WIRES: TWO NO. 12 1/2 GAGE STRANDED WIRES SPACED @ 2'-0" WITH NOT LESS THAN TWO TURNS AROUND THE MAIN WIRES.
 CROSS WIRES: SINGLE NO. 12 1/2 GAGE WIRES SPACED AT 2' WITH NOT LESS THAN APPROXIMATE WEIGHT 48 POUNDS PER 100 SQUARE FEET.
 - STEEL STAKES MAY BE RAILROAD RAILS WEIGHING NOT LESS THAN 30 LBS PER YARD @ 0.0 STANDARD STRENGTH GALVANIZED STEEL. STEEL STAKES SHALL PROJECT ABOVE TOP OF RIPRAP. STEEL STAKES MEASUREMENT ON FACE OF RIPRAP WILL BE MADE THEREOF.
 - IF LENGTH OF SLOPE IS 15 FEET OR LESS ON V ONE ROW OF STEEL STAKES, 2 FEET FROM THE TOP EDGE OF THE RIPRAP WILL BE REQUIRED UNLESS OTHERWISE NOTED ON PLANS.
 - AS AN ALTERNATE, WIRE FABRIC MAY BE GALVANIZED STEEL WIRE MEETING THE ABOVE REQUIREMENTS. STEEL STAKES SHALL PROJECT ABOVE TOP OF RIPRAP. STEEL STAKES MEASUREMENT ON FACE OF RIPRAP WILL BE MADE THEREOF.
 - DETAIL FROM N.M.S.E.D. DETAIL, SERIAL BRG-001-05



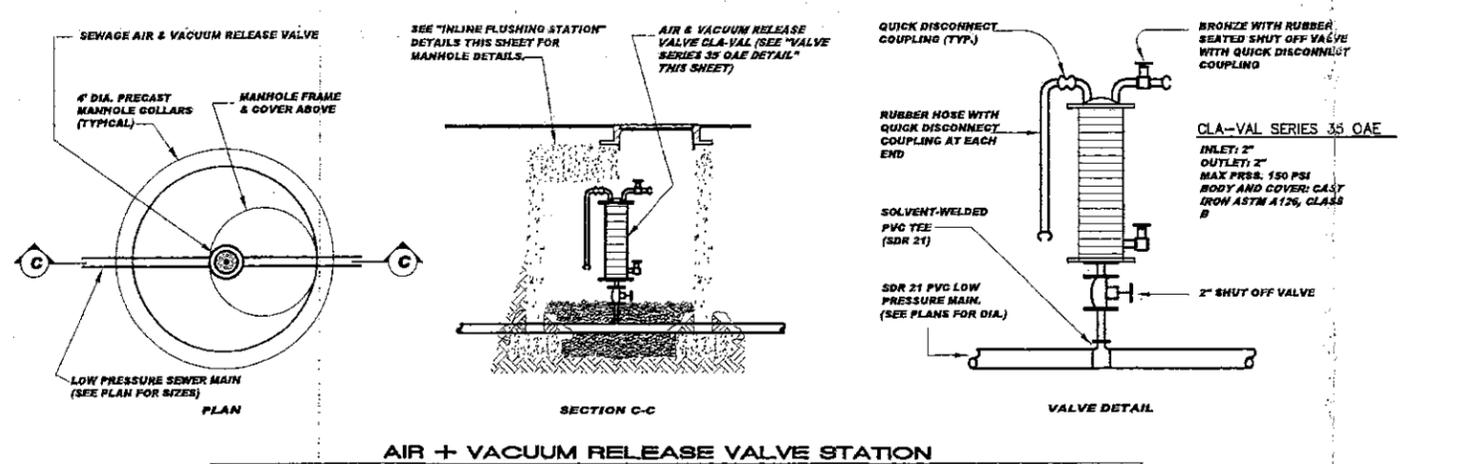
REVISION			SANTA FE COUNTY	
SYMBOL	DATE	BY:		
	12/22/02	P.K.		
DRAWN BY: CHUCK GONZALEZ			CHECKED BY:	DATE:
APPROVED BY: L.U.A. 3/25/02			SERIAL #	SHT 0F 37



NOTES:

- AREA OF BLOCK = A x D. MINIMUM BLOCK DIMENSIONS ARE SHOWN ON THE ADJACENT TABLE.
- THE BOTTOM OF THE BLOCK SHALL EXTEND AT LEAST TO THE BOTTOM OF THE TRENCH IN ALL CASES. BLOCKS SHALL BEAR ON UNDISTURBED EARTH.
- RESTRAINED PIPE JOINTS SHALL BE USED FOR THRUST RESTRAINT IN LIEU OF THRUST BLOCKING FOR PIPE 8" DIA. OR GREATER. LOCATION & TYPE OF RESTRAINED PIPE JOINTS SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
- ALL CONCRETE SHALL BE 3000 PSI COMPRESSIVE STRENGTH.
- IF EARTH IS DISTURBED AT THRUST BLOCK LOCATION, BACKFILL AND COMPACT TO 95% OF MAXIMUM PROCTOR DENSITY.

THRUST BLOCK DIM. IN INCHES (MIN)				
SIZE OF PIPE	A	B	C	D
2"	12"	6"	6"	6"
3-1/2"	12"	10"	6"	6"
4"	14"	10"	8"	10"
6"	18"	12"	10"	10"
8"	24"	12"	12"	12"
8" RESTRAINING JOINTS				



REX-BAG-T technologies 6" POLY-AIR™ Activated Carbon Vent Filter

6" Poly-Air™ Activated Carbon Vent Filter

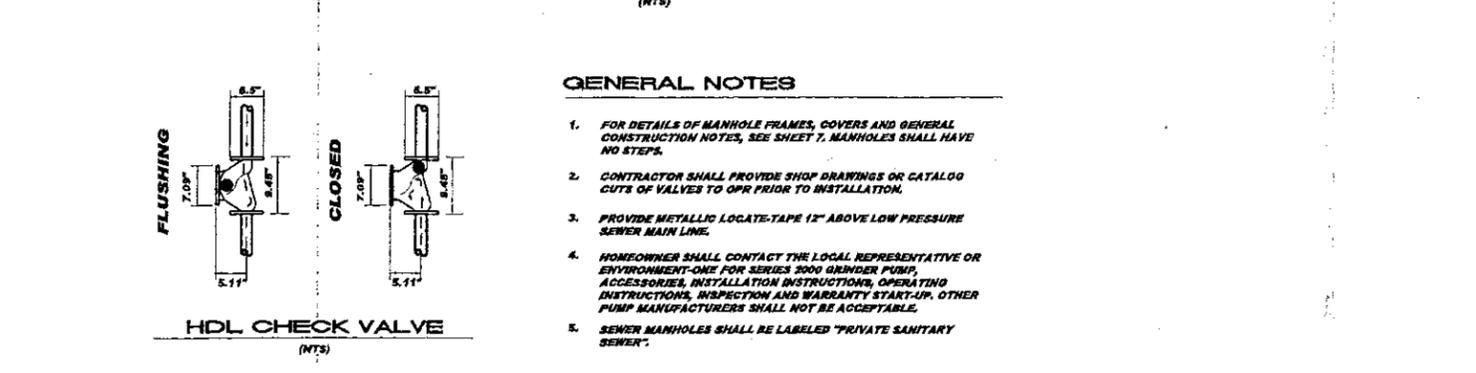
Installation Instructions:

- Remove contents from box.
 - 1 Filter Housing
 - 1 Lid with 3 Screws
 - 1 Netted Bag of Activated Carbon Pellets
 - 4" Pipe Reducer (Optional)
- Remove the netted bag of activated carbon pellets from the zip lock bag.
- Slide the netted bag of activated carbon pellets into the 6" Poly-Air™ housing (See Diagram).
- Take the 6" Poly-Air™ lid and place it on top of the 6" Poly-Air™ housing. Make sure to align screw holes on lid with screw holes on housing.
- Tighten all three lid screws using a Phillips screwdriver.
- If using 6" Poly-Air™ on a 4" vent pipe, take the pipe reducer and spread glue on the OUTSIDE of reducer as shown on the right. Slide reducer into the bottom of the 6" Poly-Air™ housing. Align filter housing to top of vent pipe and press down firmly to lock in place.

Maintenance Instructions:

- Unscrew the 3 screws from the 6" Poly-Air™ lid.
- Remove lid from the 6" Poly-Air™ housing.
- Using the provided handle on the netted bag of activated carbon pellets lift bag out of the housing and discard.
- Follow Installation Steps 3-5 to complete 6" Poly-Air™ maintenance.

Labels: 6" Poly-Air™ Filter Lid, Lid Screws (x3), Activated Carbon Netted Bag, 6" Poly-Air™ Filter Housing, 4" Pipe Reducer (Optional), Glue is spread on outside of pipe reducer.



- GENERAL NOTES**
- FOR DETAILS OF MANHOLE FRAMES, COVERS AND GENERAL CONSTRUCTION NOTES, SEE SHEET 7. MANHOLES SHALL HAVE NO STEPS.
 - CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OR CATALOG CUTS OF VALVES TO OPR PRIOR TO INSTALLATION.
 - PROVIDE METALLIC LOCATE-TAPE 12" ABOVE LOW PRESSURE SEWER MAIN LINE.
 - HOMEOWNER SHALL CONTACT THE LOCAL REPRESENTATIVE OR ENVIRONMENT-ONE FOR SERIES 2000 GRINDER PUMP, ACCESSORIES, INSTALLATION INSTRUCTIONS, OPERATING INSTRUCTIONS, INSPECTION AND WARRANTY START-UP. OTHER PUMP MANUFACTURERS SHALL NOT BE ACCEPTABLE.
 - SEWER MANHOLES SHALL BE LABELED "PRIVATE SANITARY SEWER".



REVISIONS

DATE	BY

DESIGN ENGINEERING

1601 LUISA STREET, SUITE E
SANTA FE, NEW MEXICO 87505
(505) 991-3551

TESSERA 2

LOW PRESSURE SEWER DETAILS

SCALE: N/A DWG. NO.: DATE: 11/04/2016

PLDW CASE # SHEET NO.: 34

LIGHTING INCIDENTAL ITEMS

1. ANCHOR BOLTS FOR FOUNDATIONS.
2. GROUND RODS FOR FOUNDATIONS.
3. UNIVERSAL SUPPORT BRACKETS FOR SERVICE RISERS.
4. CONCRETE FOUNDATION FOR LIGHTING CONTROL CABINETS INCLUDING EXCAVATION, BACKFILL, CONCRETE GROUND RODS, AND ANCHOR BOLTS.
5. REWIRING OF ANY EXISTING LUMINAIRES TO REMAIN OR BE RESET.
6. TRAINING FOR AND ADJUSTMENTS OF HIGH MAST LIGHTING SYSTEMS.
7. COSTS FOR LOCAL POWER COMPANY TO PROVIDE POWER SERVICE.
8. BREAKAWAY SYSTEMS FOR LIGHTING STANDARDS.
9. PROVIDE DOUBLE FUSING IN THE BASE OF EACH LIGHTING STANDARD.

**SANTA FE COUNTY
RESIDENTIAL ROADWAY LIGHTING STANDARDS**

FIXTURE PLACEMENT

INTERSECTIONS OF ANY ROAD WITH HIGHWAY OR ARTERIAL
MAJOR CURVES
PEDESTRIAN TRAIL CROSSINGS

FIXTURE REQUIREMENTS - THIS PROJECT ONLY

ROADWAY FIXTURE, TYPE 3 DISTRIBUTION
LED EQUIVALENT TO 100 WATT HPS

PHOTOCELL REQUIRED
APPROVED MANUFACTURER'S:
GE ROADWAY LIGHTING

POLE REQUIREMENTS

TAPERED ALUMINUM POLE
23FT-6" MAXIMUM HEIGHT
6 FOOT ALUMINUM ARM
FUSED BASE
BREAKAWAY BASE

CONCRETE POLE BASE

USE NMDOT OR PNM POLE BASE STANDARD
CONCRETE BASE DESIGN MUST BE STAMPED BY
ENGINEER.

WIRING METHODS

UNDERGROUND CONDUIT, SCHEDULE 40 PVC, 2 INCH
MINIMUM, BURIED 36 INCHES BFC
COPPER WIRE ONLY, SIZED FOR MAXIMUM VOLTAGE DROP OF 5
PERCENT AT THE LAST FIXTURE.

POLYMER PULLBOXES

USE NMDOT PULLBOX SPECIFICATION AND INSTALLATION
STANDARDS.
REQUIRED AT EACH POLE

METERED POWER PEDESTAL - NOT REQUIRED FOR THIS PROJECT

LIGHTING GENERAL NOTES

1. CONTRACTOR SHALL CONTACT NMDOT PRODUCT EVALUATION COMMITTEE OR SANTA FE COUNTY TRAFFIC DEPARTMENT FOR APPROVED PRODUCTS LISTING FOR ROADWAY LIGHTING COMPONENTS.
2. THE CONTRACTOR SHALL COORDINATE WITH THE TRAFFIC ENGINEERING CONSULTANT AND PROVIDE THE SANTA FE COUNTY AND THE HOME OWNER'S ASSOCIATION WITH A SET OF AS-BUILT DRAWINGS OF THE STREET LIGHTING.
3. LOCATIONS OF CONDUIT, FOUNDATIONS, PULL BOXES, AND CONTROL CABINETS SHOWN ON THE PLANS ARE SCHEMATIC AND SHALL BE ADJUSTED IN THE FIELD TO AVOID UTILITIES AND TO MAXIMIZE CLEAR SPACE AVAILABLE FOR PEDESTRIANS AND WHEELCHAIRS TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT. THE CONTRACTOR SHALL MEET WITH THE PROJECT MANAGER IN THE FIELD AT ALL LOCATIONS TO SPOT EQUIPMENT BEFORE BEGINNING THE WORK. ALL SUCH EQUIPMENT SHALL BE INSTALLED WITHIN THE RIGHT-OF-WAY.
4. LIGHT STANDARDS SHALL HAVE BREAKAWAY SYSTEM. BREAKAWAY SYSTEMS WILL BE CONSIDERED INCIDENTAL TO THE STANDARD.
5. ALL ROADWAY AND OVERHEAD SIGN LIGHTING CIRCUITS ON THIS PROJECT SHALL BE (240 VOLTS/480 VOLTS)
6. EACH CIRCUIT FOR ROADWAY LIGHTING SHALL BE INSTALLED IN SEPARATE CONDUITS UNLESS APPROVED OTHERWISE.
7. EACH TIME A ROADWAY LUMINAIRE IS TURNED ON OR OFF THE CONTRACTOR SHALL COORDINATE WITH THE FOLLOWING REPRESENTATIVES:

SANTA FE COUNTY
HOME OWNER'S ASSOCIATION
8. POWER SHALL NEITHER BE TURNED ON OR OFF UNTIL RESPONSIBLE PARTIES FOR EACH LIGHTING SYSTEM HAVE BEEN NOTIFIED.
9. RESPONSIBILITY AND MAINTENANCE OF LIGHTING SYSTEMS INSTALLED AS PART OF THIS PROJECT SHALL BE AS FOLLOWS:

A. ROADWAY LIGHTING SHALL BE ACCEPTED AND MAINTAINED BY HOME OWNER'S ASSOCIATION. THE CONTRACTOR SHALL PROVIDE SANTA FE COUNTY AND THE HOME OWNER'S ASSOCIATION FIVE (5) WORKING DAYS NOTICE IN ADVANCE OF TURNING ON THE SYSTEM TO ALLOW THE COUNTY AND THE HOA TO INSPECT AND APPROVE THE SYSTEM BEFORE IT IS TURNED ON.
10. THE CONTRACTOR SHALL PAY FOR COSTS FOR PNM TO PROVIDE POWER SERVICE. THESE COSTS WILL BE MEASURED AND PAID UNDER CONTRACT ITEM "POWER SERVICE INSTALLATION." LUMP SUM FOR POWER SERVICE SHALL INCLUDE WORK AS SHOWN ON PLANS.
11. THE CONTRACTOR SHALL FURNISH AND INSTALL TYPE III, FULL CUTOFF FLAT GLASS LUMINAIRES TO CONFORM WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT.
12. THE CONTRACTOR SHALL ARRANGE A NIGHT INSPECTION OF THE LIGHTING SYSTEM WITH THE PROJECT MANAGER, SANTA FE COUNTY, AND PNM TO ENSURE COMPLIANCE WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND PROPER LEVELING OF LUMINAIRE HEADS.
13. LIGHTING CONTROL CABINETS - NOT REQUIRED FOR THIS PROJECT
14. LIGHTING STANDARDS SHALL BE LOCATED AS FOLLOWS:

A. ON SECTIONS WITH CURB, GUTTER, AND SIDEWALK, PLACE FOUNDATION DIRECTLY BEHIND SIDEWALK

B. ON SECTIONS WITH CURB AND GUTTER WITHOUT SIDEWALK, PLACE FOUNDATION 10' BACK FROM CURB AND GUTTER

C. ON SECTIONS WITHOUT CURB AND GUTTER, PLACE FOUNDATION 12' BACK FROM EDGE OF DRIVING LANE.
15. LIGHTS NEAR EXISTING OVERHEAD TRANSMISSION LINES MUST MAINTAIN VERTICAL CLEARANCE
16. LIGHTING SHALL BE COMPLETED WITH CONSTRUCTION PHASING. NEW LIGHTING SHALL BE OPERATIONAL PRIOR TO OPENING THE ROADWAY TO TRAFFIC.
17. ALL CONDUIT INSTALLED IN A TRENCH SHALL BE MINIMUM OF 30" DEEP AND FLAGGED WITH CAUTION TAPE ONE FOOT ABOVE THE CONDUIT.
18. ALL CONDUITS, INCLUDING ANY EMPTY CONDUITS SHALL HAVE A BARE #8 COPPER GROUND INSTALLED.

GENERAL ELECTRICAL NOTES

1. WORK COVERED BY THESE DRAWINGS CONSISTS OF FURNISHING ALL LABOR, EQUIPMENT, SUPPLIES AND MATERIALS, AND PERFORMING ALL OPERATIONS, INCLUDING CUTTING, CHANNELING, AND UNDERGROUND SYSTEMS AS INDICATED.
2. ALL ELECTRICAL WORK SHALL BE PERFORMED IN A NEAT AND WORKMAN LIKE MANNER IN FULL ACCORDANCE WITH NATIONAL ELECTRICAL CODE (NEC), NATIONAL ELECTRIC SAFETY CODE (NESCO), AND LOCAL AND STATE SAFETY CODES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL COORDINATION WITH UTILITY COMPANIES. VERIFY EXACT REQUIREMENTS PRIOR TO ROUGH-IN. THERE SHALL BE NO EXTRA COSTS TO THE OWNER FOR CONTRACTOR'S FAILURE TO COORDINATE UTILITY REQUIREMENTS.
4. SHOULD THE CONTRACTOR DETECT ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND LEGAL OR SAFETY REQUIREMENTS FOR THE PROJECT, HE SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING. ONCE NOTIFIED, THE ENGINEER SHALL MODIFY THE CONTRACT DOCUMENTS ACCORDINGLY. IF THE CONTRACTOR PROCEEDS WITH ANY WORK WHICH IS IN VIOLATION OF KNOWN LEGAL OR SAFETY REQUIREMENTS, THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THIS WORK AND SHALL PROMPTLY CORRECT THE WORK WHEN NOTIFIED WITHOUT ADDITIONAL COST TO THE OWNER.
5. APPROVED WIRING METHODS:
1. BUILDING WIRE IN PVC CONDUIT, WHERE UNDERGROUND
2. BUILDING WIRE IN EMT OR IMC CONDUIT WHERE EXPOSED
6. ALL WIRING SHALL BE COPPER, THHN/THWN INSULATION. MINIMUM CONDUCTOR SIZE SHALL BE #12.
7. EXTERIOR WIRING AND DEVICES SHALL BE INSTALLED IN CONDUIT WITH WEATHER-TIGHT FITTINGS AND IN WEATHER-TIGHT BOXES.
8. ALL METALLIC RACEWAY IN CONTACT WITH EARTH SHALL BE COATED. PROVIDE EITHER PLASTIBOND OR 2 LAYERS SCOTCH #51 HALF-LAPPED.



REVISIONS	
DATE	BY

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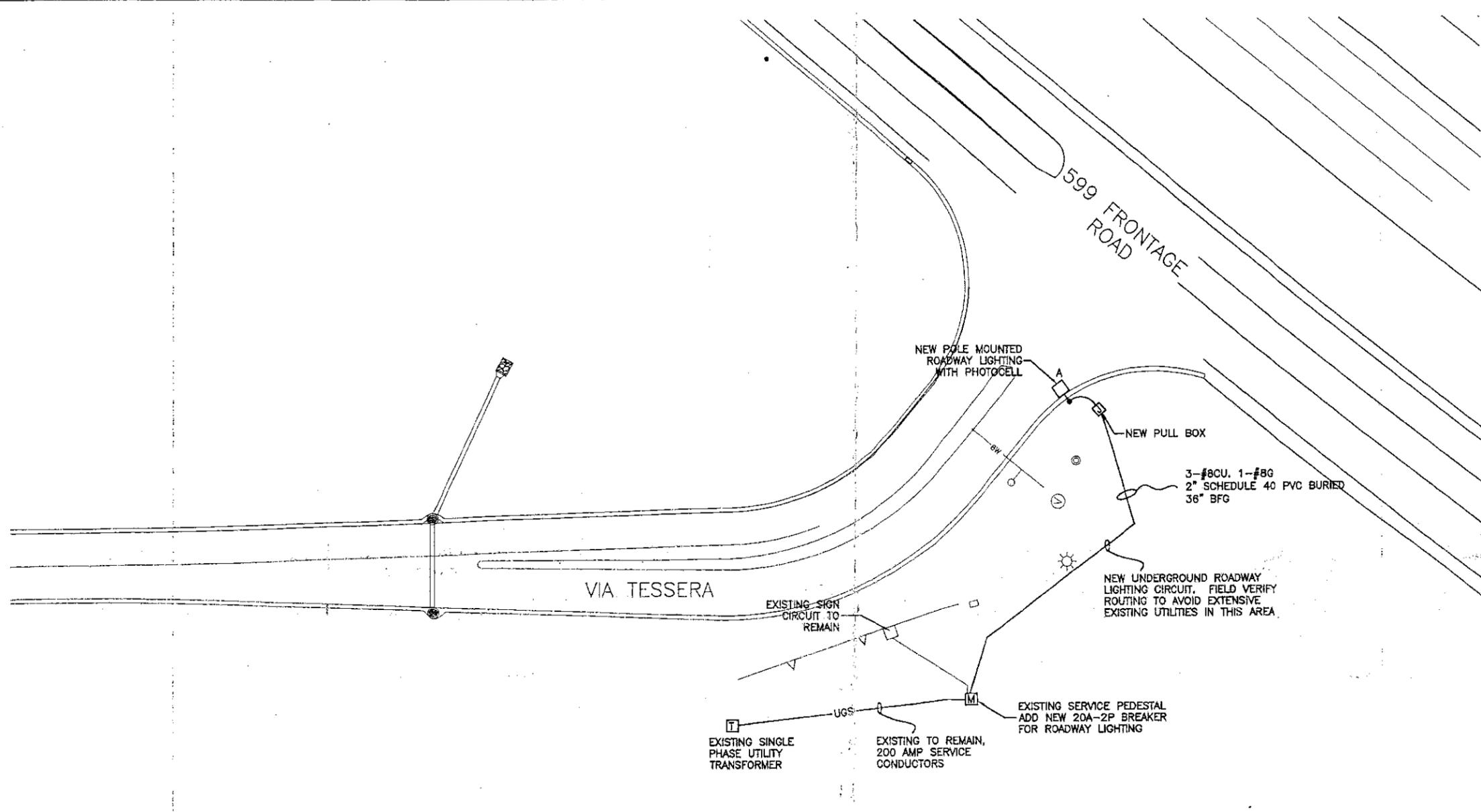
DESIGN ENGINEER

161 LUNA STREET, SUITE 6
SANTA FE, NEW MEXICO 87505
(505) 991-7971

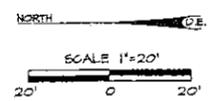
TESSERA 2

GENERAL NOTES AND LEGEND

SCALE AS NOTED	DWG. NO.	DATE 10/03/2016
SHEET NO.		EO



ROADWAY LIGHTING PLAN
SCALE: 1" = 20'-0"



- UGS -- UNDERGROUND LIGHTING CIRCUIT, 240 VOLTS.
SYMBOL LEGEND
- [T] SINGLE PHASE TRANSFORMER
 - [P] SECONDARY PEDESTAL
 - [S] STREET LIGHT
 - [M] METER PEDESTAL AND BREAKER PANEL
 - [J] PULL BOX

ROADWAY LIGHTING - FIXTURE SCHEDULE						
FIT TYPE	DESCRIPTION	MANUFACTURER	FITTURE MODEL NUMBER	LAMP DATA		
				TYPE	WATTS	QTY
A	LED ROADWAY LIGHTING FIXTURE FLAT GLASS, CUTOFF, PHOTOCELL BRONZE FINISH	GE LIGHTING	ERS1-54S-ET-6-40-6-BRONZE-F	LED / 40K	40	1
	ROUND TAPERED ALUMINUM POLE BRONZE FINISH TO MATCH LUMINAIRE 23 FT. 8 IN. HEIGHT	HAPCO	RTA20038M16-2M	POWDER COAT BRONZE TO MATCH LUMINAIRE MEET PMA SPEED PICATION SL1		
	RT ALUMINUM ARM BREAKAWAY BASE			POWDER COAT BRONZE TO MATCH LUMINAIRE MEET PMA SPEED PICATION SL1		



REVISIONS	
DATE	BY

DESIGN ENGINEER

16143

10316

101 LUISA STREET, SUITE 6
SANTA FE, NEW MEXICO 87505
(505) 994-1997

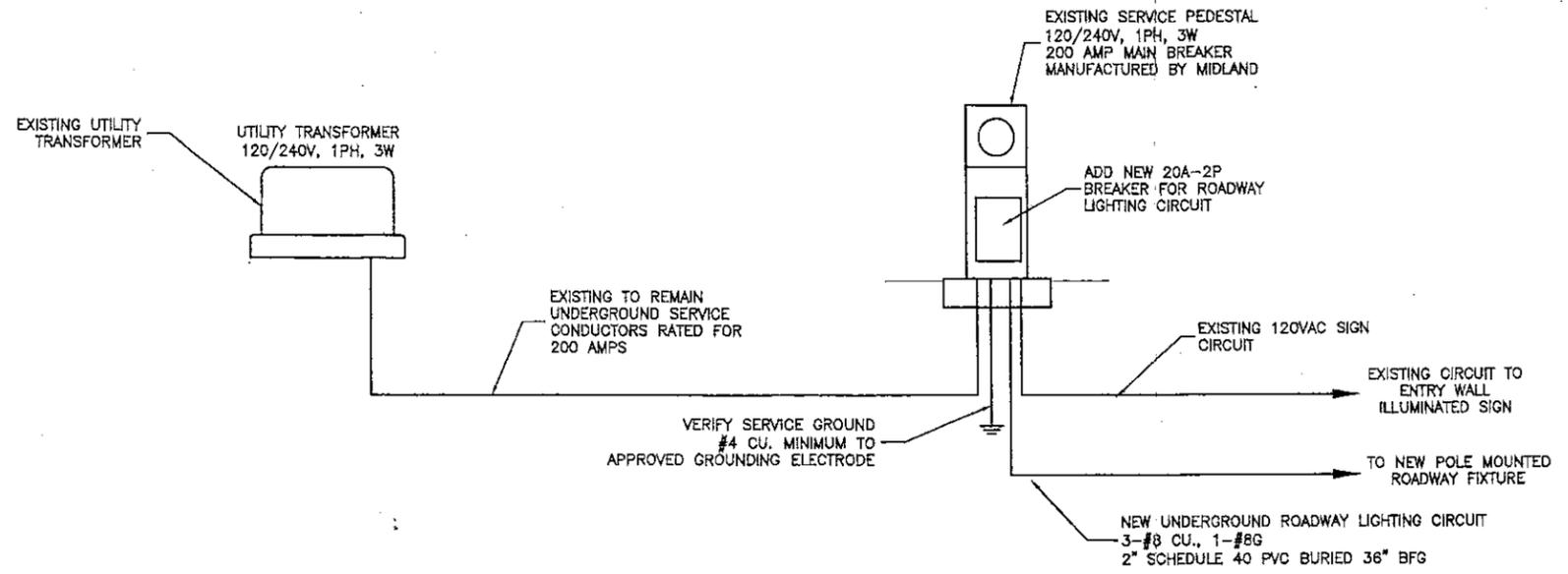
TESSERA 2

ELECTRICAL LIGHTING PLAN

SCALE: AS NOTED DATE: 10/09/2016

SHEET NO: EI

56



ELECTRICAL SERVICE RISER DIAGRAM

SCALE: NONE



16148

REVISIONS	
DATE	BY

DESIGN ENGINEER

141 LLETA STREET, SUITE B
SANTA FE, NEW MEXICO 87505
(505) 991-9991

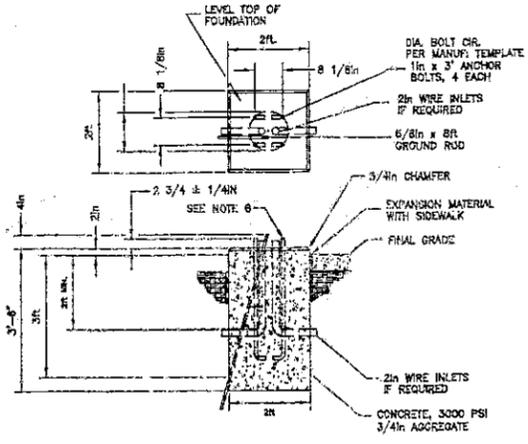
TESSERA 2

**ELECTRICAL SERVICE
RISER DIAGRAM**

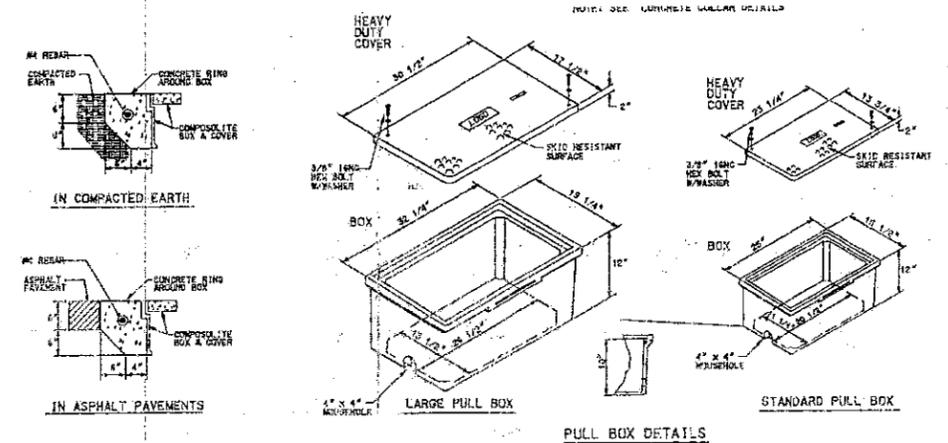
SCALE AS NOTED	DWG NO.	DATE 10/09/2016
SHEET NO. E2		

NOTES:

- (1) NOT USED
- (2) SOIL OUTSIDE OF FOUNDATION DIMENSIONS MUST BE COMPACTED.
- (3) FOR SIDEWALK INSTALLATION TOP OF FOUNDATION IS FLUSH WITH SIDEWALK AND THERE IS NO CHAMFER
- (4) USE EXPANSION MATERIAL IN AND AGAINST SIDEWALK INSTALLATION.
- (5) ALLOW A MINIMUM OF 14 DAYS OF CURING TIME BEFORE ERECTING POLE.
- (6) THE STEEL ANCHOR BOLTS SHALL CONFORM TO THE FOLLOWING SPECIFICATION:
STEEL = ASTM A675, GRADE 90
THREADS = 1-8 LUNCH
THREAD LENGTH = 6 INCHES
COATING = HOT DIP GALVANNE
ON THREADED END, COATING MUST EXTEND AT LEAST 12 INCHES.



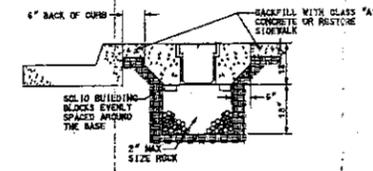
FOUNDATION DETAIL - STREETLIGHT



PULL BOX DETAILS

NOTES FOR HEAVY DUTY REINFORCED POLYMER MORTAR PULL BOX AND COVERS

1. MATERIAL TO BE AN AGGREGATE CONSISTING OF SAND AND GRAVEL BOUND TOGETHER WITH A POLYMER AND REINFORCED WITH CONTINUOUS WOVEN GLASS STRANDS. THE MATERIAL MUST HAVE THE FOLLOWING MECHANICAL PROPERTIES: COMPRESSIVE STRENGTH - 11,000 PSI, TENSILE STRENGTH - 1,700 PSI, FLEXURAL STRENGTH - 7,500 PSI.
2. ALL PULL BOX COVERS SHALL BE HEAVY DUTY REINFORCED POLYMER MORTAR, HAVING A SERVICE LOAD OF 22,548 LBS. OVER 10" SQUARE (225 PSI).
3. PULL BOX TYPE AND LOAD SHALL BE APPROVED BY THE PROJECT MANAGER.
4. THE DIMENSIONS OF THE PULL BOXES SHOWN ARE NOMINAL DIMENSIONS AND MAY VARY AS TO THE MANUFACTURER'S RECOMMENDATIONS. ALL DIMENSIONS SHALL BE VERIFIED BY THE PROJECT MANAGER.
5. ELECTRICAL PULL BOX (STANDARD) SHALL BE A HEAVY DUTY REINFORCED POLYMER MORTAR PULL BOX AND COVER MEASURING 13 3/4" x 23 1/4" x 2".



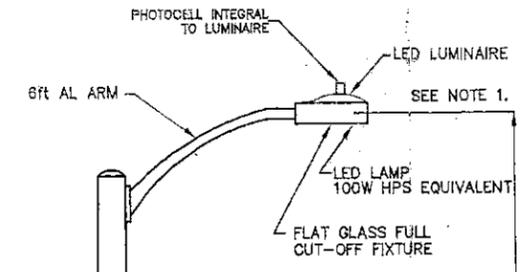
TYPICAL PULL BOX INSTALLATION
NOTE: SEE "CONCRETE COLLAR DETAILS"

CONCRETE COLLAR DETAIL

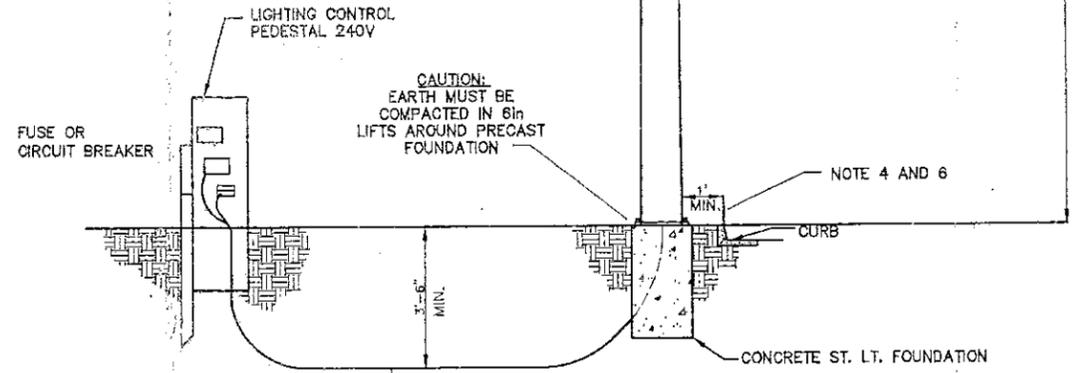
NOTE: THE CONCRETE COLLAR FOR THE PULL BOXES WILL BE PAID FOR UNDER THE CONTRACT ITEM FOR ELECTRICAL PULL BOX AND NO OTHER MEASUREMENT OR PAYMENT WILL BE MADE THEREFOR.

PULL BOX DETAILS

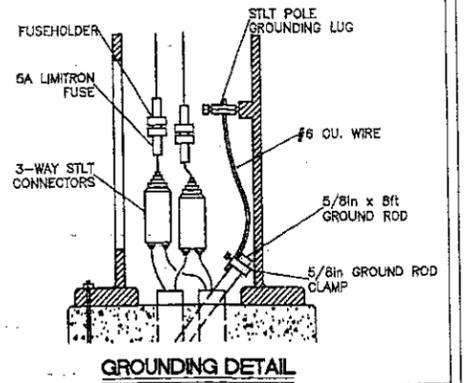
SCALE: NONE



- NOTES:**
- (1) LEVEL LUMINAIRE IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
 - (2) GROUND POLE AS SHOWN IN GROUNDING DETAIL.
 - (3) CONNECT NEUTRAL AND GROUND CONDUCTOR OF STREETLIGHT CABLE TO SECONDARY NEUTRAL IN PEDestal.
 - (4) MAY BE REDUCED IF NECESSARY, BUT NOT LESS THAN 6in.
 - (5) MINIMUM CLEARANCE TO FIRE HYDRANT 4ft.
 - (6) HESQ RULES 231, 314 B.



**TYPE A
240V UNDERGROUND FED
RESIDENTIAL STREETLIGHT**



**BREAKAWAY
BASE REQUIRED.
NOT SHOWN ON
TYPICAL DETAILS**



REVISIONS	
DATE	BY

DESIGN ENGINEER

16148

TESSERA 2

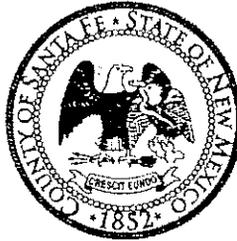
ELECTRICAL DETAILS

SCALE AS NOTED	DWG. NO.	DATE 10/03/2016
SHEET NO. E3		58

Henry P. Roybal
Commissioner, District 1

Miguel M. Chavez
Commissioner, District 2

Robert A. Anaya
Commissioner, District 3



Kathy Holian
Commissioner, District 4

Liz Stefanics
Commissioner, District 5

Katherine Miller
County Manager

**PUBLIC WORKS DIVISION
MEMORANDUM**

Date: December 1, 2016

To: Vicente Archuleta, Development Review Team Leader

From: Johnny P. Baca, Traffic Manager Public Works *JPB*

Re: Case # S 16-5270 Tessera Subdivision, Phase II Final Development and Final Plat Approval

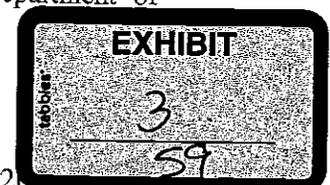
The referenced project has been reviewed for compliance of the Santa Fe County Sustainable Land Development Code (SLDC), and shall conform to roads and driveway requirements of Sustainable Design standards **Chapter 7.4 (Access and Easements) and Chapter 7.11 (Road Design Standards)**. The referenced project is located within the Tres Arroyos Del Poniente District Overlay, northwest of New Mexico 599 (Veterans Highway)/ Camino La Tierra intersection, northeast of Avenida Aldea, within Section 20, Township 17 North, Range 9 East. The applicant is requesting a Final Development Plan approval and Final Plat approval for Phase II consisting of seventy eight (78) parcels ranging in size from 0.20 to 0.43 acres.

Access:

The existing subdivision is accessed by a private road Via Tessera Road off of NM 599 Frontage Road. Via Tessera is an existing twenty (20') foot paved road with curb and gutter.

A Traffic Impact Analysis was prepared by Santa Fe Engineering Consultants, LLC, dated April 2014. The purpose of the study is to assess the traffic impacts the proposed project may have on road systems within the area and identify any necessary required on-site /off-site road improvements.

The Traffic Analysis states that *"No operational deficiencies exist and all intersections operate and will operate at an adequate Level of Service for existing conditions, Implementation Year Conditions and Horizon Year Conditions."* The project is not required a left turn deceleration lane based on the State Access Management Manuel. The project is required a right turn deceleration lane; however one currently exists to serve Via Tessera Road. The existing deceleration Lane meets the State Access Management Manuel requirements of 300 feet with a taper of 10.5:1 for a distance of 125 feet for the posted speed limit. This portion of road is under the jurisdiction of New Mexico Department of Transportation.



Conclusion:

Public Works has reviewed the submittal and Traffic Impact Analysis, dated April 2014, and feels that they **can** support the above mentioned project for a Final Development Plan approval and Final Plat Approval for Phase II with the following conditions;

- Applicant shall comply with all NMDOT regulatory requirements for driveway access onto NM 599 Frontage Road.
- Applicant shall provide an approval for the transition of Via Tessera Road and NM 599 Frontage Road.
- Applicant shall remove approximately forty (40') feet of rock median encroaching NMDOT Right-of-Way.
- Applicant shall place a note on Plat under the BUILDING PERMIT CONDITIONS which states, "All double fronted lots are allowed one access only meeting a 100' setback from intersection".
- Applicant shall provide an approval from Santa Fe County Fire Marshal for placement of island within the proposed cul-de-sacs.
- Applicant shall change note #6 on Sheet 16, Traffic Signage & Signage Plan from SR14 to NM599 Frontage.
- Applicant shall provide sign sizes on Sheet 16, Traffic Signage & Signage Plan.
- Applicant shall install all long line striping as per MUTCD double yellow, with a 4x4x4 pattern.
- Applicant shall provide a striping plan for approval.
- Santa Fe County recommends the existing speed limit of 30 mph be reduced to a more residential speed limit of 20 mph.
- Applicant shall address all conditions prior to SIGN OFF ON FINAL PLAT APPROVAL.

Henry P. Roybal
Commissioner, District 1

Miguel Chavez
Commissioner, District 2

Robert A. Anaya
Commissioner, District 3



Kathy Holian
Commissioner, District 4

Liz Stefanics
Commissioner, District 5

Katherine Miller
County Manager

Santa Fe County Fire Department Fire Prevention Division

Official Development Review

Date	11/22/2016		
Project Name	Tessera Phase 2 final Plat Approval		
Project Location	North of NM 599 West Frontage Road		
Description	78 Lots for a Residential Subdivision	Case Manager	V. Archuleta
Applicant Name	Design Enginuity -- Orallynn Guerreroortiz PE	County Case #	16-5270
Applicant Address	1421 Luisa Street, Suite E Santa Fe, New Mexico 87504	Fire District	Agua Fria
Applicant Phone	505-988-3557		

Review Type: Commercial Residential Sprinklers Hydrant Acceptance
 Inspection Lot Split Wildland Variance Zone No. _____
 Project Status: Approved Approved with Conditions Denial

The Fire Prevention Division/Code Enforcement Bureau of the Santa Fe County Fire Department has reviewed the above submittal and requires compliance with applicable Santa Fe County fire and life safety codes, ordinances and resolutions as indicated.

Conditions of Approval

- Maximum size for an island in a cul-de-sac shall be 20' diameter. Roll over curbs shall be required with no obstructions in the curbs or sidewalk area. (page 3)
- Marked walking trails (page2)
- Driveway plans shall be submitted for approval.(page2)
- Fire hydrants shall be tested and approved by the Santa Fe County Fire before building. (page 3)
- Roads shall be 20' wide all-weather driving surface. No parking on roadway (page 2)

661

Fire Department Access

Shall comply with Article 9 - Fire Department Access and Water Supply of the 1997 Uniform Fire Code inclusive to all sub-sections and current standards, practice and rulings of the Santa Fe County Fire Marshal

Any walking trail system proposed for this development shall have a trail identification number or name and be marked with a number every 1/10th of a mile (528 feet) for the purpose of expediting emergency response.

▪ Fire Access Lanes

Section 901.4.2 Fire Apparatus Access Roads. (1997 UFC) *When required by the Chief, approved signs or other approved notices shall be provided and maintained for fire apparatus access roads to identify such roads and prohibit the obstruction thereof or both.*

▪ Roadways/Driveways

Shall comply with Article 9, Section 902 - Fire Department Access of the 1997 Uniform Fire Code inclusive to all sub-sections and current standards, practice and rulings of the Santa Fe County Fire Marshal.

No off-site parking shall be allowed and shall be marked accordingly as approved by the Fire Marshal.

Curbs adjacent to the, fire hydrants, landscape medians in traffic flow areas and in designated no parking areas shall be appropriately marked in red with 6" white lettering reading "FIRE LANE - NO PARKING" as determined by the Fire Marshal prior to final approval. Assistance in details and information are available through the Fire Prevention Division. The Home Owner's and/or the Home Owner's Association will maintain said markings following the final approval and for the duration of the subdivision.

Cul-de-sacs shall be a minimum 50' radius. SFC Land Use Code, Article V, Section 8.2.1d, (cul-de-sacs over 250' in length). Maximum size for an island in a cul-de-sac shall be 20' diameter. Roll over curbs shall be required with no obstructions in the curbs or sidewalk area.

Roads shall meet the minimum County standards for fire apparatus access roads of a minimum 20' wide all-weather driving surface and an unobstructed vertical clearance of 13' 6" within this type of proposed development. No parking on roadways.

Driveway plans shall be submitted for approval that meets the minimum County standards for fire apparatus access roads of a minimum 14' wide all-weather driving surface and an unobstructed vertical clearance of 13' 6" within this type of proposed development.

▪ Street Signs/Rural Address

Section 901.4.4 Premises Identification (1997 UFC) *Approved numbers or addresses shall be provided for all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property.*

Section 901.4.5 Street or Road Signs. (1997 UFC) *When required by the Chief, streets and roads shall be identified with approved signs.*

All access roadway identification signs leading to the approved development area(s) shall be in place prior to the required fire hydrant acceptance testing. Said signs shall remain in place in visible and viable working order for the duration of the project to facilitate emergency response for the construction phase and beyond.

Properly assigned legible rural addresses shall be posted and maintained at the entrance(s) to each individual lot or building site within 72 hours of the commencement of the development process for each building.

▪ **Slope/Road Grade**

Section 902.2.2.6 Grade (1997 UFC) *The gradient for a fire apparatus access road shall not exceed the maximum approved.*

This driveway/fire access does not exceed 10% slope and shall have a minimum 28' inside radius on curves.

▪ **Restricted Access/Gates/Security Systems**

Section 902.4 Key Boxes. (1997 UFC) *When access to or within a structure or an area is unduly difficult because of secured openings or where immediate access is necessary for life-saving or firefighting purposes, the chief is authorized to require a key box to be installed in an accessible location. The key box shall be of an approved type and shall contain keys to gain necessary access as required by the chief.*

To prevent the possibility of emergency responders being locked out, all access gates should be operable by means of a key or key switch, which is keyed to the Santa Fe County Emergency Access System (Knox Rapid Entry System). Details and information are available through the Fire Prevention office.

A final inspection by this office will be necessary to determine the applicability of the installation of the Knox lock access system in regards to emergency entrance into the fenced area. Should it be found suitable for such, the developer shall install the system.

Fire Protection Systems

▪ **Hydrants**

Shall comply with Article 9, Section 903 - Water Supplies and Fire Hydrants of the 1997 Uniform Fire Code, inclusive to all sub-sections and current standards, practice and rulings of the Santa Fe County Fire Marshal.

Section 903.4.2 Required Installations. (1997 UFC) *The location, number and type of the fire hydrants connected to a water supply capable of delivering the required fire flow shall be provided on the public street or on the site of the premises or both to be protected as required and approved.*

No building permits shall be granted until such time as the fire hydrants have been tested and approved by the Santa Fe County Fire Marshal. All fire hydrants shall be spaced so that the furthest buildable portion of a parcel shall be within one thousand feet (1,000') as measured along the access route.

Fire hydrant locations shall be no further than 10 feet from the edge of the approved access roadways with the steamer connections facing towards the driving surface. Final fire hydrant locations shall be located in full view for incoming emergency responders. Landscape vegetation, utility pedestals, walls, fences, poles and the like shall not be located within a three foot radius of the hydrant per Article 10, Sections 1001.7.1 and 1001.7.2 of the 1997 UFC.

Supply lines shall be capable of delivering a minimum of 1000 gpm with a 20-psi residual pressure to the attached hydrants. The system shall accommodate the operation of two pumping apparatus simultaneously from separate locations on the system. All hydrants shall have NST ports.

Fire hydrants subject to possible vehicular damage shall be adequately protected with guard posts in accordance with Section 8001.11.3 of the 1997 UFC. All hydrants shall comply with Santa Fe County Resolution 2000-55, Hydrant color-coding, marking and testing.

Automatic Fire Protection/Suppression

This office highly recommends the installation of an automatic fire suppression system as per 1997 Uniform Fire Code, Article 10 Section 1003.2.1 and the Building Code as adopted by the State of New Mexico and/or County of Santa Fe. Required automatic fire suppression systems shall be in accordance with NFPA 13 and 13D Standard for automatic fire suppression systems. It is recommended that the homeowner contact their insurance carrier to find their minimum requirements.

Fire Alarm/Notification Systems

Automatic Fire Protection Alarm systems are highly recommended per 1997 Uniform Fire and Building Codes as adopted by the State of New Mexico and/or the County of Santa Fe. Required Fire Alarm systems shall be in accordance with NFPA 72, National Fire Alarm Code for given type of structure and/or occupancy use.

▪ Fire Extinguishers

Article 10, Section 1002.1 General (1997 UFC) *Portable fire extinguishers shall be installed in occupancies and locations as set forth in this code and as required by the chief. Portable fire extinguishers shall be in accordance with UFC Standard 10-1.*

Portable fire extinguishers should be installed in occupancies and locations as set forth in the 1997 Uniform Fire Code. Portable fire extinguishers shall be in accordance with UFC Standard 10-1.

▪ Life Safety

Fire Protection requirements listed for this development have taken into consideration the hazard factors of potential occupancies as presented in the developer's proposed use list. Each and every individual structure of a private occupancy designation will be reviewed and must meet compliance with the Santa Fe County Fire Code (1997 Uniform Fire Code and applicable NFPA standards) and the 1997 NFPA 101, Life Safety Code, which have been adopted by the State of New Mexico and/or the County of Santa Fe.

General Requirements/Comments

▪ Inspections/Acceptance Tests

Shall comply with Article 1, Section 103.3.2 - New Construction and Alterations of the 1997 Uniform Fire Code, inclusive to all sub-sections and current standards, practice and rulings of the Santa Fe County Fire Marshal.

The developer shall call for and submit to a final inspection by this office prior to the approval of the Certificate of Occupancy to ensure compliance to the requirements of the Santa Fe County Fire Code (1997 UFC and applicable NFPA standards) and the 1997 NFPA 101, Life Safety Code.

▪ Permits

As required

Final Status

Recommendation for Final Development Plan approval with the above conditions applied.

Renee Nix, Inspector

Renee Nix
Code Enforcement Official

11-22-16
Date

Through: Fire Marshal Jaome Blay **JRB**

File: DEV/Tessera2FinalPlatPlan/112216/AF

Cy: David Sperting, Chief
Vicente Archuleta, Land Use
Applicant
District Chief Agua Fria
File

Henry P. Roybal
Commissioner, District 1

Miguel Chavez
Commissioner, District 2

Robert A. Anaya
Commissioner, District 3



Kathy Holian
Commissioner, District 4

Liz Stefanics
Commissioner, District 5

Katherine Miller
County Manager

DATE: December 9, 2016

TO: Vicente Archuleta, Santa Fe County Land Use Department

FROM: Sandra Ely, Project Manager III, Utilities

VIA: Michael Kelley, PE, Public Works Director *MK 12/9/16*
Claudia Borchert, Utilities Division Director *(Signature)*

REGARDING: Case # 16-5270 Tessera Phase 2 Final Plat Approval

Summary: Santa Fe County Utilities (SFCU) Division finds the submittal for final plat of Tessera Phase 2 consistent with the water and wastewater provisions in the Sustainable Land Development Code provided conditions identified herein are met prior to approval.

Background: The SFCU Division is in receipt of the November 10, 2016 request from Land Use to review the submittal by Design Enginuity on behalf of Homewise, Inc. ("Developer") for approval of the final plat for the second phase of the Tessera subdivision ("Development"). The proposed Development consists of a 78-lot residential subdivision to be constructed on 69.4 acres located north of the 599 West Frontage Road at Via Tessera with the Aldea de Santa Fe subdivision to the west.

Discussion:

Water Budget: The water budget proposed at full build out is 18.72 acre-feet per year (afy), including the 20% add-on required by Resolution 2006-57; the water budget is not reduced for the water supply provided by the County for affordable housing. The applicant's water budget consists of 0.2 afy per dwelling. As described in the Waterline Extensions and Water Delivery Agreement between Santa Fe County and the Developer, the Developer must provide water rights for the Development's water budget, less water provided by the County for affordable housing.

Utility Water Services: The Development is in SDA-2 and within the SFCU water service area. Pursuant to the Sustainable Land Development Code (SLDC), the applicant is required to connect to county water (SLDC 7.13.3) and obtain proof of service commitment from a water provider prior to approval of the final plat (SLDC 5.8.4.5). The submittal packet for the Development includes a Water Line Extension and Water Delivery Agreement between Santa Fe County and the Developer approved by the Board of County Commissioners on January 12, 2016 which satisfies this requirement and provides terms and conditions under which SFCU will make water service available to the Development.

Utility Waste Water Services: The Development is not within the SFCU wastewater service area. As allowed by the SLDC, the Development will connect to the Tessera Phase I wastewater collection system which is a low pressure collection system that discharges into the City of Santa Fe ("City") collection system and is privately owned by the Tessera Sewer Coop (SLDC 7.13.4). The Development will install privately owned and operated grinder pumps at each residence that collectively pump through existing lines that pass under NM 599 and discharge to the City collection system at Santa Fe River Trunkline. The City and Santa Fe County entered into a memorandum of understanding for expansion of the existing wastewater collection system at Tessera Phase I and discharge into the City's collection and treatment system.

Tessera 2 customers will become SFCU customers, but the ownership, operation and maintenance of the system will remain private. Terms for service and fees will be addressed in the yet to developed Wastewater Discharge Service Agreement between Santa Fe County and the Developer.

The Developer must meet the following conditions prior to approval of the final plat for Tessera Phase 2:

Recommended Approval Conditions:

Sewer Service

- 1) The Developer shall enter into a Wastewater Discharge Service Agreement (Agreement) with SFCU before final plat recordation. The Agreement will specify requirements, such as construction standards, design approval process, infrastructure inspections and service charges. The applicant is responsible for the design and construction of all wastewater related infrastructure for this project and is responsible for all associated costs.

Water and Sewer Design Plans

- 1) All future design plans and installation of infrastructure must be consistent with current (at time of design and installation) SFCU specifications and standards.
- 2) The Developer submitted draft water and wastewater system plans to SFCU for review. The Developer will address all comments provided by SFCU on draft plans as described in Attachment A.
- 3) The Developer will submit future draft water and wastewater plans to SFCU for review and approval. The Developer will address all future comments in writing by the SFCU. Upon approval of the 100% final design and specifications, the Utility will issue written approval of the water and wastewater design and specifications. The Developer must have written approval of the 100% final design and specifications prior to final plat recordation for the Development.
- 4) To ensure the safety and general welfare of the public, the infrastructure for the Development is required to meet all County requirements.



Santa Fe County Public Works Review Comments

Attachment A

Project:	Tessera 2
Plan Set Title:	Final Development Plan and Plat
Plan Set Date:	November 4, 2016
SFCU Receipt Date	November 10, 2016
SFCU Review Date	December 2, 2014
SFC Growth Management Case #	SDP 16-5270

Santa Fe County Utilities (SFCU) has reviewed the plan set identified above. SFCU expects that the applicant will address to SFCU's satisfaction, the comments summarized below. Additional comments may be generated by SFCU during review of subsequent plans. Please provide a response below each comment.

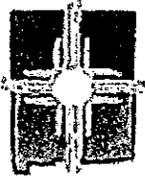
Santa Fe County Utilities Comments:

#	Sheet	Comment
1		Provide signed and sealed water distribution calculations that demonstrate the sufficient delivery of fire flow plus peak day demand for the proposed phase of the subdivision.
2		Why will existing force mains be abandoned? If they are abandoned, they will need to be grouted in place.
3		Add match lines to all sheets where drawing extends to multiple sheets.
4	3	SFCU is not listed under Utility Companies. Please add SFCU to the list providing easement for water service operations and maintenance.
5	4	There is a break in the 10' Easement along lot 118. Please update plat to include continuous easement.
6	10	Road typical sections do not indicate sidewalks. Please explain.
7	12-15	Plan and profile sheets do not include water and sewer lines, please add.
8	13	Lot 146 is bound by 2 overland water drainage features which could cause erosion through time, with both discharging onto unprotected ground. Storm water should be conveyed by underground pipe and discharged into infiltration structures that will not create additional erosion at outlets.
9	21-23	Double water services are illustrated as a lateral with a split prior to meter cans. Double meter cans may be used and positioned on lot lines for double water service laterals. Single laterals shall be used up to cans. Please illustrate split at can(s).
10	21-23	All three way intersections shall have 3 gate valves for isolation in all directions. Please add to intersections of: Via Harena and Via Summa; Via Tessera and Via Solis; Via Harena and Via Tessera...
11	24	Utility Services standard details are not provided. Please add meter cans, gate valves, air release valves (ARV)...
12	26	Add ARV at end of Plaza Nueva water line.
13	27	Install gate valve on Via Harena at approximately 10+00.



Santa Fe County Public Works Review Comments

#	Sheet	Comment
14	28	Install fire hydrant at end of Via Solis.
15	29	Northern most street is not labeled. Please label.
16	29-31	Please provide signed and sealed calculations for low pressure sewer system.
17	29-31	Sanitary sewer lines shall be located under sidewalks or between sidewalk and street, not under asphalt roadways.
18	29-31	Please review locations of all clean outs and ensure one is located at least every 600 feet.
19	39	Inline Flushing Station – Multiple Line Plan – Indicates restraining joints or blocking. All restraining mechanisms shall be joints, not thrust blocks.
20	39	Residential Service Connection – please add check valve to customer side of ball valve.



NEW MEXICO DEPARTMENT OF
TRANSPORTATION

December 28, 2016

Mr. Vicente Archuleta
102 Grant Avenue
Santa Fe, NM 87501

RE: Tessera Phase 2 Subdivision

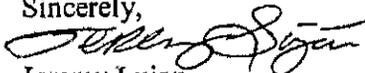
Dear Mr. Archuleta,

The appropriate engineers of the New Mexico Department of Transportation have reviewed the submitted material on the above referenced development and comments or concerns to be addressed are as follows:

Environmental Bureau: In past submittals we've obtained disclosure statements and management plans, which in another email I referred to as a Summary Review. I foresee only a Traffic Impact Analysis for this project and need more information. The Traffic Impact Analysis is dated April 2014. Is this outdated? There are previously recorded sites in the subdivision plat, so I would like to see documentation demonstrating that the developer has consulted with the Historic Preservation Division. We look forward to obtaining the additional information.

District 5 Traffic Engineer: I apologize for the delay in my review. I have reviewed the submittal and it appears that the report addresses most of NMDOT standards. The only item I need the engineer to address is the crash data. The report states that the information was ordered but had not been received at the time of the submittal. Currently I do not foresee any problems with this, but I would still like to see the crash data when it comes in.

If there are any questions you may contact me at (505) 827-5249 or by email at jeremy.lujan@state.nm.us.

Sincerely,

Jeremy Lujan
Property Management Agent

FILE#: 1762

Susana Martinez
Governor

Tom Church
Cabinet Secretary

Commissioners

Ronald Schmeits
Chairman
District 4

Dr. Kenneth White
Secretary
District 1

David Sepich
Commissioner
District 2

Keith Mortensen
Commissioner
District 3

Butch Mathews
Commissioner
District 5

Jackson Gibson
Commissioner
District 6

70



STATE OF NEW MEXICO

OFFICE OF THE STATE ENGINEER

CONCHA ORTIZ Y PINO BUILDING, 130 SOUTH CAPITOL, SANTA FE, NM 87501
TELEPHONE: (505) 827-6091 FAX: (505) 827-3806

TOM BLAINE, P.E.
STATE ENGINEER

November 30, 2016

Mailing Address:
P.O. Box 25102
Santa Fe, NM 87504-5102

Vicente Archuleta
Development Review Team Leader
Santa Fe County
P.O. Box 276
Santa Fe, NM 87504-0276

CERTIFIED MAIL
RETURN RECEIPT
REQUESTED

Reference: Tessera Subdivision, Phase 2 – Final Plat

Dear Mr. Archuleta:

On November 10, 2016 the Office of the State Engineer (OSE) received a request to review the proposal for the Final Development Plan and Plat for the referenced subdivision. This office previously reviewed and provided comments for the Tessera 2 Preliminary Development Plan and Preliminary Subdivision Plat on May 12, 2014 and July 22, 2014. For details, please refer to those letters.

The proposal is a request to develop Phase 2 of the Tessera development to add 78 homes on the remaining 81 acres of land for a total of 166 residential lots. The entire project is on 146 acres; Tessera 2 will encompass 69.4 acres. The largest lot is 0.43 acres and the smallest lot is 0.20 acres. The property is located to the north of the NM 599 West Frontage Road and about ¾ of a mile west of the La Tierra's exit ramp within Section 20 of Township 17 N, Range 9 E, N.M.P.M. The proposed water supply will be provided by Santa Fe County Utilities.

The water supply documents received in the November 10 submittal consist of an application for Final Development Plan and Plat Approval including plat maps, a Disclosure Statement, and a Water Delivery Agreement. These documents are different than those received in the July 22, 2016 submittal.

The subdivision proposal was reviewed pursuant to the Santa Fe County Sustainable Land Development Code – Adopted by Ordinance 2015-11 (Code) and the New Mexico Subdivision Act (Act).

In accordance with Sections 7.13.6.1 and 7.13.11 of the Code the annual water supply for each household will be 0.25 acre feet per year (afy) for domestic purposes.

The proposed water supply will be provided by Santa Fe County Utilities. The developer provides a Water Delivery Agreement letter from Santa Fe County, dated January 1, 2016 that requires the developer to acquire and transfer water rights to the utility. Section 7.13.2.3 of the Code requires that a letter stating that the utility "*is ready, willing and able to provide water service*" be provided. Section 47-6-11.F(1) of the Act requires that the developer provide documents demonstrating that water sufficient in quantity to fulfill the maximum annual water requirements of the subdivision is available. The Agreement provided by the developer does not satisfy the requirements of the Act or Section 7.13.2.3 of the Code. In the previous submittal the developer provided a "ready, willing, and able" letter which satisfied the requirements of the Code.

Section 4.4.7 of the Code allows the Santa Fe County Land Use staff to refer applications as appropriate to state agencies for review. The OSE recognizes the proactive actions on behalf of the County to solicit the technical opinion of the OSE on this Final Plat. However, because the proposed development is not formally covered under the Act, the OSE declines to provide an opinion at this time. We appreciate the opportunity to review the Tessera Phase 2 Final Plat submittal.

If you have any questions, please call Chuck Lawler at 505-827-6664.

Sincerely,



Molly Magnuson, P.E.
Water Use & Conservation Bureau Chief

cc: OSE Water Rights Division, Santa Fe Office



SUSANA MARTINEZ
Governor
JOHN A. SANCHEZ
Lieutenant Governor

NEW MEXICO
ENVIRONMENT DEPARTMENT

2540 Camino Edward Ortiz
Santa Fe, NM 87507
Phone (505) 827-1840 Fax (505) 827-1839
www.env.nm.gov



BUTCH TONGATE
Cabinet Secretary
J.C. BORREGO
Acting Deputy Secretary

November 29, 2016

Vicente Archuleta, Development Review Team Leader
Planning and Development Division
Santa Fe County
P.O. Box 276
Santa Fe, NM 87504-0276

RE: Final Plat Approval
Case # 16-5270 Tessera Phase 2

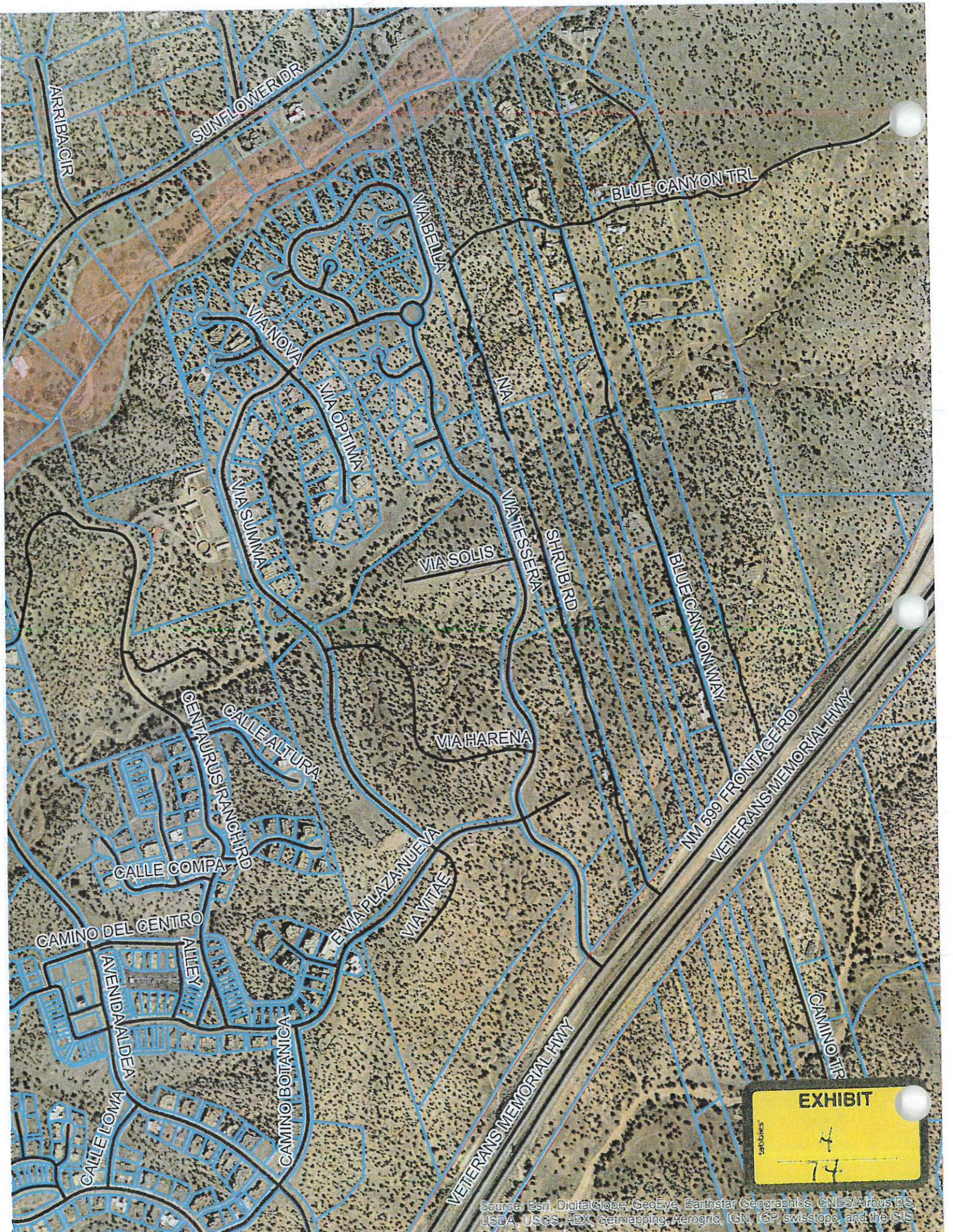
Dear Mr. Archuleta:

I have reviewed the correspondence you provided concerning the referenced development and have no comments relating to on-site treatment and disposal of liquid waste.

Please contact me with any questions or if you need additional information.

Sincerely,

Bill Brown
Staff Manager, District 2
Environmental Health Bureau
New Mexico Environment Department



ARRIBACIR
 SUNFLOWER DR
 BLUE CANYON TRL
 VIBELLA
 VIA NOVA
 VIA OPTIMA
 VIA SUMMA
 VIA SOLIS
 VIA TESSERA
 SHRUB RD
 BLUE CANYONWAY
 VIA HARENA
 CENTAURUS RANCH RD
 CALLE ALTURA
 CALLE COMPA
 CAMINO DEL CENTRO
 AVENIDA ALDEA
 ALLEY
 CAMINO BOTANICA
 VIA VITAE
 VIA PLAZA NUEVA
 NM 599 FRONTAGE RD
 VETERANS MEMORIAL HWY
 CAMINO TR

EXHIBIT
 74

Account Number

1184

Ad Order Number

0000186104

DESIGN ENGINUITY, LLC

.EGAL #81912

CASE # S 16-5270

**NOTICE OF PUBLIC
HEARING**

Notice is hereby given that a public hearing will be held to consider a request by Homewise Inc., Applicant, Design Enginuity (Oralynn Guerrerortiz), Agent, for Final Plat approval for the Tessera Phase 2 residential subdivision consisting of 78 lots on 69.56 acres.

The property is located off of NM 599 North Frontage Road, within the Tessera Planned Development District, within Section 20, Township 17 North, Range 9 East (Commission District 1).

A public hearing will be held in the County Commission Chambers of the Santa Fe County Courthouse, corner of Grant and Palace Avenues, Santa Fe, New Mexico on the 10th day of January, 2017, at 5 p.m. on a petition to the Board of County Commissioners.

Please forward all comments and questions to the County Land Use Administration Office at 986-6225.

All interested parties will be heard at the Public Hearing prior to the Commission taking action. All comments, questions and objections to the proposal may be submitted to the County Land Use Administrator in writing to P.O. Box 276, Santa Fe, New Mexico 87504-0276; or presented in person at the hearing.

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