

**Justin S. Greene**  
*Commissioner, District 1*

**Anna Hansen**  
*Commissioner, District 2*

**Camilla Bustamante**  
*Commissioner, District 3*



**Anna T. Hamilton**  
*Commissioner, District 4*

**Hank Hughes**  
*Commissioner, District 5*

**Gregory S. Shaffer**  
*County Manager*

November 15, 2023

**SANTA FE COUNTY**  
**IFB 2024-0027-HA/APS**  
**REMODEL AND ASBESTOS ABATEMENT**  
**SANTA CRUZ HOUSING DEVELOPMENT**

**ADDENDUM NO. 1**

Dear Proponents,

This addendum is issued to reflect the following immediately. It shall be the responsibility of interested Bidders to adhere to any changes or revisions to the IFB as identified in this Addendum No. 1. This documentation shall become permanent and made part of the departmental files.

---

**Attachment A: Pre-Bid Meeting Sign-In Sheet**

**Attachment B: Wage Decisions**

**Attachment C: Specifications for Work and Drawings**

**Attachment D: Scope of Work**

---

**Question No. 1: Are there specs and drawings for this project?**

**Answer No. 1:** Please see Attachment C.

**Question No. 2: Is there currently an estimated budget or mobilization date?**

**Answer No. 2:** There is no published cost estimate for this project. A mobilization date will be addressed with awarded contractor.

**Question No. 3: After removing asbestos sheets from wall and ceiling we might find some electrical wires in run down condition. Do you want us to include the approximate cost with bid or leave for future as additional work order? Same goes for hidden plumbing pipes.**

**Answer No. 3:** Leave for future as additional work.

Question No. 4: Timeline to finish the project is 365 days. We believe work can be finished in 4 months or 120 days.

Answer No. 4: The substantial complete date is 120 days.

Question No. 5: Bid documents do not have Scope of Work. It is assumed the homes will need entire remodeling. Is this correct?

Answer No. 5: Please see Attachment D

Question No. 6: Can you re-specify the actual address of both homes.

Answer No. 6: 135 Camino de Quintana and 138 Camino de Quintana

Please add this Addendum No. 1 to the original proposal documents and refer to proposal documents, hereto as such. This and all subsequent addenda will become part of any resulting contract documents and have effects as if original issued. All other unaffected sections will have their original interpretation and remain in full force and effect. Responders are reminded that any questions or need for clarification must be addressed to Amanda Patterson-Sanchez, Procurement Planner Analyst at [apatterson-sanchez@santafecountynm.gov](mailto:apatterson-sanchez@santafecountynm.gov).



**SANTA FE COUNTY**

**PRE-BID CONFERENCE**

**IFB 2024-0027-HA/APS**

**REMODEL AND ASBESTOS ABATEMENT SANTA CRUZ HOUSING DEVELOPMENT**

**NOVEMBER 7, 2023 AT 10:30AM**

NAME	COMPANY	TELEPHONE	E-MAIL ADDRESS
Amanda Patterson Sanchez	SFC- Purchasing	(505) 992-6753	apatterson-sanchez@santafecountynm.gov
Billy Boea	SFC Housing	505-490-0346	lboea@santafecounty.org
Robert Valenzuela	Southwest Hazard	915-549-5117 290-6163	rvalenzuela@swhaz.com
Darrell J. Chino	Khapo Construction	(505) 367-4720	d.chino@khapoconstruction.com
Manuel Ruiz	STUDY HOMES Sol Systems LLC	(505) 321-3910	Solsystems45@gmail.com
Manuel Ruiz Jr.	Sol Systems LLC	(505) 850-8294	Manuelruiz2704@gmail.com
Jorge Chaparrero	Asbestos Experts	(505) 203-2689	Jorge@asbestosexperts.com
Edmundo Moreno	Granacor Environmental	(505) 401-9563	edmundoe@granacorenviro.com
Guillermo Andrade	SHC	505-331-6161	GAndrade@SWHAZ.com



## PUBLIC WORKS PROJECT REQUIREMENTS

As a participant in a Public Works project valued at more than \$60,000 in the State of New Mexico, the following list addresses many of the responsibilities that are defined by statute or regulation to each project stakeholder.

### Contracting Agency

- Ensure that all Contractors wishing to bid on a Public Works project when the project is \$60,000 or more are actively registered with the Public Works and Apprenticeship Application (PWAA) website: <http://www.dws.state.nm.us/pwaa> (Contractor Registration) prior to bidding.
- Please submit Notice of Award (NOA) and Subcontractor List(s) to the PWAA website promptly after the project is awarded.
- Please update the Subcontractor List(s) on the PWAA website whenever changes occur.
- All Sub-Contractors and tiers (excluding professional services) regardless of contract amount must be listed on the Subcontractor List and must adhere to the Public Works Minimum Wage Act.
- Ninety days after project completion please go into the PWAA system and close the project. Only Contracting Agencies are allowed to close the project. Agents or Contractors are not allowed to close projects.

### General Contractor

- Provide a complete Subcontractor List and Statements of Intent (SOI) to Pay Prevailing Wages for all Contractors, regardless of amount of work, to the Contracting Agency within 3 (three) days of award.
- Ensure that all Subcontractors wishing to bid on a Public Works project have an active Contractor Registration with the Public Works and Apprenticeship Application (PWAA) website: <http://www.dws.state.nm.us/pwaa> prior to bidding when their bid will exceed \$60,000.
- Submit weekly certified payroll bi-weekly to the Contracting Agency.
- Make certain the Public Works Apprentice and Training Act contributions are paid either to an approved Apprenticeship Program or to the Public Works Apprentice and Training Fund.
- Confirm the Wage Rate poster, provided in PWAA, is displayed at the job site in an easily accessible place.
- Make sure, when a project has been completed, the Affidavits of Wages Paid (AWP) are sent to the Contracting Agency.





STATE OF NEW MEXICO  
NEW MEXICO DEPARTMENT OF  
WORKFORCE SOLUTIONS  
Labor Relations Division  
121 Tijeras Ave NE, Suite 3000  
Albuquerque, NM 87102  
[www.dws.state.nm.us](http://www.dws.state.nm.us)

- All Subcontractors and tiers (excluding professional services) regardless of contract amount must be listed on the Subcontractor List and must adhere to the Public Works Minimum Wage Act.

## **Subcontractor**

- Ensure that all Subcontractors wishing to bid on a Public Works project have an active Contractor Registration with the Public Works and Apprenticeship Application (PWAA) website: <http://www.dws.state.nm.us/pwaa> prior to bidding when their bid will exceed \$60,000.
- Submit weekly certified payroll bi-weekly to the General Contractor(s).
- Make certain the Public Works Apprentice and Training Act contributions are paid either to an approved Apprenticeship Program or to the Public Works Apprentice and Training Fund.
- All Subcontractors and tiers (excluding professional services) regardless of contract amount must be listed on the Subcontractor List and must adhere to the Public Works Minimum Wage Act.

## **Additional Information**

Reference material and forms may be found at New Mexico Department of Workforce Solutions Public Works web pages at: <https://www.dws.state.nm.us/Labor-Relations/Labor-Information/Public-Works>.

## **CONTACT INFORMATION**

Contact the Labor Relations Division for any questions relating to Public Works projects by email at [public.works@dws.nm.gov](mailto:public.works@dws.nm.gov) or call (505) 841-4400.

## **2023 SUBSISTENCE, ZONE AND INCENTIVE PAY RATES**

All contractors are required to pay subsistence, zone, and incentive pay according to the particular trade

### **Asbestos workers or heat and frost insulators**

- (1) Zone 1 shall consist of the area lying within the city limits of a circle whose radius is 66 miles from the city hall in Albuquerque or the city hall in El Paso - \$0.00 per day.
- (2) Zone 2 shall consist of Los Alamos county - \$40.00 per day if not furnished a company owned vehicle.
- (3) Zone 3 shall consist of the area lying beyond a circle whose radius is over 66 miles from the city hall in Albuquerque or the city hall in El Paso - \$85.00 per day.

### **Boilermakers/Blacksmiths**

- (1) Per diem is calculated from city hall of the dispatch city or the employee's home address, whichever is closer to the job location,
- (2) Per diem is \$55.00 per day for travel between 70 and 120 miles and \$85.00 per day for travel over 120 miles.

### **Bricklayers**

- (1) Between 70 and 120 miles, \$55.00 per day
- (2) 121 or more miles, \$70.00 per day

### **Cement Masons**

- (1) For employees who travel to Santa Fe from Albuquerque or vice versa, \$20.00 per day.
- (2) In all other work performed more than 50 miles from the employer's main office, \$50.00 per day.
- (3) Mutually agreed-upon lodging or transportation paid for by the employer will substitute for subsistence pay.

### **Drywall Finishers and Tapers**

- (1) \$40.00 per day (\$5.00 per hour for eight hours work) for over 60 miles over the most typically traveled route, or other mutually agreed upon suitable lodging or transportation.
- (2) If an employee has worked the full week on four 10-hour days, the employee shall be paid the full week of per diem of \$200.00.
- (3) Special provision for Santa Fe and Albuquerque: Employees who travel between Santa Fe and Albuquerque will be paid \$15.00 per day or other mutually agreed upon lodging or transportation.

### **Electricians (inside classifications)**

- (1) For Albuquerque only:
  - (a) Zone 1 is classified as being within 40 miles from the main post office.
  - (b) Zone 2 shall extend up to 10 miles beyond zone 1. Work performed within zone 2 shall be compensated nine percent above the journeyman rate for zone 1.
  - (c) Zone 3 shall extend up to 20 miles beyond zone 1. Work performed within zone 3 shall be compensated fifteen percent above the journeyman rate for zone 1.
  - (d) Zone 4 shall extend 20 miles or more beyond zone 1. Work performed within zone 4 shall be compensated twenty six percent above the journeyman rate for zone 1.
- (2) For Los Alamos County only: work performed within the county shall be compensated fifteen percent above the zone 1 journeyman rate.
- (3) For all other counties:
  - (a) Zone 1 is:
    - (i) within six miles from the main post office for Raton, Tucumcari, and Farmington.
    - (ii) within eight miles from the main post office for Las Vegas.
    - (iii) within ten miles from the main post office for Santa Fe and Gallup.
    - (iv) within twelve miles from the main post office for Belen, Carrizozo, Clovis, Los Lunas, Portales, Roswell, Ruidoso, Artesia, Carlsbad, Hobbs, and Lovington.
    - (v) within fourteen miles from the main post office for Espanola.
  - (b) Zone 2 shall extend up to 20 miles beyond zone 1. Work performed within zone 2 shall be compensated nine percent above the journeyman rate for zone 1.
  - (c) Zone 3 shall extend up to 30 miles from zone 1. Work performed within zone 3 shall be compensated fifteen percent above the journeyman rate for zone 1.
  - (d) Zone 4 shall extend beyond 30 miles from zone 1. Work performed within zone 4 shall be compensated twenty six percent above the journeyman rate for zone 1.
- (4) When workers are ordered to report to the shop and then to the job and from job to job, and return to the shop, they shall be paid for the time spent traveling and shall be furnished transportation by the Employer. Under these conditions the Zone 1 rate and any applicable overtime will be paid.

### **Electricians (outside classification)**

Zone 2: \$50.00 per diem to be paid for work 30 miles outside of Santa Fe and 60 miles outside of Albuquerque. No per diem in Los Alamos county.

## **Glaziers**

- (1) When out-of-town travel is required, the employer shall pay the employee for suitable lodging with no more than two people per room and \$20.00 per night for food.
- (2) Employees required to use a personal vehicle for travel to a jobsite beyond a 30 mile radius of the main post office in town where the employer's shop is located shall be compensated at the current Internal Revenue Service (IRS) rate for actual mileage incurred beyond the 30 mile radius, plus their regular rate of pay for travel time.

## **Ironworkers**

- (1) Travel more than 50 miles from the interchange of Interstate 40 and Interstate 25 or from the employee's home should be paid at \$9.00 per hour.
- (2) If travel is within Santa Fe county, travel time shall be paid at \$3.00 per hour.

## **Laborers**

- (1) Type A:
  - (a) Work travel between 50 and 85 miles from the employer's primary address should be compensated at \$3.50 per hour.
  - (b) Work travel 86 miles or greater from the employer's primary address should be compensated at \$5.00 per hour.
- (2) Types B and C:
  - (a) Work travel under 50 miles is a "free zone";
  - (b) The municipal limit of the city of Santa Fe is \$30.00 per day;
  - (c) Work travel between 50 and 75 miles from the union hall to include the municipal limits of Estancia, Grants, and Socorro is \$40.00 per day.
  - (d) All work over 75 miles from the union hall is \$50.00 per day.
- (3) Type H – no zone subsistence pay:
- (4) If an employer provides the employee transportation and mutually agreeable, suitable lodging in areas where overnight stays are necessary, subsistence rates do not apply.

## **Millwrights**

- (1) Work travel between 76 and 150 miles should be compensated at \$50.00 per day.
- (2) Work travel greater than 150 miles should be compensated at \$75.00 per day.

## **Operating Engineers**

- (1) Type A operators should be compensated for zone and subsistence as follows:
  - (a) Work travel between 50 and 85 miles from the interchange of Interstate 25 and Interstate 40 in Albuquerque, or from the Farmington City Hall in Farmington, should be compensated at \$2.50 per hour.
  - (b) Work travel 86 miles or more from the interchange of Interstate 25 and Interstate 40 in Albuquerque or from the Farmington City Hall in Farmington, should be compensated at \$4.00 per hour.
- (2) Type B and C operators:
  - (a) Base points for operators are 30 miles and beyond:
    - (i) Bernalillo county courthouse in Albuquerque;
    - (ii) State capital building in Santa Fe;
    - (iii) City hall in Farmington.
  - (b) Zone and subsistence for Albuquerque and Santa Fe are as follows:
    - (i) work travel between 30 and 50 miles from the base point compensated at \$20.00 per day;
    - (ii) work travel between 51 and 100 miles from the base point compensated at \$45.00 per day;
    - (iii) work travel over 100 miles from the base point that involves an overnight stay compensated at \$75.00 per day.
  - (c) Zone and subsistence for Los Alamos county, \$50.00 per day.
  - (d) Zone and subsistence for Farmington is as follows:
    - (i) work travel between 35 and 75 miles from the base point compensated at \$45. 00 per day,
    - (ii) work travel over 100 miles from the base point compensated at \$75.00 per day.
  - (e) If an employer provides the employee transportation and mutually agreeable, suitable lodging in areas where overnight stays are necessary, subsistence rates do not apply.
- (3) Type H operators are not eligible for zone and subsistence pay.

## **Painters**

- (1) Zone 1: Base pay for an area within a 30 mile radius from the main post office in the city or town where the employee permanently resides. Albuquerque, Santa Fe, and Belen shall be considered Zone I.
- (2) Zone 2: Work travel between 30 and 75 miles from the main post office in the town where an employee permanently resides shall be compensated at \$1.00 per hour above base pay.
- (3) Zone 3: Work travel 75 miles or more from the main post office in the town where an employee permanently resides shall be compensated at \$2.50 per hour above base pay.

- (4) When the employee is required to stay overnight, the employer should provide and pay for suitable lodging.
- (5) Employer will furnish transportation or gasoline for all work performed beyond the 30 mile radius that encompasses the free cities of Albuquerque, Santa Fe or Belen.

### **Paper hangers**

- (1) Zone 1: Base pay for an area within a 30 mile radius from the main post office in the city or town where the employee permanently resides. Albuquerque, Santa Fe, and Belen shall be considered Zone I.
- (2) Zone 2: Work travel between 30 and 75 miles from the main post office in the town where an employee permanently resides shall be compensated at \$1.00 per hour above base pay.
- (3) Zone 3: Work travel 75 miles or more from the main post office in the town where an employee permanently resides shall be compensated at \$2.50 per hour above base pay.
- (4) When the employee is required to stay overnight, the employer should provide and pay for suitable lodging.
- (5) Employer will furnish transportation or gasoline for all work performed beyond the 30 mile radius that encompasses the free cities of Albuquerque, Santa Fe or Belen.

### **Plasterers**

- (1) Employees who travel from Albuquerque to Santa Fe should be compensated at \$20.00 per day.
- (2) Except for employees who travel from Santa Fe to Albuquerque, work travel 75 miles or more from the employer's office over the most typically traveled route should be compensated at \$5.00 per hour and capped at \$40.00 per day.

### **Plumbers and pipefitters**

- (1) Work travel for 90 or more miles from an employee's primary residence, and involving an overnight stay, should be compensated at \$80.00 per day.
- (2) No zone or subsistence pay is required should the employer elect to cover the room cost.
- (3) Los Alamos county workers receive \$0.80 per hour incentive pay plus base and fringe.

### **Roofers**

Work travel requiring an overnight stay should be compensated at \$35.00 per day for food. Employer should provide and pay for a suitable hotel. When employees are assigned to jobs located 60 or more miles from the employer's place of business, transportation to and from the job site must be provided.



### **Sheet metal workers**

- (1) Work travel 90 miles or more from contractor's home base and employee's home, should be paid at \$80.00 per day subsistence pay plus base and fringe, regardless of county.
- (2) Los Alamos county: \$2.00 per hour incentive pay plus base and fringe.
- (3) Workers living 60 or more miles from a San Juan county job site receive \$3.00 per hour subsistence pay plus base and fringe.

### **Soft floor layer**

- (1) Zone 1: Base pay for an area within a 30 mile radius from the main post office in the city or town where the employee permanently resides. Albuquerque, Santa Fe, and Belen shall be considered Zone I.
- (2) Zone 2: Work travel between 30 and 75 miles from the main post office in the town where an employee permanently resides shall be compensated at \$1.00 per hour above base pay.
- (3) Zone 3: Work travel 75 miles or more from the main post office in the town where an employee permanently resides shall be compensated at \$3.13 per hour above base pay.
- (4) Employer will furnish transportation or gasoline for all work performed beyond the 30 mile radius that encompasses the free cities of Albuquerque, Santa Fe or Belen.
- (5) When the employee is directed to report to a job site and the distance to the job site requires the employee to stay out of town overnight, the employer shall provide housing arrangements for the affected employees.

### **Sprinkler fitters**

- (1) Work travel between 60 and 80 miles from the employee's primary residence should be compensated at \$22.00 per day.
- (2) Work travel between 81 and 100 miles from the employee's primary residence should be compensated at \$32.00 per day.
- (3) Work travel of 101 miles or more from the employee's primary residence should be compensated at \$120.00 per day.
- (4) No zone or subsistence pay shall be paid when the employer provides daily transportation and the employee elects to travel back and forth from home.

**Santa Fe County Housing Authority**  
**52 Camino de Jacobo**  
**Santa Fe, NM 87507**  
**505-992-3060**  
**E-Mail: cmsandoval@santafecountynm.gov**

Customer Name: Santa Fe County Housing Authority		Job Address: 52 Camino de Jacobo	Date: 9/20/2023
List of Material Specifications All Units		Santa Fe, NM 87507	

**For Any and All Deviations From These Material Specifications Please Contact Bill Taylor Procurement Manager/Chief Procurement Officer @ (505) 986-6373**

**GENERAL DESCRIPTION OF WORK**

**Abatement and Remodel of Units 135, and 138 Santa Cruz Subdivision**

**PROJECT DIMENSIONS**

**Note: That This is Materials Only Specification List That May be Used on 1,2,3,4, and 5 Bedroom Units Owned and Operated by The Santa Fe County Housing Authority. Specifications will Not Change. Quantities of Course Will. These Will Need to Be Determined by Unit Sizes**

**ROOM FINISH SCHEDULE**

Living Room/Entry Area: 8' High Painted Drywall Ceiling, Painted Drywall Wall ,VCT Flooring and Painted Wood Base  
 Bedroom #1 Area: 8' High Painted Drywall Ceiling, Painted Drywall Walls, VCT Flooring , and Painted Wood Base  
 Bedroom #2 Area: 8' High Painted Drywall Ceiling, Painted Drywall Walls, VCT Flooring , and Painted Wood Base  
 Bedroom #3 Area: 8' High Painted Drywall Ceiling, Painted Drywall Walls, VCT Flooring , and Painted Wood Base  
 Bedroom #4 Area: 8' High Painted Drywall Ceiling, Painted Drywall Walls, VCT Flooring , and Painted Wood Base  
 Bedroom #5 Area: 8' High Painted Drywall Ceiling, Painted Drywall Walls, VCT Flooring, Painted Wood Base  
 Hall Area: 7' High Painted Drywall Ceiling, Painted Drywall Walls, VCT Flooring, and Painted Wood Base  
 Hall Bath 1 Area :8' High Painted Drywall Ceiling, Painted Drywall Walls, VCT Flooring, and Painted Wood Base  
 Hall Bath 2 Area: 8' High Painted Drywall Ceiling, Painted Drywall Walls, VCT Flooring, and Painted Wood Base  
 Kitchen Area: 8' High Painted Drywall Ceiling, Painted Drywall Walls, VCT Flooring, and Painted Wood Base  
 Laundry Area:8' High Painted Drywall Ceiling, Painted Drywall Walls, VCT Flooring, and Painted Wood Base

**DIVISION 1 ( GENERAL REQUIREMENTS)**

**Supervision**

Provide Qualified Personnel to Properly Monitor Construction Process

**Permits & Fees**

Building Permit

Dump Fees

**Plans & Specifications**

Construction Plan Sets

**General Labor**

Material Handling

Construction Cleaning

Trash Hauling

Final Construction Cleaning

**Temp Toilets**

Portable Toilet Serviced Weekly

**Equipment**

Rentals, Misc. Blades, Bits, etc.

**DIVISION 2 (SITE WORK & DEMOLITION)**

**DIVISION 3 (FOUNDATION)**

#REF!

**DIVISION 4 (MASONRY)**

**DIVISION 5 (METAL)**

**DIVISION 6 (WOOD)**

**Frame Material**

Included in Abatement

**Frame Labor**

Included in Abatement

**Finish Carpentry**

Hang & Case Interior Doors

Case Exterior Windows

Install Window Sills & Aprons

Case Exterior Doors

Install Base Molding

Install Closet Rod & Shelving

Install Pantry Shelving

Install Linen Shelving

Install Door Hardware

Install Bath Accessories

## Cabinetry

Chosen by Santa Fe County Housing Authority

36" Kitchen Sink Base Cabinet: Hampton Bay-(KSB36-MO) (36"Wx 24 Dx 34"H Assembled Sink Base Kitchen Cabinet in Medium Oak.  
36" Kitchen Base Cabinet: Hampton Bay-(KB36-MO) (36"Wx 24 Dx 34"H Assembled Base Kitchen Cabinet with Drawer and Glides in Medium Oak.  
18" Kitchen Base Cabinet: Hampton Bay-(KB18-MO) (18"Wx 24 Dx 34"H Assembled Base Kitchen Cabinet with Drawer and Glides in Medium Oak.  
12" Kitchen Base Cabinet: Hampton Bay-(KB12-MO) (12"Wx 24 Dx 34"H Assembled Base Kitchen Cabinet with Drawer and Ball Bearing Glides in Medium Oak.  
18" Kitchen Pantry Cabinet: Hampton Bay-(KP1884-MO) (18"Wx 24 Dx 84"H Assembled Pantry Kitchen Cabinet in Medium Oak.  
36" Upper Cabinet: Hampton Bay (KW361224-MO)-Hampton Assembled 36Wx12"Dx24"H Wall Bridge Kitchen Cabinet in Medium Oak.  
36" Upper Cabinet: Hampton Bay (KW361212-MO)-Hampton Assembled 36Wx12"Dx12"H Wall Bridge Kitchen Cabinet in Medium Oak.  
30" Upper Cabinet: Hampton Bay(KW301224-MO)-Hampton Assembled 30"Wx12"Dx24"H. Wall Bridge Kitchen Cabinet in Medium Oak  
30" Upper Cabinet: Hampton Bay(KW301215-MO)-Hampton Assembled 30"Wx12"Dx15"H. Wall Bridge Kitchen Cabinet in Medium Oak  
15"Upper Cabinet: Hampton Bay(\*KW153012)Hampton Assembled 15"Wx30"Hx12"D. Wall Kitchen Cabinet in Medium Oak  
12" Upper Cabinet: Hampton Bay(KW123012)Hampton Assembled 12x30x12 in. Wall Kitchen Cabinet in Medium Oak  
Bathroom Vanity Cabinet(s): Hampton BayAssembled 30" x 34.5" x 21". Bathroom Vanity Base Cabinet in Medium Oak - Model Number: KVS30-MO  
Cabinet Fillers: Hampton Bay (KAFS330-MO) 3"x 30" H Cabinet Filler in Medium Oak  
Toe Kick Molding: Hampton Bay (KATK-MO) 91-1/2"W x 4-1/2" H Toe Kick Molding in Medium Oak  
Scribe Molding: Hampton Bay (KAMS-MO) 91-1/2"W x 3/4" H Scribe Molding in Medium Oak  
Base Molding: Hampton Bay (KAMBSX-MO) 91-1/2"W x 4-1/2"H Base Molding in Medium Oak

## Countertops

Formica: Hampton Bay Formica( 011349010809476) 8' Straight Laminate Countertop in Textured White Ice Granite with Eased Edge and Integrated Backsplash  
Formica Laminate Endcap Kit(s) for Countertop with Integrated Backsplash in White Ice Granite Etchings  
Formica Counter Locations: Kitchen Only  
Cultured Marble Countertop: Bathroom(s) Only (See Vanity Sink)

## Trim Material

Base Molding: Standard 2-1/4" Streamline FJ Base (Pine)  
Door Casing (Interior Doors): Standard 2-1/4" Streamline FJ Casing (Pine)  
Brick Mold Casing (Exterior Doors Only) 1-14"x 2" FJ Casing (Pine)  
Window Sills: 1"x 6" x 3/4" Rounded Edge FJ (Pine)  
Window Sill Apron Material: Standard 2-1/4" Streamline FJ Base (Pine)  
1"x 4" x 3/4" FJ Shelving Cleat Material (Pine)  
1"x 2" x 3/4" FJ Shelving Cleat Material (Pine)  
1 - 1/4" Diameter Solid Wooden Closet Rod (Pine)  
Closet Shelving: 16" X 12' Bullnose Particle Board  
Pantry Shelving: 16" X 12' Bullnose Particle Board  
Hall Shelving: 16" X 12' Bullnose Particle Board  
Entry Closet Shelving: 16" X 12' Bullnose Particle Board  
Fasteners: Porter-Cable 16-Gauge x 2-1/2 in. Finish Nails.  
Porter-Cable 2 in. x 16-Gauge Finish Nails.  
Porter-Cable 1-1/2 in. x 16-Gauge Glue Collated Nails.

## DIVISION 7 ( THERMAL, MOISTURE)

### Waterproofing

See Shower Wall

### Insulation

Ceiling Insulation: Owens Corning PINK Next Gen Fiber Glass Kraft Faced R-30 Batt Insulation 24" O.C. Attic/Ceiling Insulation  
Wall Insulation: Owens Corning PINK Next Gen Fiber Glass Kraft Faced R-21 Batt Insulation 24" O.C. Attic/Ceiling Insulation

### Roof

None Included

## DIVISION 8 (DOORS, WINDOWS, GLASS)

### Pre-Hung Doors

Entry Door: 30x6/8 TS210 6- Panel Metal Insulated Door, Gray Primer Finish, 6-9/16" Rabbeted Door Jamb, Standard Applied Weather Strip, w/ Adjustable Oak and Aluminum Threshold.  
Dining Area Door: 2/8x6/8 TS210 6- Panel Metal Insulated Door, Gray Primer Finish, 6-9/16" Rabbeted Door Jamb, Standard Applied Weather Strip, w/ Adjustable Oak and Aluminum Threshold.  
Furnace Door: 3/0x6/8 SC Birch 60MFR, Smoke Seal, and Adjustable Oak and Aluminum Threshold.  
Interior Swing Doors: 2/6x6/8 HC Single Bore Masonite Paint Grade Flat Panel Slab Door Primered White, w/ 4-9/16" FJ Paint Grade Door Jamb, Cased on One Side, 3-1/2" Bright Brass 4 Screw Hinges, Assembled with 1/4"x1-3/16" FJ Paint Grade Applied Stop.  
Interior Swing Doors: 2/4x6/8 HC Single Bore Masonite Paint Grade Flat Panel Slab Door Primered White, w/ 4-9/16" FJ Paint Grade Door Jamb, Cased on One Side, 3-1/2" Bright Brass 4 Screw Hinges, Assembled with 1/4"x1-3/16" FJ Paint Grade Applied Stop.  
Interior Swing Doors: 2/0x6/8 HC Single Bore Masonite Paint Grade Flat Panel Slab Door Primered White, w/ 4-9/16" FJ Paint Grade Door Jamb, Cased on One Side, 3-1/2" Bright Brass 4 Screw Hinges, Assembled with 1/4"x1-3/16" FJ Paint Grade Applied Stop.  
Interior Pantry Swing Door: 1/6x6/8 HC Single Bore Masonite Paint Grade Flat Panel Slab Door Primered White, w/ 4-9/16" FJ Paint Grade Door Jamb, Cased on One Side, 3-1/2" Bright Brass 4 Screw Hinges, Assembled with 1/4"x1-3/16" FJ Paint Grade Applied Stop.  
Interior Bi-Pass Doors: 2/6x6/8 HC Single Partial 3/8" Depth x 2-3/8" Diameter Bore, Masonite Paint Grade Flat Panel Slab Door Primered White, w/ 4-9/16" FJ Paint Grade Door Jamb, Cased on One Side, 3-1/2" Bright Brass 4 Screw Hinges, Assembled with 1/4"x1-3/16" FJ Paint Grade Applied Stop.  
Interior Bi-Fold Doors: Double 2/6x6/8 HC No Bore Masonite Paint Grade Flat Panel Slab Door Primered White, w/ 4-9/16" FJ Paint Grade Door Jamb, Cased on One Side, 60" (1520 mm) Track to Accommodate 2 Panel Sliding HC Mas.Door.Weight Capacity per Door: 60 lbs. (27 kg). w/ Compatible Door thickness: 3/4" (19 mm) to 1 3/8" (35 mm). Bright Brass Finish Finger Pulls.60" track, Adjustable Floor Guide, Dial-Adjust Door Hangers, Mounting Hardware.  
Security Screen Doors: Unique Home Designs - (Su Casa) 3/0x6/8 White Surface Mount Outswing Steel Security Door with Expanded Metal Screen.

### Windows

None Included

## Door Hardware

**Note: This Specification for Hardware Cannot be a Substitution of Any Kind with the Exception of Door Stops.**

Manufacturer: Kwikset

Style & Color: Tylo - Polished Brass Finish To Match all Existing SFCHA Units.

Entry: Kwikset Tylo Passage Knob 200T-3 Polished Brass Finish.

Entry/Security Screens/Hall Closet(s), Pantry, Linen: Tylo Passage Knob 200T-3 Polished Brass Finish.

Bedrooms & Bathrooms: Tylo Knob - Bed/Bath Privacy Knob 300T-3 Locking Function Polished Brass Finish.

Furnace Closet: Tylo 400T-4 Keyed Locking Function Polished Brass Finish.

Deadbolts: Exterior Doors and Security Screens(Single Cylinders)- 663-3 Thumb Turn Dead Bolt, ANSI/BHMA Grade 3 Certified - Polished Brass Finish.

Door Stops: Everbuilt- Polished Brass Hinge Pin Door Stop for Hollow Core and Solid Core Doors.

## DIVISION 9 (FINISHES)

### Exterior Plaster

Sto Stucco Mesh: 81556 Sto Stucco Fiberglass-Based Mesh w/ Tri-Directional Laid Scrim, Minimum Tensile Strength, Machine Direction, lb/in (N/cm) 68 (119)

Alkali Resistant, Compatible with all B. Cementitious Materials.

Base Coat: Wall-Ease Base Coat Blend of Cement, Lime, Aggregate, Fibers and Dry Polymer.

Sto Elastomeric Stucco: 80230 StoColor Coat Sand Acrylic-Based, Vertical Above-Grade Exterior Wall Coating for New Concrete, Stucco, and Masonry Construction Ready Mixed, Fine Textured Finish.

### Drywall

Ceiling: American Gypsum 1/2 in. x 4 ft. x 12 ft. LightRoc Gypsum Board

Exterior Wall: American Gypsum 1/2 in. x 4 ft. x 12 ft. LightRoc Gypsum Board.

Interior Wall: American Gypsum 1/2 in. x 4 ft. x 12 ft. LightRoc Gypsum Board

Joint Compound: USG Sheetrock Brand All Purpose Ready-Mixed Joint Compound (Green Top)

Drywall Paper Tape: USG Sheetrock Brand 2-1/16" Paper Drywall Joint Tape

1-1/4"x1-1/4" Metal Corner Bead: 1-1/4 in. x 8 ft. Quicksilver Metal Corner Bead.

1-1/4" Drywall Screws: #6 x 1-1/4 in. Fine Phosphate-Plated Metal Phillips Flat-Head Drywall Screw.

1-1/4" Drywall Nails: #13 x 1-3/8 in. Phosphate Coated Drywall Nails.

Ceiling Finish: Heavy Orange Peel Splatter - Sprayed on with USG Sheetrock Brand All Purpose Ready-Mixed Joint Compound (Green Top)

Wall Finish: Heavy Orange Peel Splatter - Sprayed on with USG Sheetrock Brand All Purpose Ready-Mixed Joint Compound (Green Top)

### Ceramic Tile

Tub & Shower Tile: Daltile- Restore Bright White 6"x 6" Ceramic Shower Wall Tile.

Tub and Shower Tile Grout: Custom Building Products - Polyblend Plus #381 Bright White Unsanded Grout.

Tub & Shower Tile Backing: USG Durock- 1/2" Cement Board Edge Guard, Aggregated Portland Cement Slurry with Polymer-Coated, Glass-Fiber Mesh Edges.

Tub and Shower Waterproofing: Ccure-Pro-Red Waterproofing 963- Elastomeric Waterproofing and Anti-Fracture Membrane.

Tub and Shower Edge Caulking: DAP Bright White Silicone Max - Premium Kitchen, Bath & Plumbing 100% Silicone Sealant, 20 Year mold and Mildew Resistance.

NOTE: Tub & Shower Tile Finished to Ceiling.

### VCT (Vinyl Composite Tile)

VCT Locations: All Floor Areas

Color: Armstrong 51810 Washed Linen Standard Excelon Imperial Texture Vinyl Composition Tile VCT 12" x 12"x 1/8" Thickness or 1/8-inch Gauge Equal to Armstrong's Natural Creations Luxury Vinyl Tile.

Vinyl Tile Adhesive: Mapie Ultrabond ECO 711 Quick Drying Enhanced Grab Latex-Based Adhesive for Vinyl Composition Tile (VCT).

Wood Base to VCT Tile Caulking: DAP- Alex Plus All Purpose Acrylic Latex Caulk Plus Silicone, 100% Waterproof Seal, 40 Year Crack Resistance.

Exterior/Interior.

### Painting

Painting Heated Area: DE 1665 Zero Plus-Rainier White-Interior Zero VOC Vinyl Acrylic Latex Semi Gloss, Solids by Volume 35%, VOCs: <50 g/L per 40 CFR 59.406.

Painting Exterior: Pinnacle MC-0554 Neutral Base -Bark -Vers-Acryl 222 100% Acrylic Maintenance Semi Gloss Finish

Paintable Caulking Interior: DAP- Alex Plus All Purpose Acrylic Latex Caulk Plus Silicone, 100% Waterproof Seal, 40 Year Crack Resistance. Interior/Exterior

Paintable Caulking Exterior: DAP- Alex Plus All Purpose Acrylic Latex Caulk Plus Silicone, 100% Waterproof Seal, 40 Year Crack Resistance. Exterior/Interior

Exterior Sanded Caulking: Quikrete Concrete Number 8620-10 Gray Sanded Caulking for Use on Exterior Door Thresholds.

Kitchen & Bath Caulking: DAP Bright White and Almond Colored Silicone Max - Premium Kitchen, Bath & Plumbing 100% Silicone Sealant, 20 Year mold and Mildew Resistance.

## DIVISION 10 (SPECIALTIES)

### Bath Accessories

Towel Bars: Franklin Brass (D242) 24" Square w/ Mounting Brackets. Polished Chrome

Toilet Paper Holder(s): Franklin Brass(D2402) 6" Square w/ Mounting Brackets

## DIVISION 11 (EQUIPMENT)

### Appliances

Refrigerator: GE (GTS17DTNRWW) - 16.6 Cu. Ft. Top-Freezer 64- 13/16"H x 30 -1/2"D x 32- 5/8" White Finish

Range: GE (JGBS61DPWW) 4.8 Cu. Ft. Freestanding Gas Range 46- 1/4"H x 30"W x 28- 3/4"D White Finish

## DIVISION 12 ( FURNISHINGS)

## DIVISION 13 (SPECIAL CONSTRUCTION)

## DIVISION 14 (CONVEYING SYSTEMS)

## DIVISION 15 (MECHANICAL)

### Plumbing Fixtures

Will Match Existing SFCHA Units as Close as Possible

Bathtub: Sterling (71171710-0) 60 x 30" Soaking Bathtub with Left Drain in White (Acrylic Fiber Glass.)

**Note: 4, and 5 Bedroom Units Accommodate L/R Drains**

Kitchen Sink: Elkay Dayton 22-Gauge Stainless Steel 33" x 19" Drop-In Kitchen Sink with Double Bowl.  
 Vanity Sink(s): Design House 19" x W x 17" Oval Single Bowl D Cultured Marble Vanity Top in White with Solid White Bow, Integrated Backsplash, 4" O.C.  
 Center set Pre-Drill for Faucet Installation  
 Toilet(s): American Standard Reliant 2-Piece 1.28 GPF Single Flush Round Toilet with Slow Close Seat in White.  
 Kitchen Sink Fixture: Mainline Single Handle Kitchen Faucet Model Number CE111E-CP  
 Kitchen Sink Basket Strainer: Mainline Sink Basket Strainer - Brass Body, Stainless Steel Basket, Thick Washer and Heavy Locknut - Model Number MLL7  
 Vanity Sink Fixture(s): Mainline 4" O.C. Center set Lavatory Faucet. Model Number CE211E-CP  
 Vanity Sink Drain(s): Oatey (HDC756-1) 1-1/4" Chrome-Plated Plastic Sink Drain Pop-Up Drain Assembly with Overflow  
 Tub and Shower Combination(s): Mainline Centurion Watersense - CE422175-CP - Two Handle Tub and Shower (Complete). Includes Rough & Trim, Acrylic Round Handles, Brass Shower Arm & Flange, IPS Diverter Spout. Showerhead Max Flow Rate: 1.75 GPM @ 80 PSI.  
 Tub and Shower Drain(s): DANCO - 2.75 in. Lift and Turn Bath Tub Drain Trim Kit with Overflow in Chrome.  
 Under Cabinet Sink Shut Off Valves: Brass Craft (G2CR1967) 1/2" to 3/8" Compression Shut Off 1/4 Turn Ball Valve Mechanism.  
 Plumbing Supply Lines: Brass Craft (B1-20A F) 3/8" Compression x 1/2" FIP x 20". Braided Polymer Faucet Supply Line. (Includes Toilet Supply)

#### Water Heater

Manufacturer: Rheem (XG40T06EC36U1) - Performance 40 Gal. Tall 36,000 BTU Natural Gas, Tank Water Heater.  
 Natural Gas  
 Capacity: 40 Gallon

#### HVAC

Bathroom(s) Fan/Light Combination: Broan 678 - 50 CFM Ventilation Fan with Light, 2.5 Sones.  
 Kitchen Vent Hood: Broan 423001 - 30-Inch Under-Cabinet Range Hood, Externally Vented Range Hood, 190 CFM Blower, Built-In Light with Rocker Switch  
 Supports a 75-Watt Incandescent Bulb (not included) for Cooktop Illumination.

### DIVISION 16 (ELECTRICAL)

#### Lighting

Surface Mounted Light Fixtures: Superhunter- (JLB-EDL-EL007) 11" Flush Mount Fixture Polished Brass Trim and Clear Swirl Glass Shade.  
 Wall Sconce(s): Light Society Anna 5 in. 1-Light Brushed Brass/White Wall Sconce  
 Bathroom Vanity Light Bar(s): Volume Lighting 4 -Light Indoor Chrome Movie Beauty Makeup Hollywood Bath or Vanity Light Bar Wall Mount or Wall Sconce  
 Electrical Receptacle: Leviton -5320-ICP-15 Amp Duplex Outlet/Receptacle, Grounding, Ivory.  
 Electrical Receptacle GFCI: Leviton -(GFTR1-I)-15 Amp, 125 Volt Receptacle/Outlet, 20 Amp Feed-Through, Tamper-Resistant, Self-test SmartlockPro GFCI, Monochromatic, Back and Side Wired, Nylon Wall plate/Faceplate, Screws and Self-Grounding Clip Included - Ivory  
 Electrical Cover Plates (Receptacle): Leviton (80703-I) 1-Gang Duplex Device Receptacle Wall plate, Standard Size, Thermoplastic Nylon, Device Mount, - Ivory  
 Electrical Switch: Leviton (1451-2I) - 15 Amp, 120 Volt, Toggle Framed Single-Pole AC Quiet Switch, Residential Grade, Grounding, Quickwire Push-In & Side Wired - Ivory.  
 Electrical Switch 3 Way: Leviton (2653-2I) - 15 Amp, 120 Volt, Toggle CO/ALR 3-Way AC Quiet Switch, Residential Grade, Grounding, Side Wired, - Ivory  
 Electrical Cover Plates (Switch - One Gang) - Leviton (80501-I) 1-Gang Toggle Device Switch Wall plate, Midway Size, Thermoset, Device Mount - Ivory  
 Electrical Cover Plates (Switch - Two Gang): Leviton (80709-I) 2-Gang Toggle Switch Wall plate, Standard Size, Thermoplastic Nylon, Ivory.  
 Electrical Cover Plates (Switch): Leviton - (80711-I) 3-Gang Toggle Switch Wall plate, Standard Size, Thermoplastic Nylon, Ivory

#### Security Systems

Smoke Detectors: Kiddie -(i12060A) Firex Smoke Detector, Hardwired with 9-Volt Battery Backup & Front Load Battery Door, Adapters Included, Smoke Alarm.  
 Carbon Monoxide Detectors: Provided by Housing Authority

### INDIRECT COST

Payroll Burden  
 Workman Compensation Insurance  
 Vehicle Expense  
 Field Supplies & Tools  
 Builder's Risk Insurance

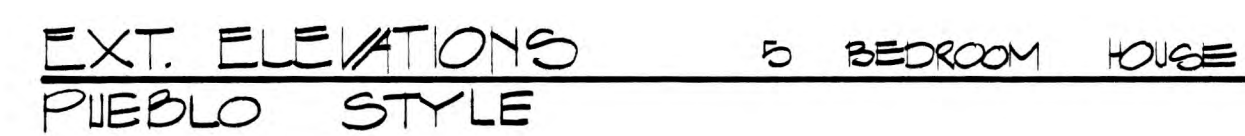
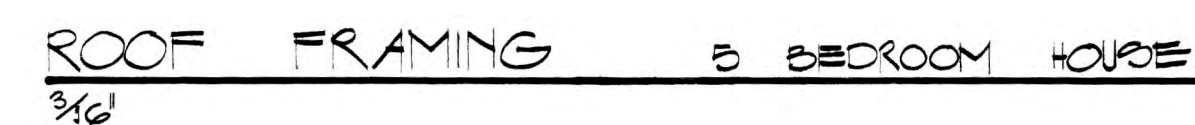
### COST SUMMARY

Total Direct & Indirect Cost:  
 Builder's Compensation:  
 NMGR: 7.0000%

**Total Contract Amount:**

### ALLOWANCES







ROOM FINISH SCHEDULE									
FLOOR	BASE	WALLS	CEILING						
VINYL ASB TILE	CONCRETE	WOOD	VINYL	GYPS. BOARD	WOOD PANELING	CERAMIC TILE	GYPS. BOARD	PLASTER	SPRAY ON ACRES
CARPET	WOOD	VINYL	NONE	GYPS. BOARD	WOOD PANELING	CERAMIC TILE	GYPS. BOARD	PLASTER	SPRAY ON ACRES
WOOD	WOOD	VINYL	NONE	GYPS. BOARD	WOOD PANELING	CERAMIC TILE	GYPS. BOARD	PLASTER	SPRAY ON ACRES
WOOD	WOOD	VINYL	NONE	GYPS. BOARD	WOOD PANELING	CERAMIC TILE	GYPS. BOARD	PLASTER	SPRAY ON ACRES
WOOD	WOOD	VINYL	NONE	GYPS. BOARD	WOOD PANELING	CERAMIC TILE	GYPS. BOARD	PLASTER	SPRAY ON ACRES
WOOD	WOOD	VINYL	NONE	GYPS. BOARD	WOOD PANELING	CERAMIC TILE	GYPS. BOARD	PLASTER	SPRAY ON ACRES
WOOD	WOOD	VINYL	NONE	GYPS. BOARD	WOOD PANELING	CERAMIC TILE	GYPS. BOARD	PLASTER	SPRAY ON ACRES
WOOD	WOOD	VINYL	NONE	GYPS. BOARD	WOOD PANELING	CERAMIC TILE	GYPS. BOARD	PLASTER	SPRAY ON ACRES
WOOD	WOOD	VINYL	NONE	GYPS. BOARD	WOOD PANELING	CERAMIC TILE	GYPS. BOARD	PLASTER	SPRAY ON ACRES

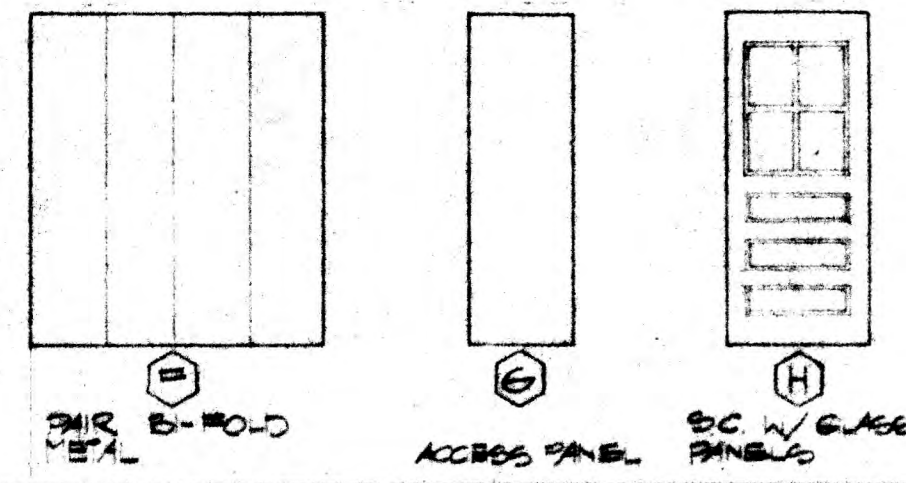
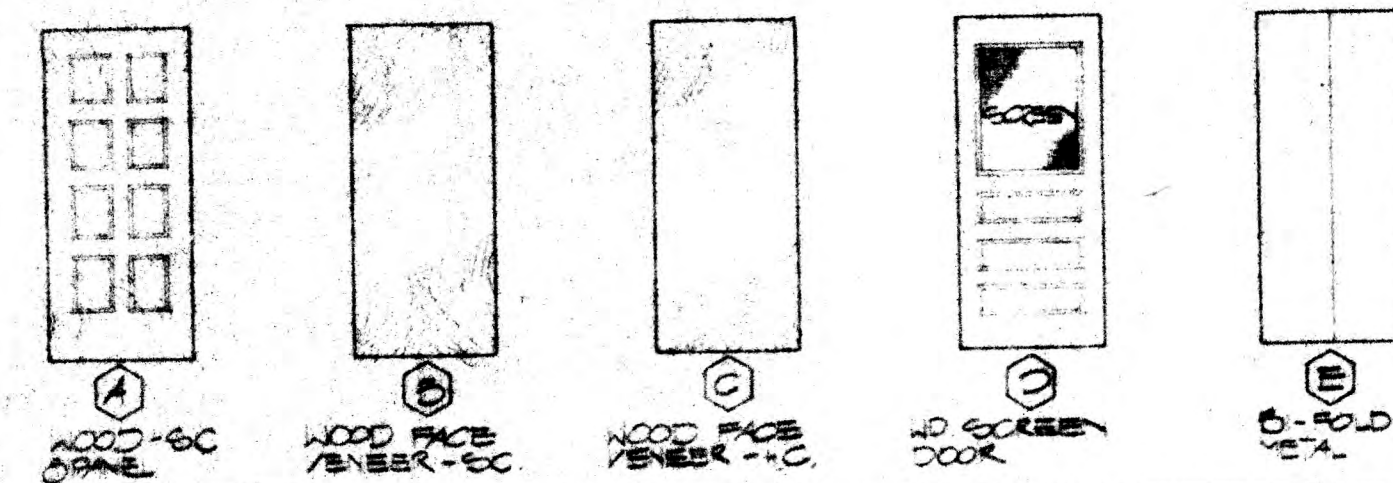
## MATERIALS LEGEND

	BRICK		ROUGH FRAMING
	CONCRETE		WOOD BLOCKING
	STUCCO		STEEL OR ALUMINUM
	GYPS. BOARD		BATT INSULATION
	WOOD FRAMING		SHEATHING
	FINISH WOOD		GRAVEL
	FLYWOOD		

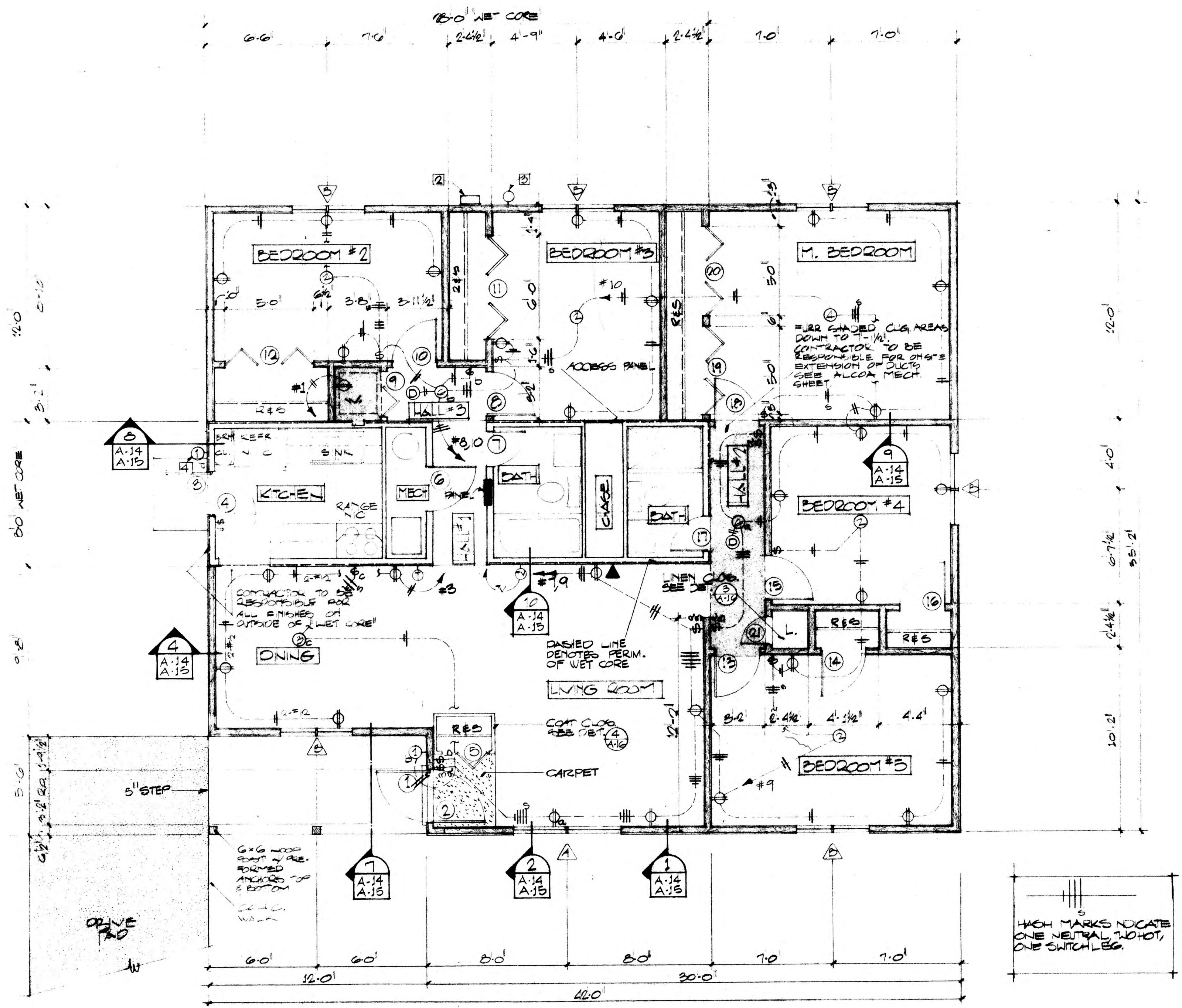
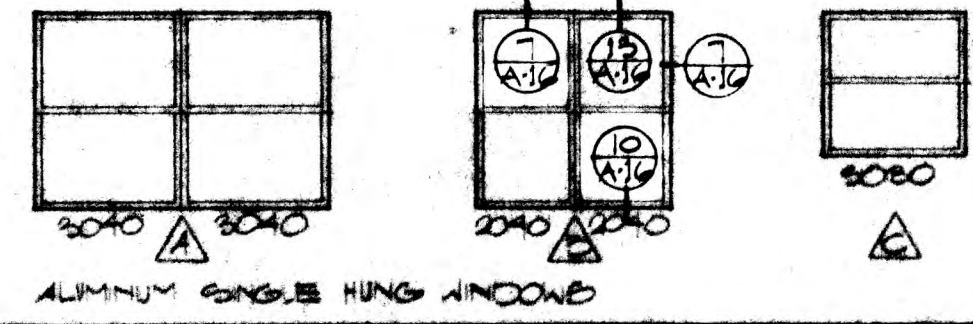
DOOR SCHEDULE						
NO.	SIZE	TYPE	FRAME	DETAILS	HOW.	REMARKS
1	2'0" x 6'8"					
2	5'0" x 6'8" x 1 3/4"					SUPPLIED BY OTHERS
3						
4	2'0" x 6'8"					
5	2'0" x 6'8" x 1 3/4"					SUPPLIED BY OTHERS
6	2'0" x 6'8" x 1 3/4"					SUPPLIED BY OTHERS
7	2'0" x 6'8" x 1 3/4"					
8	2'0" x 6'8" x 1 3/4"					
9	2'0" x 6'8" x 1 3/4"					
10	2'0" x 6'8" x 1 3/4"					
11	2'0" x 6'8" x 1 3/4"					
12	2'0" x 6'8" x 1 3/4"					
13	2'0" x 6'8" x 1 3/4"					
14	2'0" x 6'8" x 1 3/4"					
15	2'0" x 6'8" x 1 3/4"					
16	2'0" x 6'8" x 1 3/4"					
17	2'0" x 6'8" x 1 3/4"					
18	2'0" x 6'8" x 1 3/4"					
19	2'0" x 6'8" x 1 3/4"					
20	2'0" x 6'8" x 1 3/4"					
21	2'0" x 6'8" x 1 3/4"					
22	2'0" x 6'8" x 1 3/4"					
23	2'0" x 6'8" x 1 3/4"					
24	2'0" x 6'8" x 1 3/4"					
25	2'0" x 6'8" x 1 3/4"					
26	2'0" x 6'8" x 1 3/4"					
27	2'0" x 6'8" x 1 3/4"					
28	2'0" x 6'8" x 1 3/4"					
29	2'0" x 6'8" x 1 3/4"					
30	2'0" x 6'8" x 1 3/4"					
31	2'0" x 6'8" x 1 3/4"					
32	2'0" x 6'8" x 1 3/4"					
33	2'0" x 6'8" x 1 3/4"					
34	2'0" x 6'8" x 1 3/4"					
35	2'0" x 6'8" x 1 3/4"					
36	2'0" x 6'8" x 1 3/4"					
37	2'0" x 6'8" x 1 3/4"					
38	2'0" x 6'8" x 1 3/4"					
39	2'0" x 6'8" x 1 3/4"					
40	2'0" x 6'8" x 1 3/4"					
41	2'0" x 6'8" x 1 3/4"					
42	2'0" x 6'8" x 1 3/4"					
43	2'0" x 6'8" x 1 3/4"					
44	2'0" x 6'8" x 1 3/4"					
45	2'0" x 6'8" x 1 3/4"					
46	2'0" x 6'8" x 1 3/4"					
47	2'0" x 6'8" x 1 3/4"					
48	2'0" x 6'8" x 1 3/4"					
49	2'0" x 6'8" x 1 3/4"					
50	2'0" x 6'8" x 1 3/4"					
51	2'0" x 6'8" x 1 3/4"					
52	2'0" x 6'8" x 1 3/4"					
53	2'0" x 6'8" x 1 3/4"					
54	2'0" x 6'8" x 1 3/4"					
55	2'0" x 6'8" x 1 3/4"					
56	2'0" x 6'8" x 1 3/4"					
57	2'0" x 6'8" x 1 3/4"					
58	2'0" x 6'8" x 1 3/4"					
59	2'0" x 6'8" x 1 3/4"					
60	2'0" x 6'8" x 1 3/4"					
61	2'0" x 6'8" x 1 3/4"					
62	2'0" x 6'8" x 1 3/4"					
63	2'0" x 6'8" x 1 3/4"					
64	2'0" x 6'8" x 1 3/4"					
65	2'0" x 6'8" x 1 3/4"					
66	2'0" x 6'8" x 1 3/4"					
67	2'0" x 6'8" x 1 3/4"					
68	2'0" x 6'8" x 1 3/4"					
69	2'0" x 6'8" x 1 3/4"					
70	2'0" x 6'8" x 1 3/4"					
71	2'0" x 6'8" x 1 3/4"					
72	2'0" x 6'8" x 1 3/4"					
73	2'0" x 6'8" x 1 3/4"					
74	2'0" x 6'8" x 1 3/4"					
75	2'0" x 6'8" x 1 3/4"					
76	2'0" x 6'8" x 1 3/4"					
77	2'0" x 6'8" x 1 3/4"					
78	2'0" x 6'8" x 1 3/4"					
79	2'0" x 6'8" x 1 3/4"					
80	2'0" x 6'8" x 1 3/4"					
81	2'0" x 6'8" x 1 3/4"					
82	2'0" x 6'8" x 1 3/4"					
83	2'0" x 6'8" x 1 3/4"					
84	2'0" x 6'8" x 1 3/4"					
85	2'0" x 6'8" x 1 3/4"					
86	2'0" x 6'8" x 1 3/4"					
87	2'0" x 6'8" x 1 3/4"					
88	2'0" x 6'8" x 1 3/4"					
89	2'0" x 6'8" x 1 3/4"					
90	2'0" x 6'8" x 1 3/4"					
91	2'0" x 6'8" x 1 3/4"					
92	2'0" x 6'8" x 1 3/4"					
93	2'0" x 6'8" x 1 3/4"					
94	2'0" x 6'8" x 1 3/4"					
95	2'0" x 6'8" x 1 3/4"					
96	2'0" x 6'8" x 1 3/4"					
97	2'0" x 6'8" x 1 3/4"					
98	2'0" x 6'8" x 1 3/4"					
99	2'0" x 6'8" x 1 3/4"					
100	2'0" x 6'8" x 1 3/4"					

NOTE: UNDER CUT ALL BEDROOM ENTRY DOORS 1"

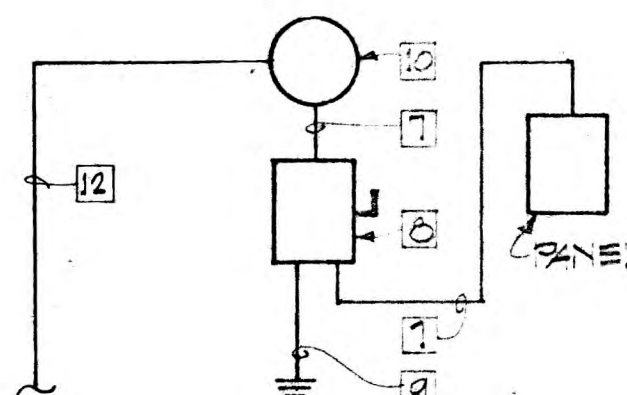
## DOOR TYPES



## WINDOW TYPES



FLOOR PLAN 3 BEDROOM HOUSE 1366 # 1/2" = 1'-0"



RISER DIAGRAM 110/230 V. 3-WIRE, SINGLE PHASE

## ELECTRICAL NOTES

- DELETED
- SERVICE ENTRANCE, METER, AND MAIN DISCONNECT SWITCH. CONDUIT TO PANEL SHALL BE RIM IN ATTIC SPACE.
- Telephone entrance and internal wiring to be provided by Telephone Company.
- Light Fixture #1 to be provided by Contractor. Switch and J box to be provided by manufacturer of service module.
- See Sheet A-7 for fixture schedule and symbols legend.
- See panel loads on service module sheets.
- 3#2 cu THW - 1-1/4" C.
- Safety Switch, 100 amp, 3 wire, SN, Nema 3R enclosure. Normal Duty. Fuse @ 100 amps.
- #8 CU - to C.W. Line.
- Meter base per serving utility company requirements.
- DELETED
- 1-1/4" C. TO 5'-0" OUT FROM BUILDING. 20" MIN. DIRT.
- MAIN BREAKER AND PANEL SIZE CALLED OUT ON SHEET 15
- INSTALL 3 GANG OUTLET BOX WITH BLANK COVER UP 45" TO BOTTOM. RUN 1/2" C. FROM BOX TO PANEL AND 1/2" C. UP THRU ROOF, ADJACENT TO FUTURE EVAP COOLER, AND CAP.



CHAMBERS - CAMPBELL  
ISAACSON - CHAPLIN, INC.  
ARCHITECTS AND INTERIORS PLANNERS  
A DIVISION OF CHAMBERS - CAMPBELL

JOB NO. 572-1  
DATE  
DRAWN  
CHECKED

OPERATION BREAKTHROUGH  
SANTA CRUZ SITE - JOB NO. NM.50-1  
SANTA FE COUNTY, NEW MEXICO

FLOOR PLAN (BEDROOM) - ROOM  
FINISH SCHEDULE - DOOR SCHED -  
DOOR & WINDOW TYPES - ELEC. PLAN

sheet  
A-11  
of  
62



# ROOM FINISH SCHEDULE

FLOOR	BASE	WALLS	CEILING
VINYL ASBESTOS TILE	CONCRETE	WOOD	WOOD PANELING
CARPET	VINYL	PLASTER	CERAMIC TILE
WOOD	NONE	WOOD PANELING	GYPSUM BOARD
GYPSUM BOARD	WOOD	WOOD PANELING	PLASTER
WOOD	WOOD	WOOD PANELING	SPRAY ON AGGREGATE
WOOD	WOOD	WOOD PANELING	EXPOSED
LIVING ROOM			* 4'-0" x 3'-2" AT ENTRY DOOR
DINING ROOM			
BEDROOM #1			
BEDROOM #2			
BEDROOM #3			
BEDROOM #4			
M. BEDROOM			
BEDROOM CLOSET			
HALL #1			
HALL #2			
HALL #3			

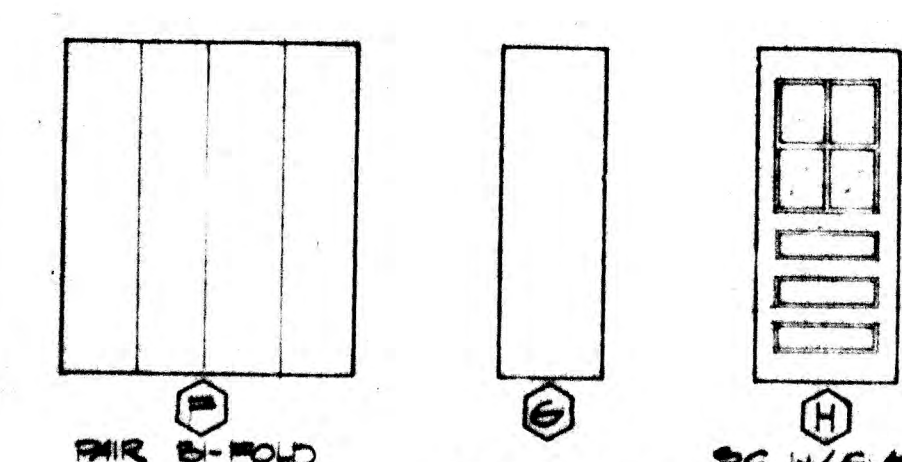
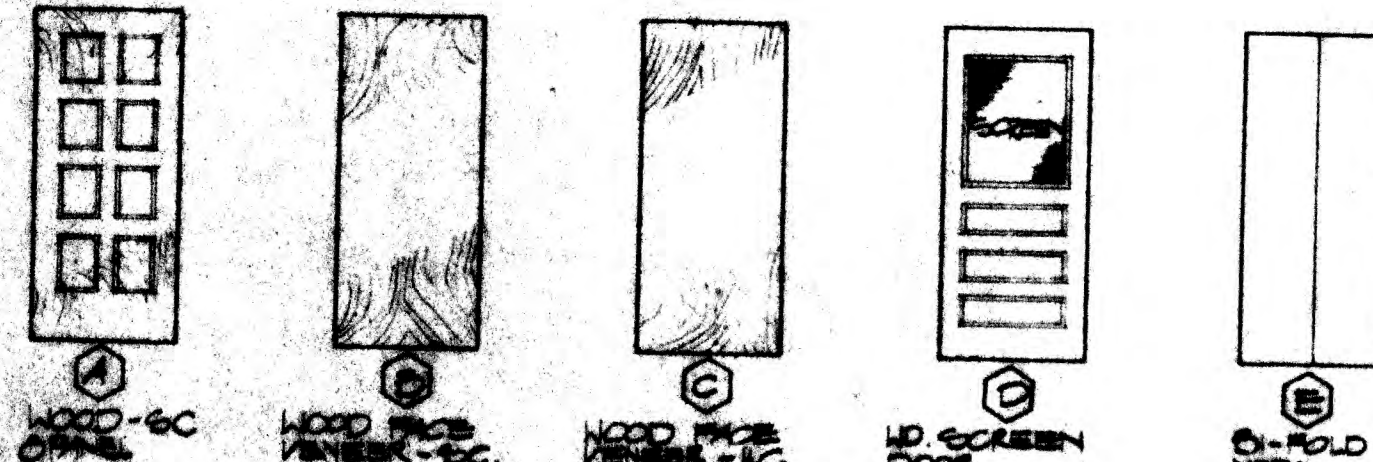
## MATERIALS LEGEND

	BRICK		ROUGH FRAMING
	CONCRETE		WOOD BLOCKING
	STUCCO		STEEL OR ALUMINUM
	GYPSUM BOARD		BATT INSULATION
	WOOD FRAMING		SHEATHING
	FINISH WOOD		GRAVEL
	FLYWOOD		

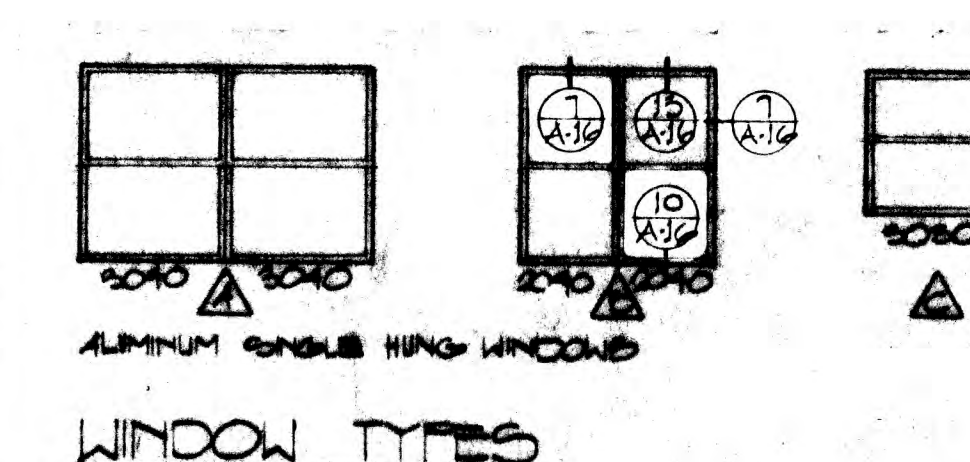
## DOOR SCHEDULE

NO.	SIZE	TYPE	FRAME	DETAILS	HOW.	REMARKS
1	3'-0" x 6'-0"					
2	3'-0" x 6'-0"					
3	3'-0" x 6'-0"					
4	3'-0" x 6'-0"					
5	3'-0" x 6'-0"					
6	3'-0" x 6'-0"					
7	3'-0" x 6'-0"					
8	3'-0" x 6'-0"					
9	3'-0" x 6'-0"					
10	3'-0" x 6'-0"					
11	3'-0" x 6'-0"					
12	3'-0" x 6'-0"					
13	3'-0" x 6'-0"					
14	3'-0" x 6'-0"					
15	3'-0" x 6'-0"					
16	3'-0" x 6'-0"					
17	3'-0" x 6'-0"					
18	3'-0" x 6'-0"					
19	3'-0" x 6'-0"					
20	3'-0" x 6'-0"					
21	3'-0" x 6'-0"					
22	3'-0" x 6'-0"					
23	3'-0" x 6'-0"					
24	3'-0" x 6'-0"					
25	3'-0" x 6'-0"					
26	3'-0" x 6'-0"					
27	3'-0" x 6'-0"					
28	3'-0" x 6'-0"					
29	3'-0" x 6'-0"					
30	3'-0" x 6'-0"					
31	3'-0" x 6'-0"					
32	3'-0" x 6'-0"					
33	3'-0" x 6'-0"					
34	3'-0" x 6'-0"					
35	3'-0" x 6'-0"					
36	3'-0" x 6'-0"					
37	3'-0" x 6'-0"					
38	3'-0" x 6'-0"					
39	3'-0" x 6'-0"					
40	3'-0" x 6'-0"					
41	3'-0" x 6'-0"					
42	3'-0" x 6'-0"					
43	3'-0" x 6'-0"					
44	3'-0" x 6'-0"					
45	3'-0" x 6'-0"					
46	3'-0" x 6'-0"					
47	3'-0" x 6'-0"					
48	3'-0" x 6'-0"					
49	3'-0" x 6'-0"					
50	3'-0" x 6'-0"					
51	3'-0" x 6'-0"					
52	3'-0" x 6'-0"					
53	3'-0" x 6'-0"					
54	3'-0" x 6'-0"					
55	3'-0" x 6'-0"					
56	3'-0" x 6'-0"					
57	3'-0" x 6'-0"					
58	3'-0" x 6'-0"					
59	3'-0" x 6'-0"					
60	3'-0" x 6'-0"					
61	3'-0" x 6'-0"					
62	3'-0" x 6'-0"					
63	3'-0" x 6'-0"					
64	3'-0" x 6'-0"					
65	3'-0" x 6'-0"					
66	3'-0" x 6'-0"					
67	3'-0" x 6'-0"					
68	3'-0" x 6'-0"					
69	3'-0" x 6'-0"					
70	3'-0" x 6'-0"					
71	3'-0" x 6'-0"					
72	3'-0" x 6'-0"					
73	3'-0" x 6'-0"					
74	3'-0" x 6'-0"					
75	3'-0" x 6'-0"					
76	3'-0" x 6'-0"					
77	3'-0" x 6'-0"					
78	3'-0" x 6'-0"					
79	3'-0" x 6'-0"					
80	3'-0" x 6'-0"					
81	3'-0" x 6'-0"					
82	3'-0" x 6'-0"					
83	3'-0" x 6'-0"					
84	3'-0" x 6'-0"					
85	3'-0" x 6'-0"					
86	3'-0" x 6'-0"					
87	3'-0" x 6'-0"					
88	3'-0" x 6'-0"					
89	3'-0" x 6'-0"					
90	3'-0" x 6'-0"					
91	3'-0" x 6'-0"					
92	3'-0" x 6'-0"					
93	3'-0" x 6'-0"					
94	3'-0" x 6'-0"					
95	3'-0" x 6'-0"					
96	3'-0" x 6'-0"					
97	3'-0" x 6'-0"					
98	3'-0" x 6'-0"					
99	3'-0" x 6'-0"					
100	3'-0" x 6'-0"					

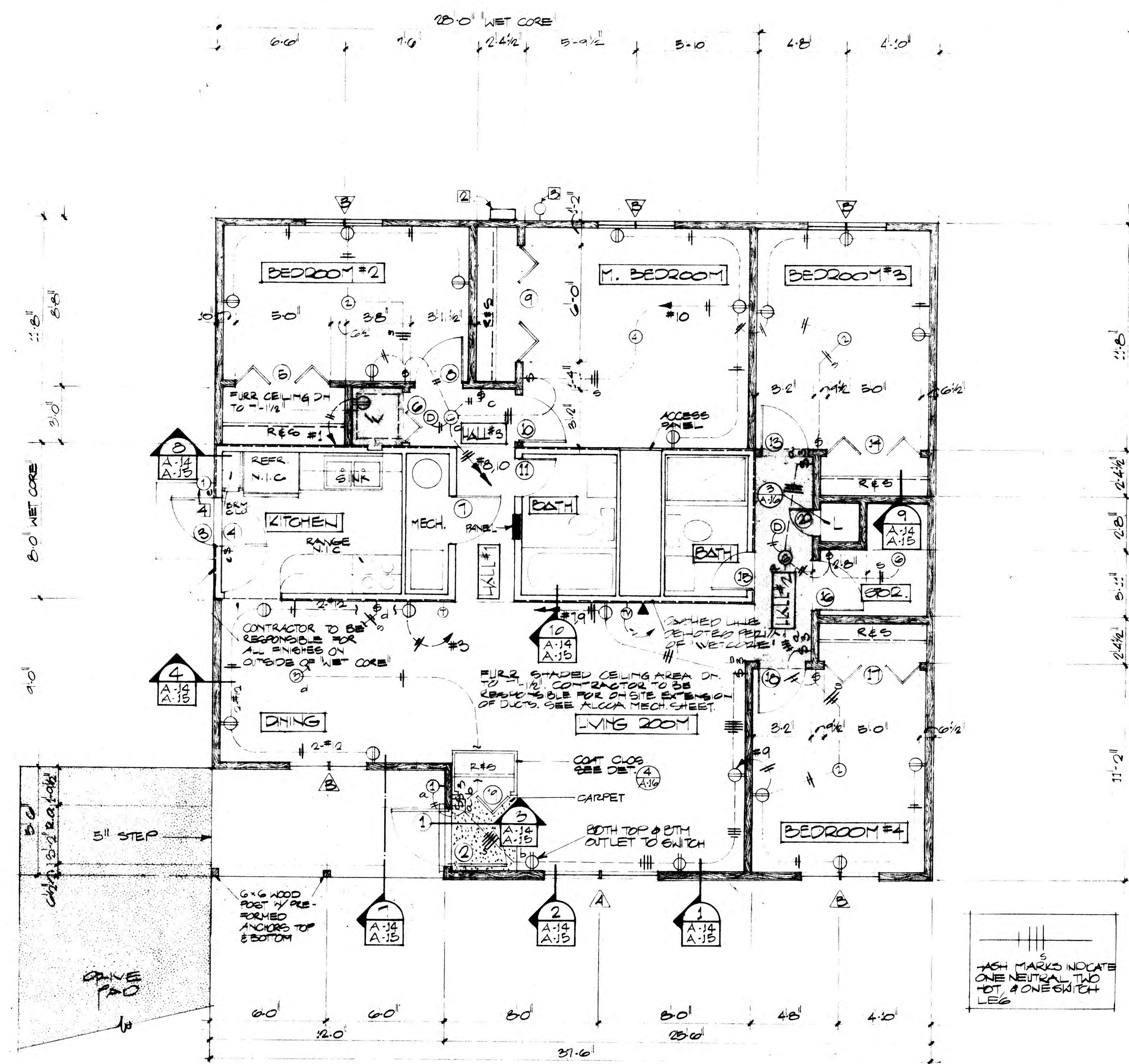
NOTE: ALL DOOR ENTRY DOORS UNDERCUT 1"



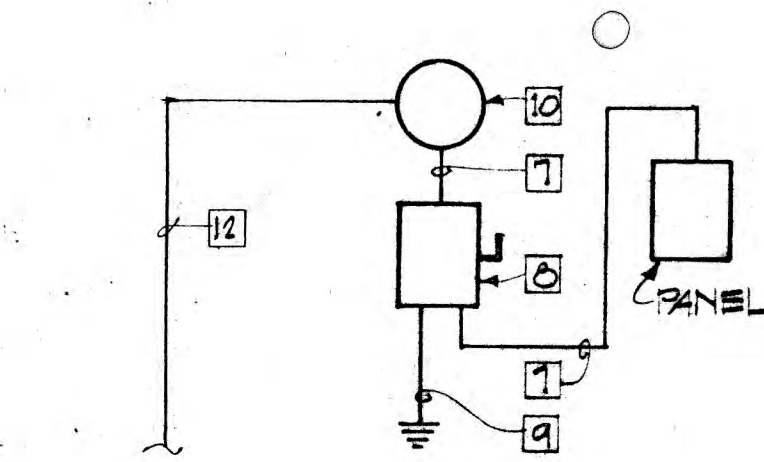
## DOOR TYPES



## WINDOW TYPES



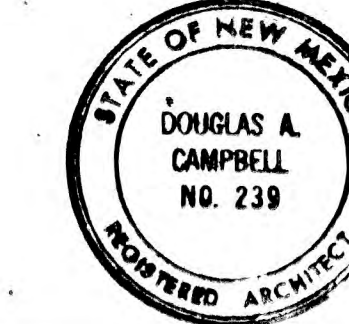
FLOOR PLAN 4 BEDROOM HOUSE 1174#  
ELECTRICAL PLAN



RISER DIAGRAM  
115/230V, 3-WIRE, SINGLE PHASE

## ELECTRICAL NOTES

- DELETED
- SERVICE ENTRANCE, METER, AND MAIN DISCONNECT SWITCH. CONDUIT TO PANEL SHALL BE RUN IN ATTIC SPACE.
- Telephone entrance and internal wiring to be provided by Telephone Company.
- Light Fixture #1 to be provided by Contractor. Switch and J box to be provided by manufacturer of service module.
- See Sheet A-7 for fixture schedule and symbols legend.
- See panel loads on service module sheets.
- 3#2 cu THW - 1-1/4" C.
- Safety Switch, 100 amp, 1/3 wire, SN, Nema 3R enclosure. Normal Duty. Fuse @ 100 amps.
- #8 CU - to C.W. Line.
- Meter base per serving utility company requirements.
- DELETED
- 1-1/4" C. TO 3'-0" OUT FROM BUILDING. 30" MIN. BURY.
- MAIN BREAKER AND PANEL SIZE CALLED OUT ON SHEET 13
- INSTALL 3 GANG OUTLET BOX WITH BLANK COVER UP 48" TO BOTTOM. RUN 1/2" C. FROM BOX TO PANEL AND 1/2" C. UP THRU ROOF, ADJACENT TO FUTURE EVAP. COOLER, AND CAR





ROOM FINISH SCHEDULE									
	FLOOR	BASE	WALLS	CEILING					
LIVING ROOM	VINYL ASB TILE	CONCRETE	VINYL	GYPS. BOARD	PLASTER	WOOD PANELING	CERAMIC TILE	GYPS. BOARD	PLASTER
DINING ROOM	VINYL ASB TILE	CONCRETE	VINYL	GYPS. BOARD	PLASTER	WOOD PANELING	CERAMIC TILE	GYPS. BOARD	PLASTER
BEDROOM #2	VINYL ASB TILE	CONCRETE	VINYL	GYPS. BOARD	PLASTER	WOOD PANELING	CERAMIC TILE	GYPS. BOARD	PLASTER
BEDROOM #3	VINYL ASB TILE	CONCRETE	VINYL	GYPS. BOARD	PLASTER	WOOD PANELING	CERAMIC TILE	GYPS. BOARD	PLASTER
BEDROOM #4	VINYL ASB TILE	CONCRETE	VINYL	GYPS. BOARD	PLASTER	WOOD PANELING	CERAMIC TILE	GYPS. BOARD	PLASTER
BEDROOM #5	VINYL ASB TILE	CONCRETE	VINYL	GYPS. BOARD	PLASTER	WOOD PANELING	CERAMIC TILE	GYPS. BOARD	PLASTER
HALL	VINYL ASB TILE	CONCRETE	VINYL	GYPS. BOARD	PLASTER	WOOD PANELING	CERAMIC TILE	GYPS. BOARD	PLASTER

ELECTRICAL SYSTEM SYMBOLS	
①	THERMOSTAT UP 54" TO BOTTOM
②	INCANDESCENT FIXTURE CEILING OUTLET. NO. REFERS TO FIXTURE SCHEDULE.
③	INCANDESCENT FIXTURE WALL OUTLET. NO. REFERS TO FIXTURE SCHEDULE. UP 6" UNLESS OTHERWISE NOTED.
④	TELEVISION OUTLET, UP 8" TO BOTTOM
⑤	DUPLEX RECEPTICAL NEMA 5-15R/125 VOLTS UP 8" IN 2, 3, 4, 5 BEDRM. UP 24" IN 1 BEDRM. ELDERLY UNIT UNLESS OTHERWISE NOTED ON DRAWINGS. MOUNT UP 42" IN MAINTENANCE & LAUNDRY BUILDING.
⑥	WIRING RUN CONCEALED. HASH MARKS INDICATE NEUTRAL 2P CONDUCTORS. ARROWS & SUBSCRIPT INDICATE HOME RUN TO PANEL CIRCUITS 2 & 3.
⑦	SINGLE POLE TOGGLE SWITCH, UP 48" TO BOTTOM.
⑧	3/4" RIGID CONDUIT UP TO ATTIC SPACE & OUTSIDE WALL, TURN DOWN END AND CAP @ EXTERIOR. PROVIDE A RUG-IN BOX IN LIVING ROOM. ELECTRICAL PANELS REFER TO PANEL SCHEDULES ON ALCOA SHEETS FOR DESCRIPTION.
⑨	TELEPHONE OUTLET - UP 8" TO BOTTOM
⑩	PRESCOTT NO. AL-1 NIGHT LIGHT W/ 1/4" 15W/100V LAMP. UP 6" TO BOT.
⑪	EMERGENCY LIGHT PRESCOTT NO. WS-2 FIXTURE W/ 1/4" W/ 100V LAMP UP 6" TO BOTTOM.
⑫	ELECTRIC DRYER OUTLET. UP 42". 30 AMP, 2 POLE, 3 WIRE, 230 VOLT.
⑬	FLUORESCENT FIXTURE & OUTLET. NUMERAL REFERS TO FIXTURE SCHEDULE
⑭	PYRO-GUARDIAN MODEL # FR-1 PRODUCTS OF PYROTRONICS, 120 V, AC POWER. MOUNT ON CEILING

FIXTURE SCHEDULE				
NO.	DESCRIPTION	LAMPS	MOUNTING	REMARKS
1.	VIRDEN #SP71703	1/75 W/F	WALL BRACKET UP 6'-6"	
2.	VIRDEN #SP3063	2/60 W/F	WALL BRACKET UP 6'-6"	
3.	VIRDEN #SP4412	2/75 W/F	CEILING SURFACE	
4.	VIRDEN #SP3065	2/60 W/F	CEILING SURFACE	
5.	BENJAMIN #CD-12444	2/40 CW	CEILING SURFACE	
6.	VIRDEN #SP4070	1/75 W/F	CEILING SURFACE	
7.	MARCO #NK 2BL	1/100 W/F	WALL BRACKET UP 6'-6"	UNBREAKABLE LENSE
8.	BENJAMIN #G-24-4	2/40 CW	CEILING SURFACE	

# MATERIALS LEGEND

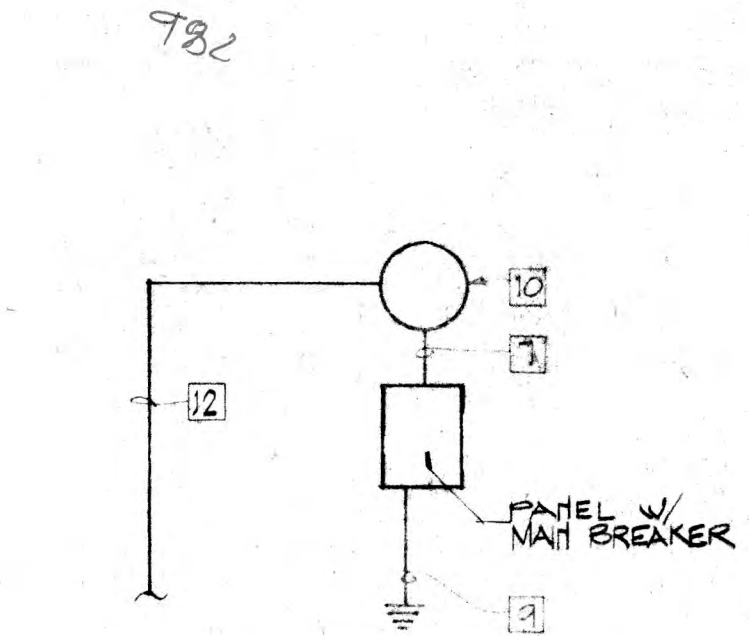
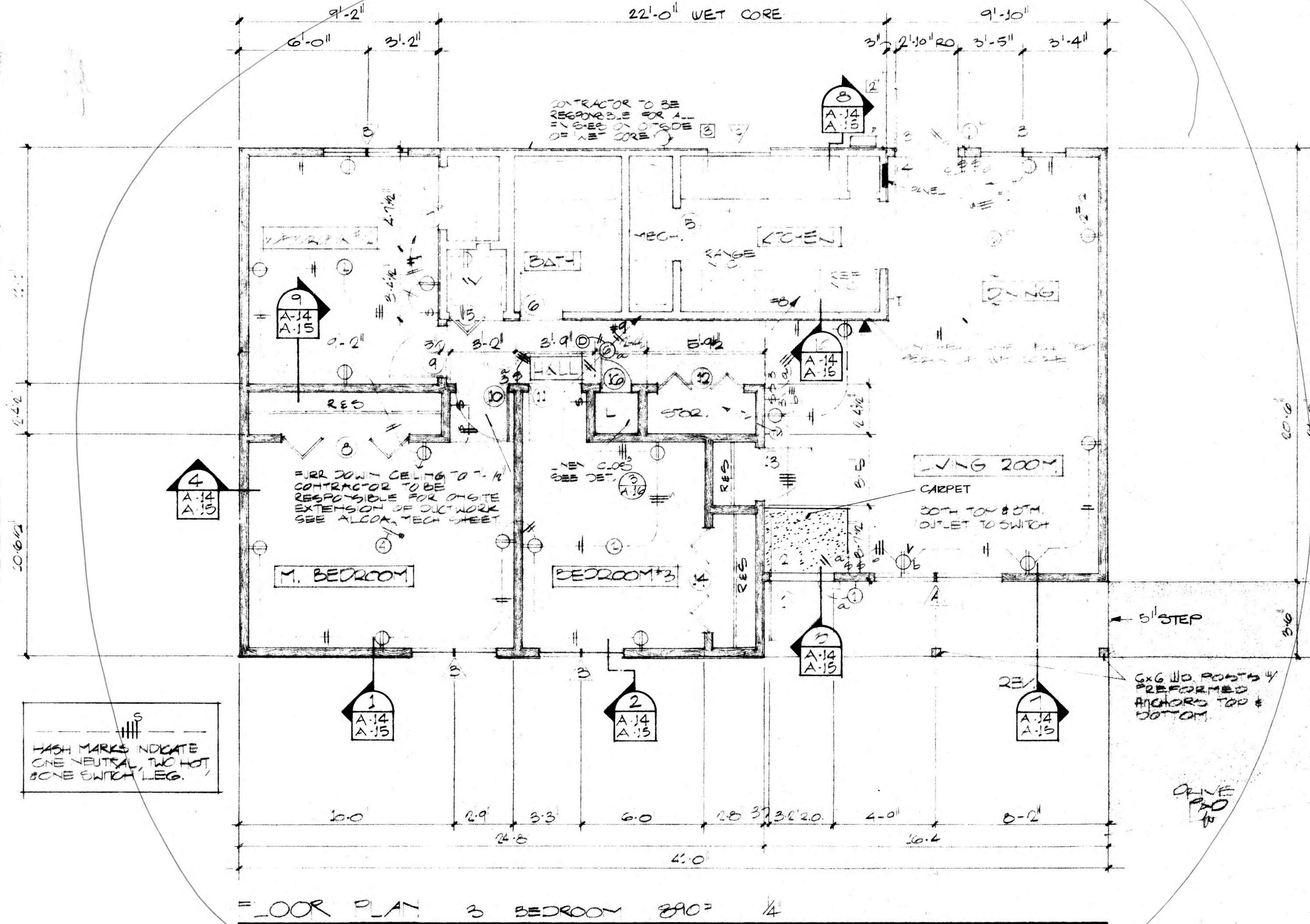
	BRICK		WOOD BLOCKING
	CONCRETE		STEEL OR ALUMINUM
	STUCCO		BATT INSULATION
	GYPS. BOARD		SHEATHING
	WOOD FRAMING		GRAVEL
	FINISH WOOD		
	PLYWOOD		

DOOR SCHEDULE					
NO.	SIZE	TYPE	FRAME	DETAILS	REMARKS
1	3'0" x 6'8"	D			
2	3'0" x 6'8" x 1/4"	D			
3	2'6" x 6'8"	D			
4	2'6" x 6'8" x 1/4"	D			
5	2'6" x 6'8"	D			
6	2'6" x 6'8" x 1/4"	D			
7	2'6" x 6'8"	D			
8	2'6" x 6'8" x 1/4"	D			
9	2'6" x 6'8"	D			
10	2'6" x 6'8" x 1/4"	D			
11	2'6" x 6'8"	D			
12	2'6" x 6'8" x 1/4"	D			
13	2'6" x 6'8"	D			
14	2'6" x 6'8" x 1/4"	D			
15	2'6" x 6'8"	D			
16	2'6" x 6'8" x 1/4"	D			
17	2'6" x 6'8"	D			
18	2'6" x 6'8" x 1/4"	D			
19	2'6" x 6'8"	D			
20	2'6" x 6'8" x 1/4"	D			

	WOOD 60 PANE		WOOD 60 PANE
	WOOD 60 PANE		WOOD 60 PANE
	WOOD 60 PANE		WOOD 60 PANE
	WOOD 60 PANE		WOOD 60 PANE
	WOOD 60 PANE		WOOD 60 PANE

	DOOR TYPE A		DOOR TYPE B
	DOOR TYPE C		DOOR TYPE D
	DOOR TYPE E		DOOR TYPE F
	DOOR TYPE G		DOOR TYPE H
	DOOR TYPE I		DOOR TYPE J

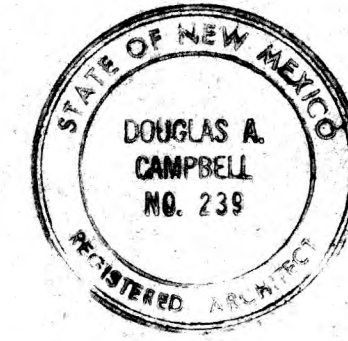
	WINDOW TYPE A		WINDOW TYPE B
	WINDOW TYPE C		WINDOW TYPE D
	WINDOW TYPE E		WINDOW TYPE F
	WINDOW TYPE G		WINDOW TYPE H
	WINDOW TYPE I		WINDOW TYPE J



RISER DIAGRAM  
120/240V, 3WIRE, SINGLE PHASE

# ELECTRICAL NOTES

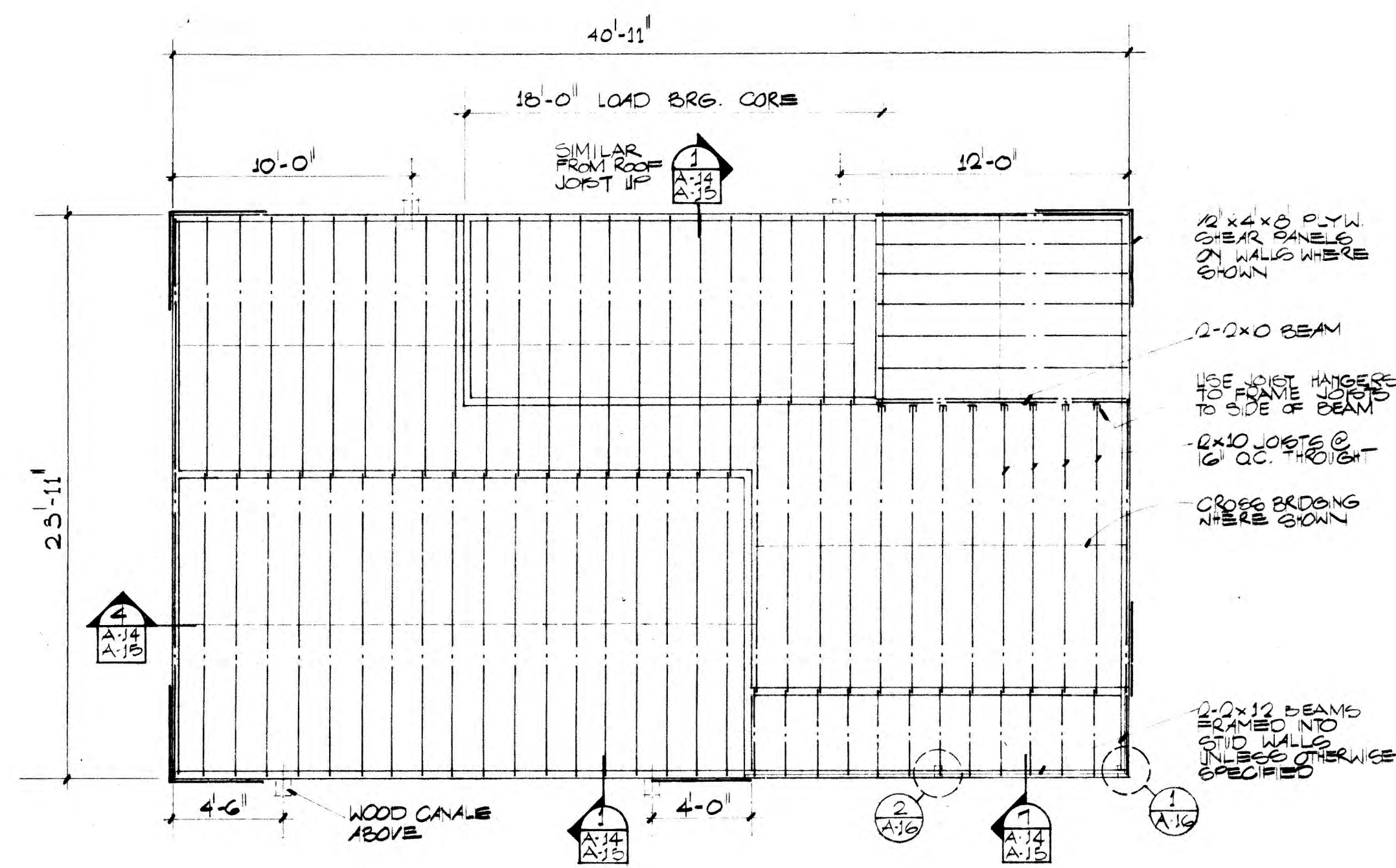
- DELETED
- SERVICE ENTRANCE, METER, AND MAIN DISCONNECT SWITCH. CONDUIT TO PANEL SHALL BE RUN IN ATTIC SPACE.
- Telephone entrance and internal wiring to be provided by Telephone Company.
- DELETED
- See Sheet A-7 for fixture schedule and symbols legend.
- See panel loads on service module sheets.
- 3/4" cu THW - 1-1/4" C.
- DELETED
- #8 CU - to C.W. Line.
- Meter base per serving utility company requirements.
- DELETED
- 1-1/4" C. TO 5'-0" OUT FROM BUILDING. 20" MIN. DIST.
- MAIN BREAKER AND PANEL SIZE CALLED OUT ON SHEET 15
- INSTALL 3 GANG OUTLET BOX WITH BLANK COVER UP 48" TO BOTTOM. RUN 1/2" C. FROM BOX TO PANEL AND 1/2" C. UP THRU ROOF, ADJACENT TO FUTURE EVAP. COOLER, AND CAP.



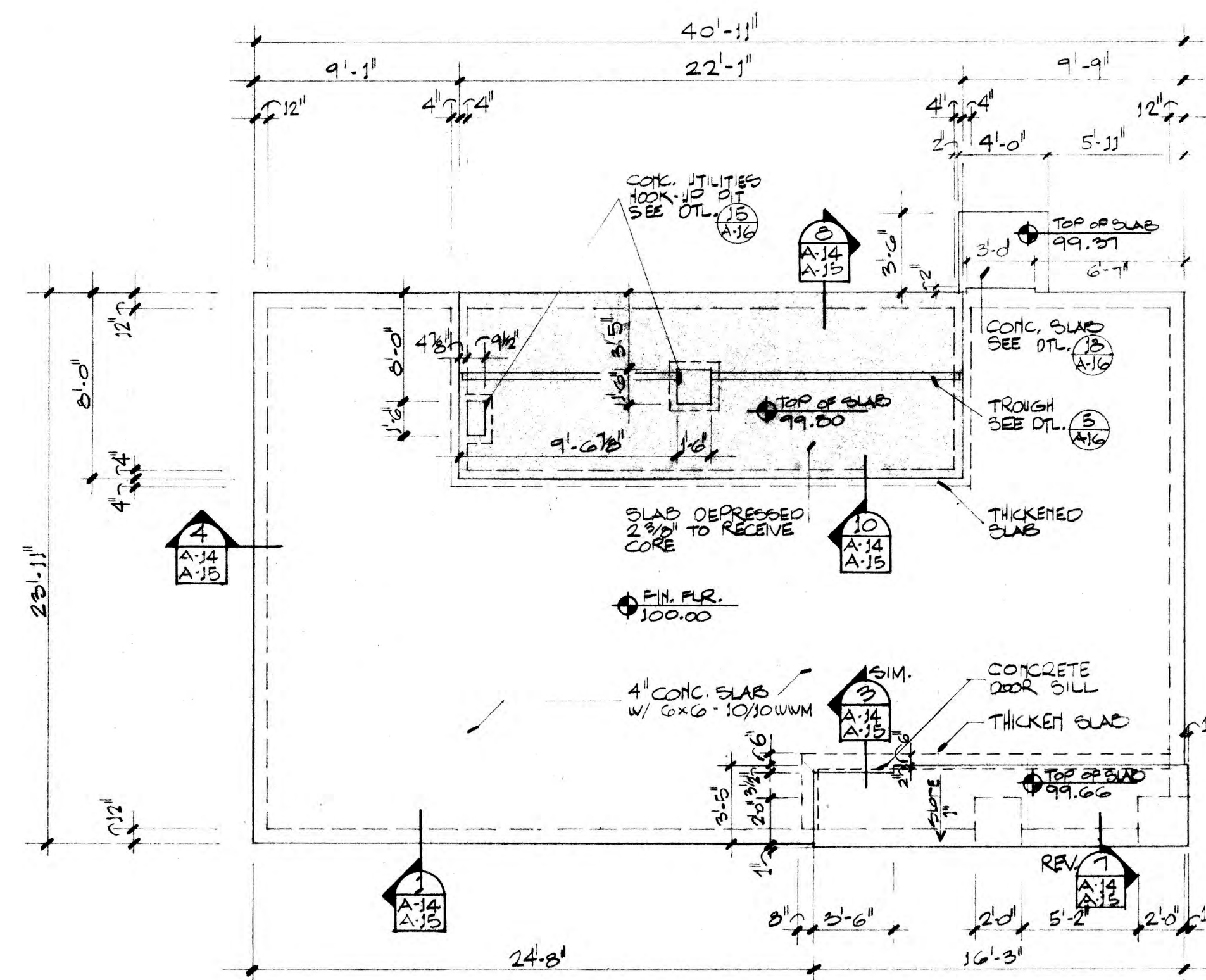




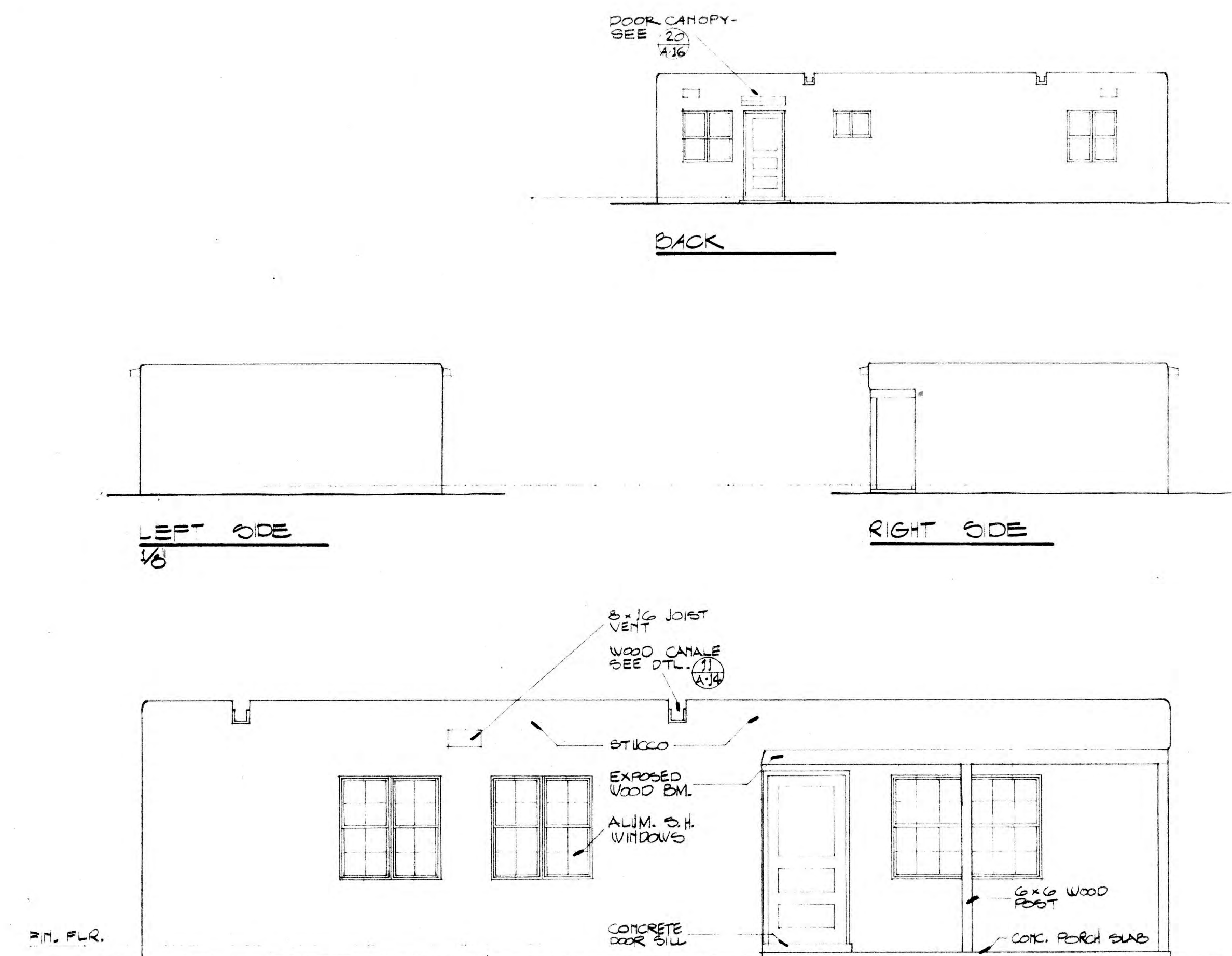




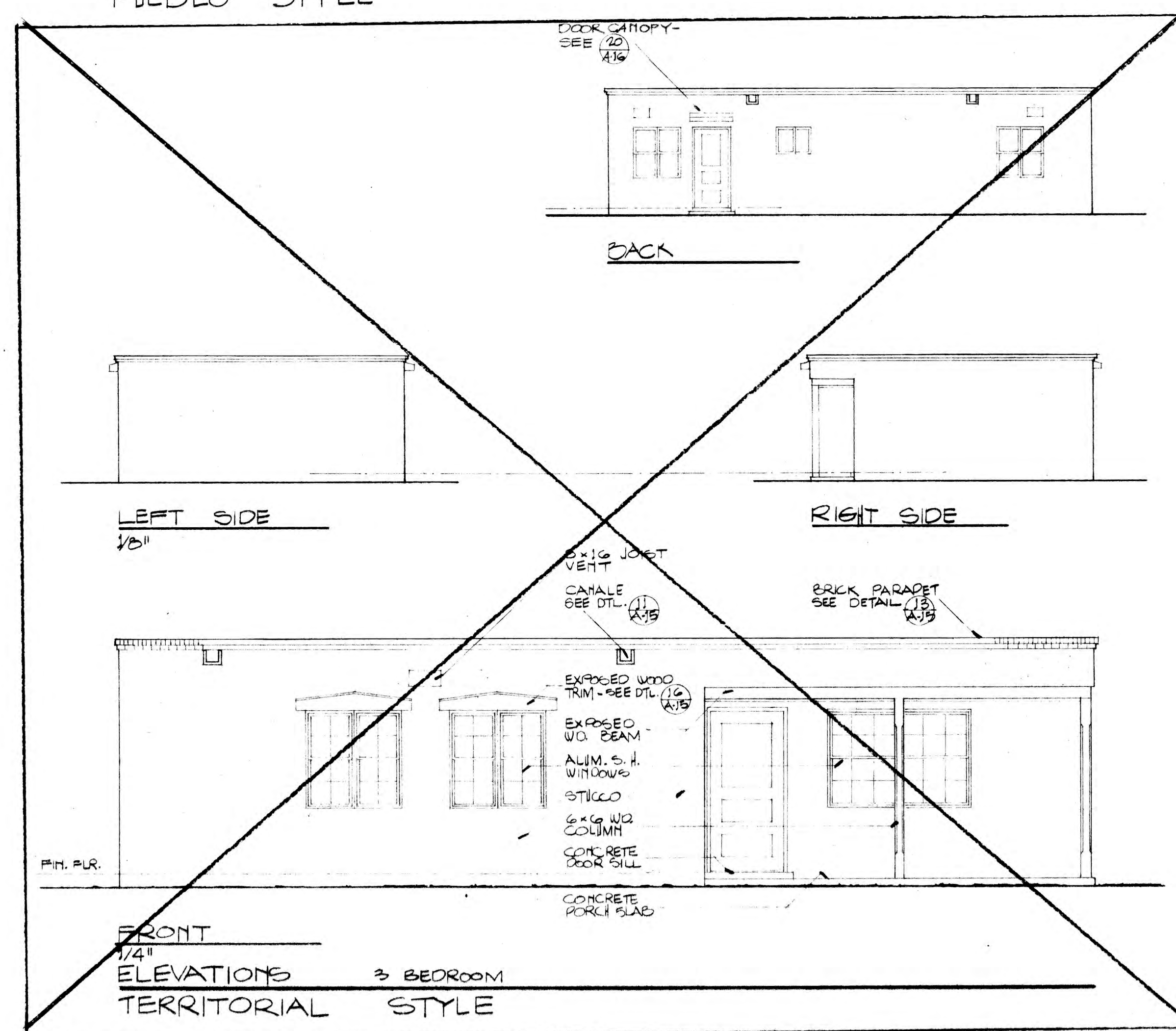
ROOF FRAMING 3 BEDROOM  
2/16



FOUNDATION PLAN 3 BEDROOM HOUSE  
2/16



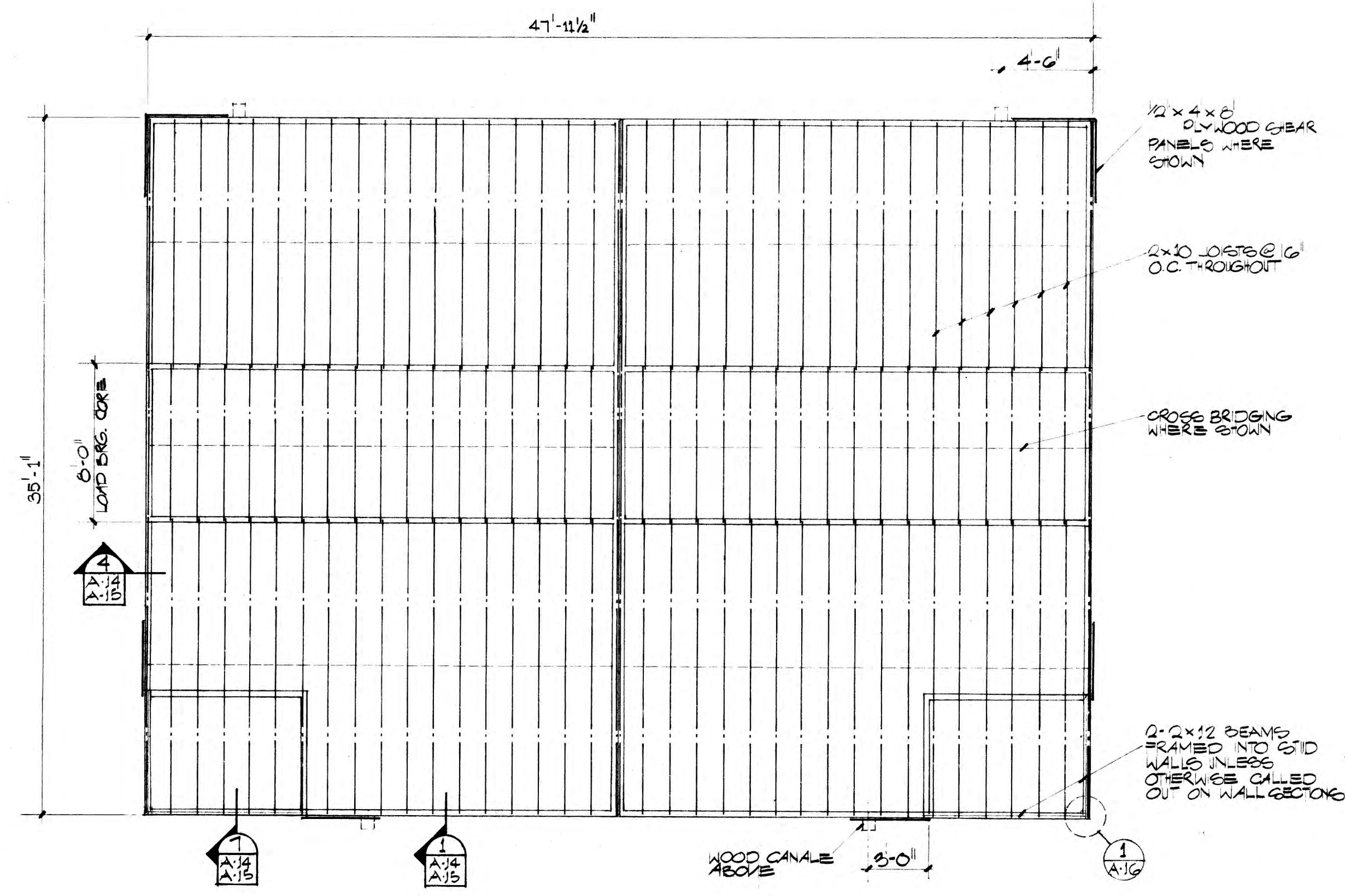
FRONT  
1/4"  
EXT. ELEVATIONS 3 BEDROOM HOUSE  
PUEBLO STYLE



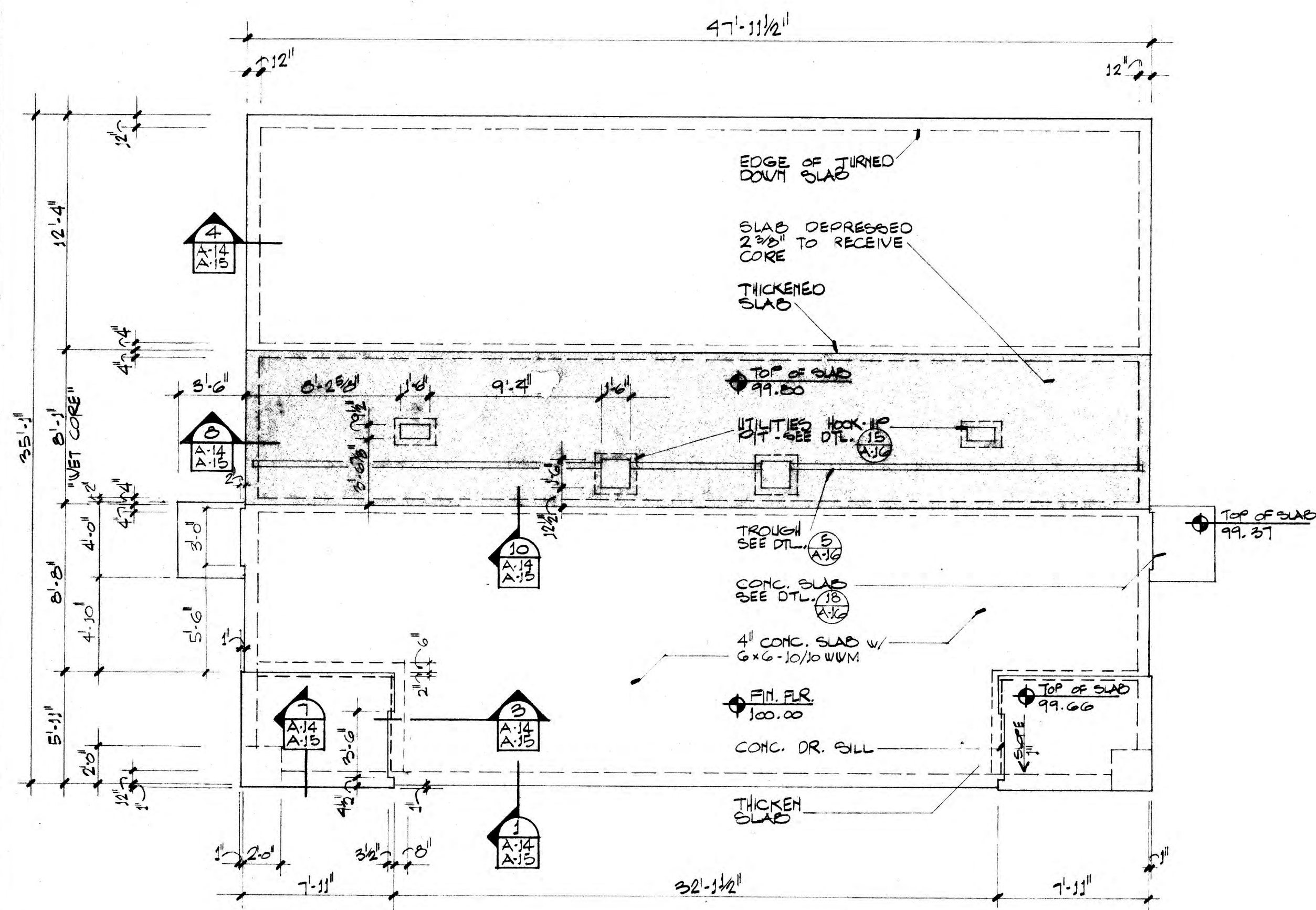
FRONT  
1/4"  
ELEVATIONS 3 BEDROOM  
TERRITORIAL STYLE



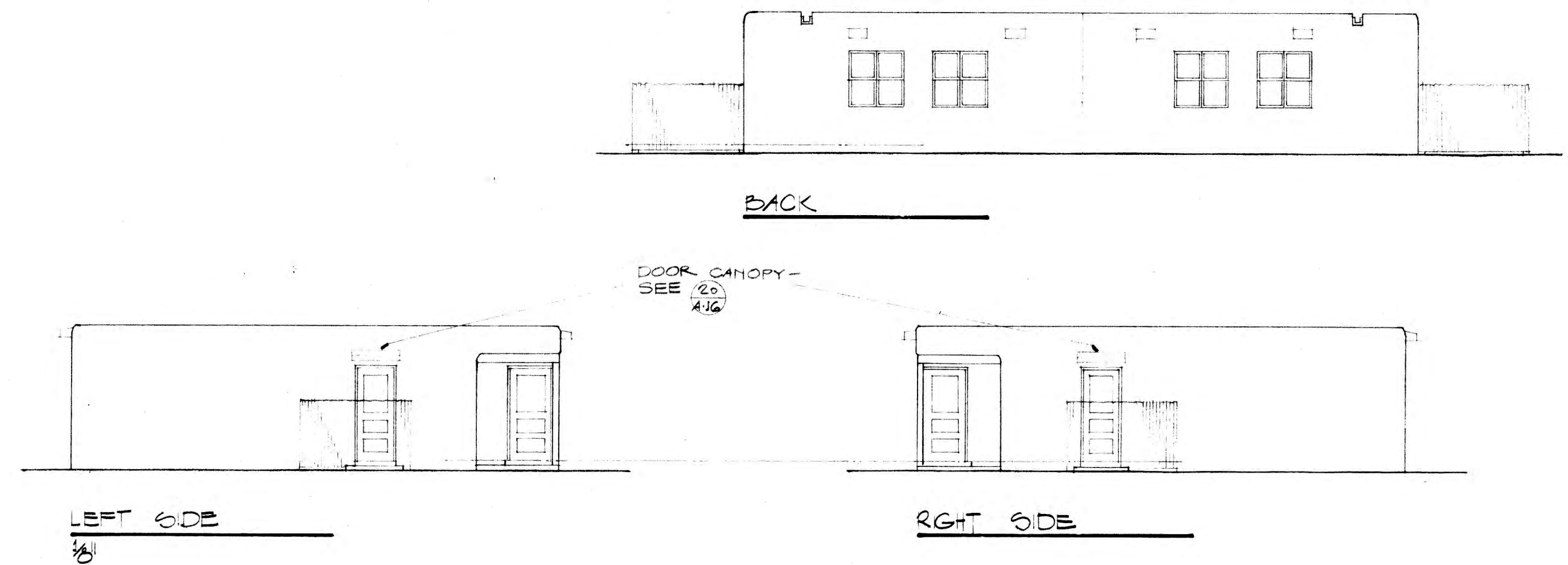




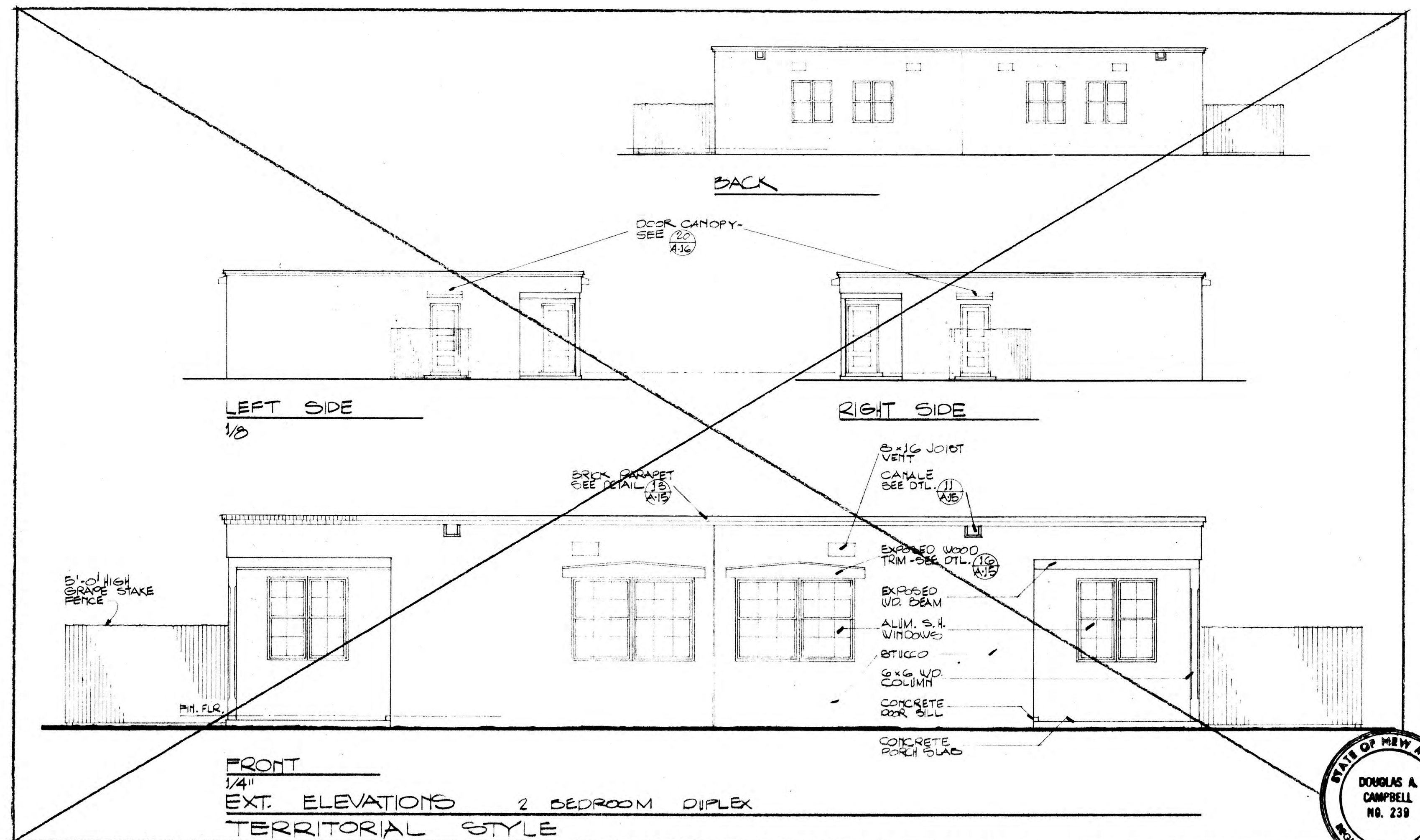
ROOF FRAMING 2 BEDROOM DUPLEX  
3/8"



FOUNDATION PLAN 2 BEDROOM DUPLEX  
3/16"



EXT. ELEVATIONS 2 BEDROOM DUPLEX  
PUEBLO STYLE  
1/4"

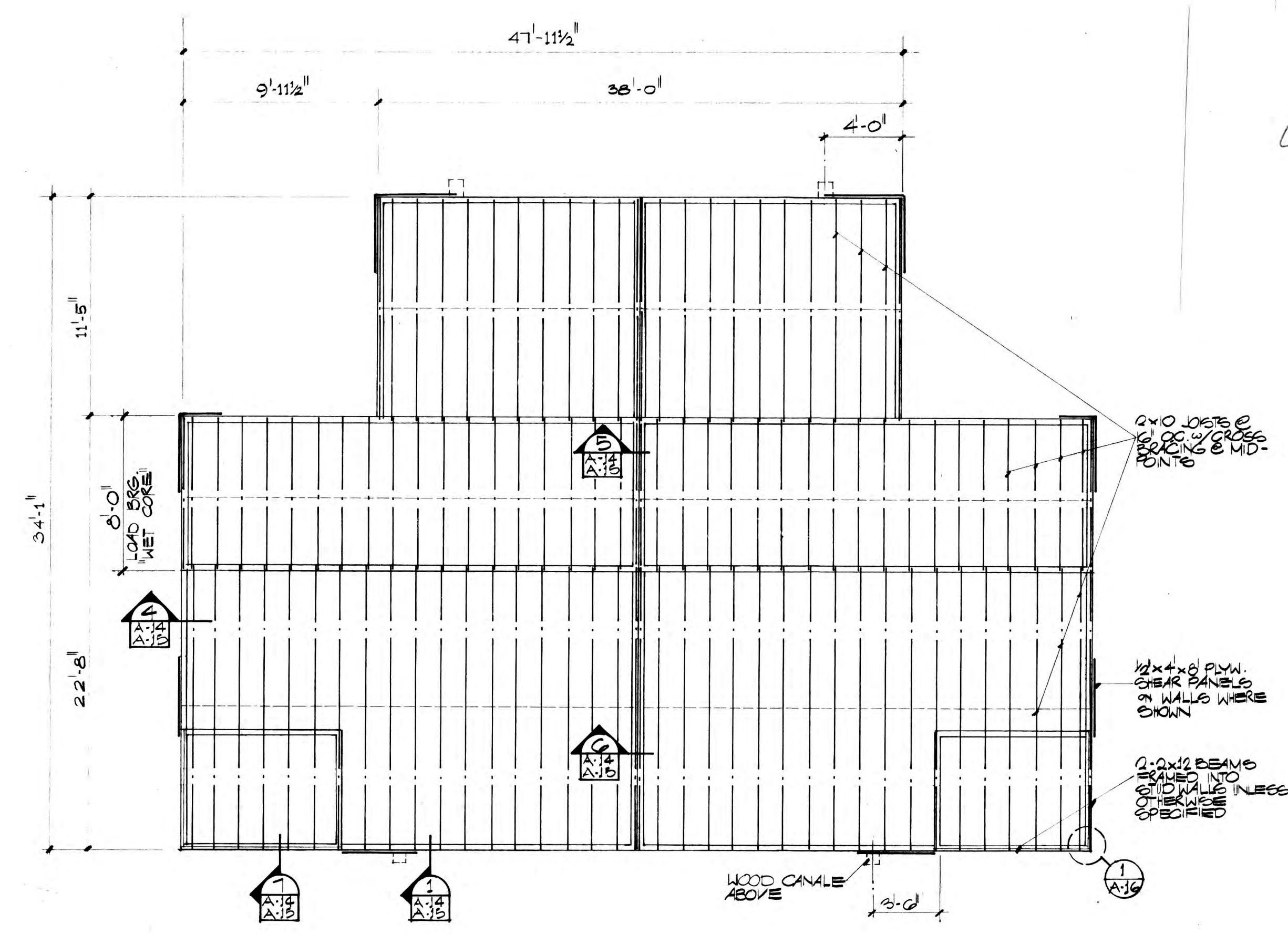


EXT. ELEVATIONS 2 BEDROOM DUPLEX  
TERRITORIAL STYLE  
1/4"

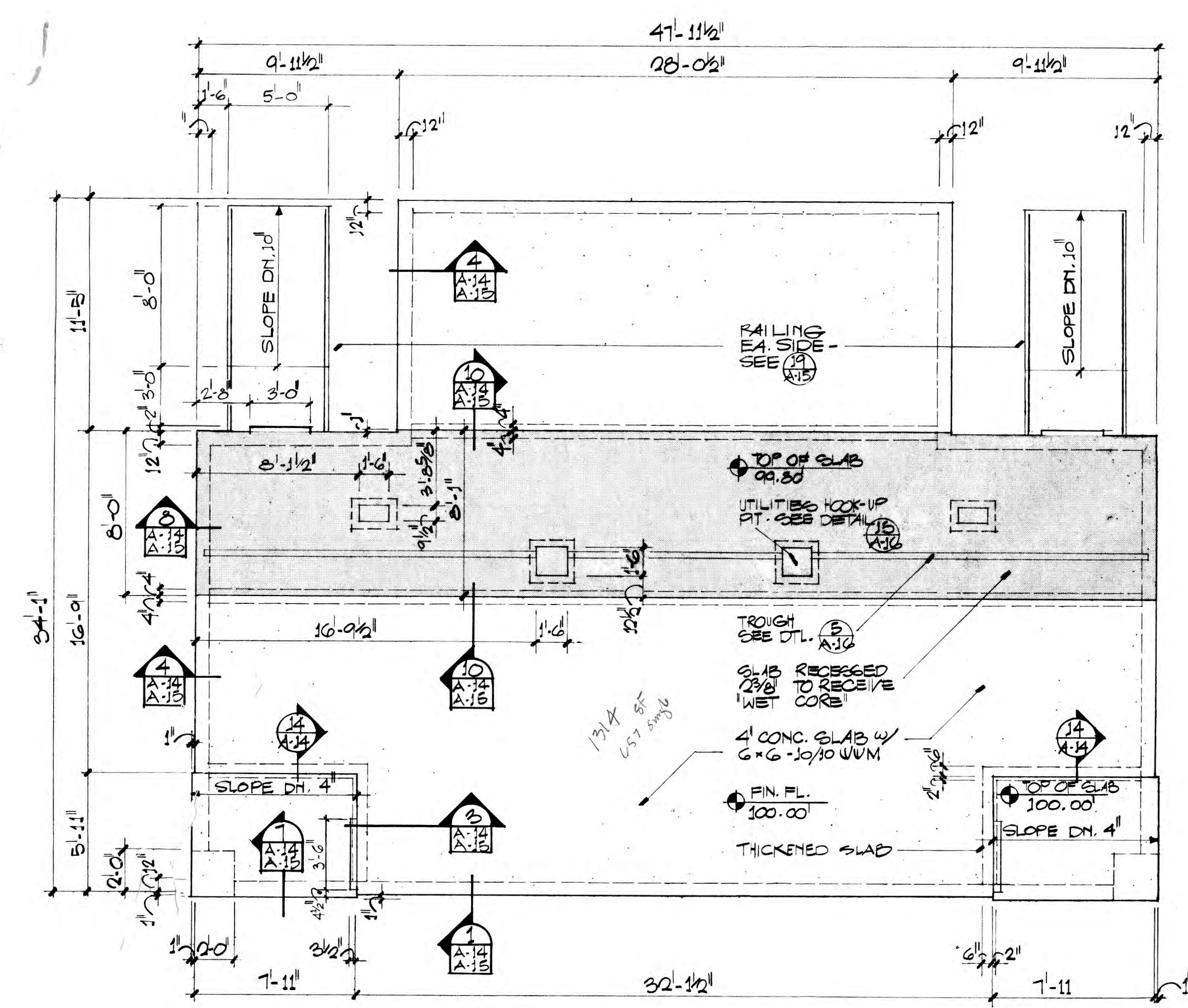


Santa Cruz  
Plats.

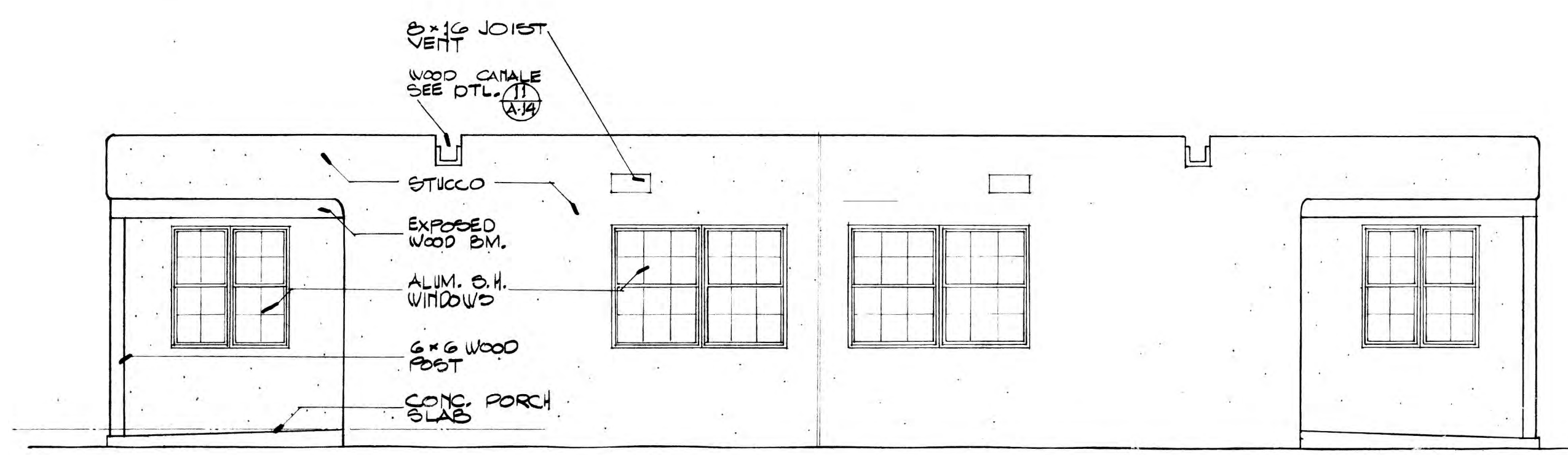
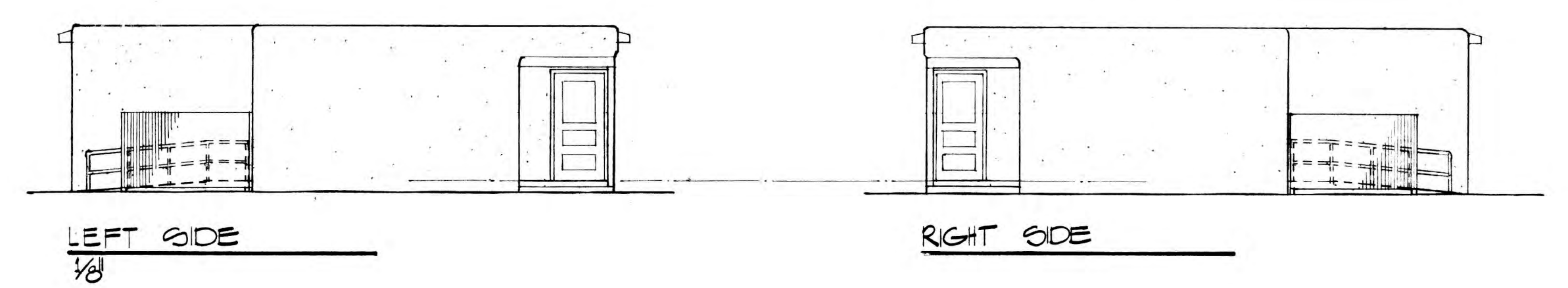
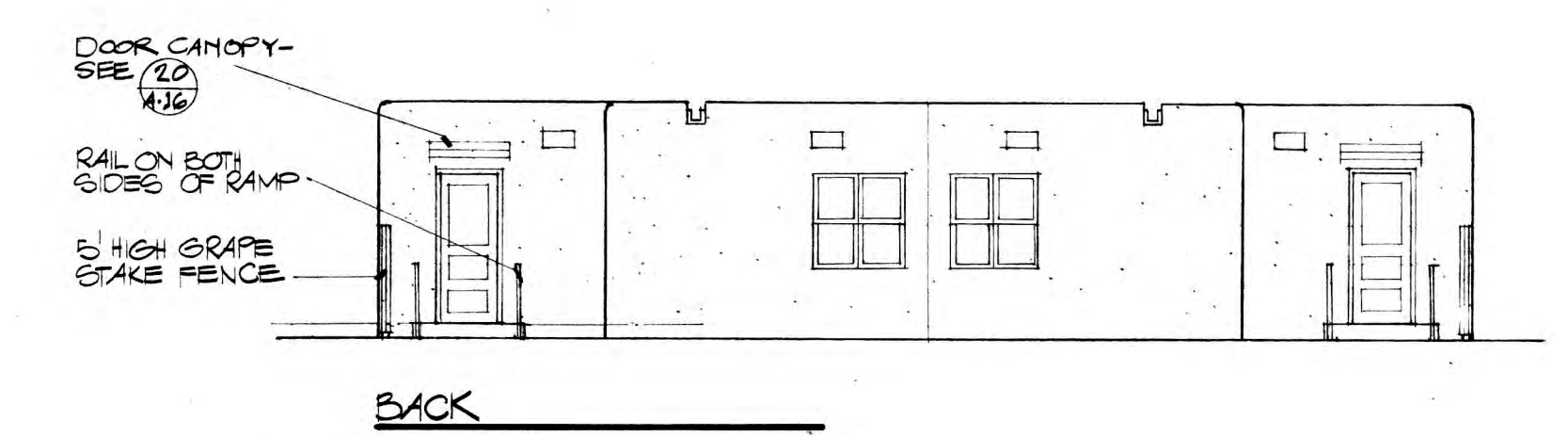
Santa Cruz A-4-A18  
Construction Drawings



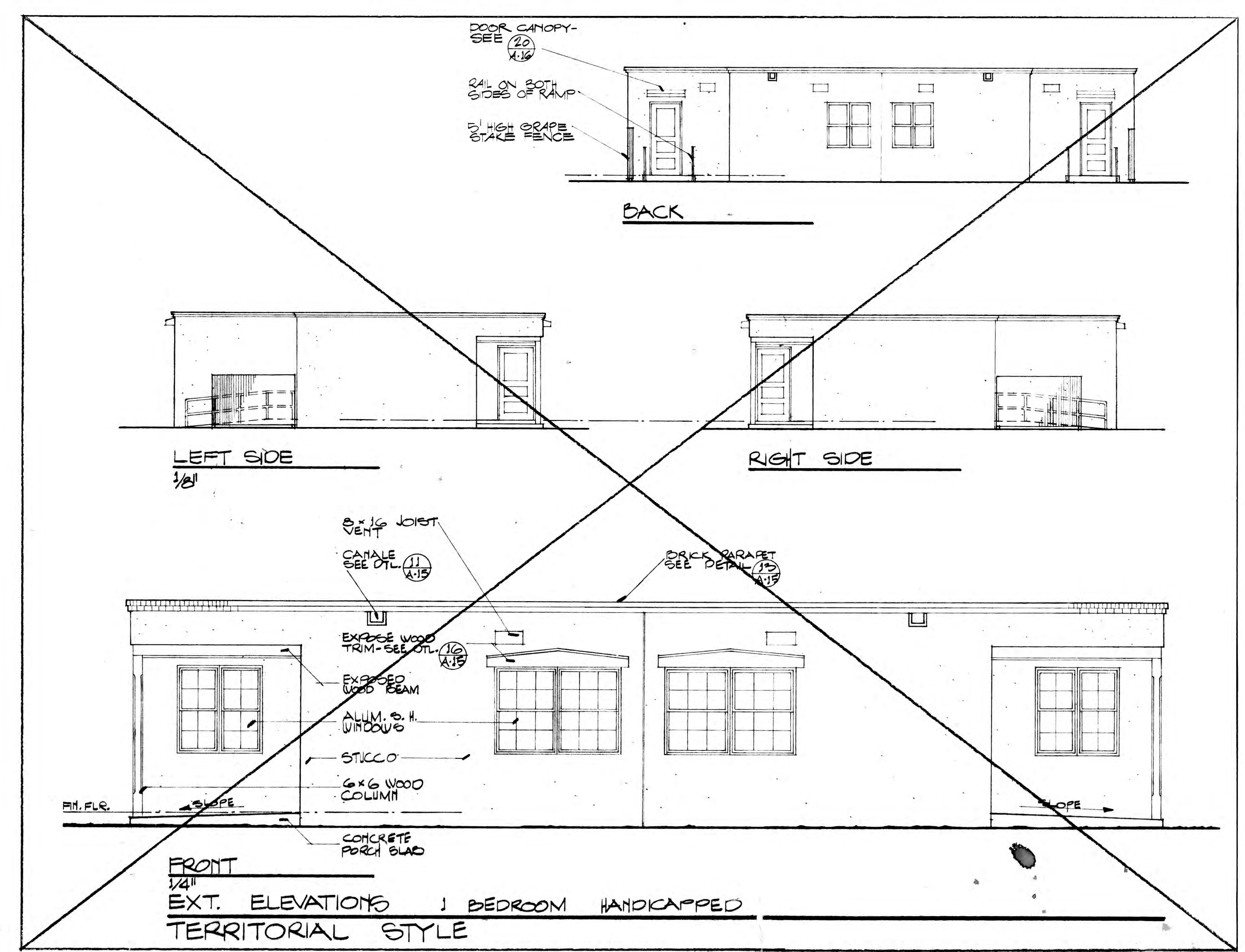
ROOF FRAMING 1 BEDROOM HANDICAPPED  
3/10



FOUNDATION PLAN 1 BEDROOM HANDICAPPED  
3/10



EXT. ELEVATIONS 1 BEDROOM HANDICAPPED  
PIEDRO STYLE  
3/11



EXT. ELEVATIONS 1 BEDROOM HANDICAPPED  
TERRITORIAL STYLE  
3/11

OPERATION P.  
SANTA CRUZ  
SANTA FE COUNT

ELEVATIONS P.  
ROOF FR.  
FOUNDATION

sheet  
A-4  
of  
B.T.





## Attachement D

### **Summary of Work on Single dwelling unit**

**135 Camino De Quintana, Santa Cruz, NM- 4 Bedroom, 2 Bath**  
**Unit located in the Valle De Esperanza Public Housing Development**

#### **Part #1**

##### **Asbestos Abatement**

Part 1 of this project includes the removal of all drywall in the entire unit, excluding the utility closet. The Insulation in the unit is to be removed as well. walls ceilings, all insulation is to be removed and taken back to the bare frame. All Electrical Rough in and Top out Components / Equipment will be left intact to be reused.

All asbestos containing materials and mold containing materials are to be disposed of by the Contractor at a code legal asbestos and or remediation disposal facility.

All other materials are to be disposed of at a code legal landfill.

#### **Part #2**

##### **Testing Phase**

Once abatement and Remediation is complete, a 3<sup>rd</sup> party independent final clearance air sampling will confirm the cleanliness of the abated and remediated residence

Part 3 includes Reconstruction of the residence.

#### **Part #3**

##### **Reconstruction**

Reconstruction of the unit consist of replacing all batt insulation with a code rated R value in ceilings and walls. Replace all drywall, tape texture caulking and painting interior and exterior of entire unit. Paint will be provided by the Housing Authority. All Baseboard will be replaced with colonial base. Finger joint is acceptable, {No Pressboard}. The existing Hot Water Heater is to be removed and replaced with a A-O Smith GCB -40 Water heater. All Plumbing connections must meet local code when completed. New bath fixtures will be replaced in the unit. The Bathtub is to be a new white Amcast- 60 Inch tub in Both Bathrooms. American Standard double handle faucets with diverter spout and drain fixtures. Tub stall will have white 6x6 ceramic tile from top of the tub to the ceiling three sides. A new 24 Inch bathroom Cabinet along with a single bowl Cultured Marble Sink along with American Standard double handle Faucets, Drain Fixtures and new Supply Lines along with Toilet Tissue Holder and two Towel Holders one 18 inch and one 24 inch, Both Bathrooms. A new Exhaust Fan with Light is to be installed in the ceiling Both Bathrooms. A new 18 inch by 24 Inch Vanity Cabinet with mirror will be installed over the Bathroom Vanities. A new American Standard Toilet is to be installed in the Bathrooms, color is to be white. The exterior Frost Free Faucet also needs to be replaced. There is a window in the rear left bedroom will need to be repaired. The Access Door for the plumbing chase will also need to be replaced. The entire unit will be retiled completely with Alternatives color AL 126 Vinyl Composition Tile along with new Colonial baseboard. Kitchen cabinets will be replaced in the same configuration as existing and bathroom vanity. All cabinets are to be Hampton Medium Oak cabinets. Kitchen counter tops to be Formica Hampton Bay CZ2 5822- 52. Kitchen sink to be American standard double bowl sink with American Standard new double handle faucets and plumbing drain fixtures and supply lines along with a

new Broan, two speed fan lighted range hood. Bedroom and dining room and kitchen lighting to be Hampton Bay 370-830. Hallway sconces to be Hampton Bay 69-230. Bathroom lighting to be Hampton Bay 108-898. All replacement receptacles are to be Leviton No. CBR 15 light almond or comparable with matching covers. Switches are to be Leviton standard light almond or comparable with matching cover. Unit will have new GE Natural Gas Range model #JGB630DEK2WW and new GE Refrigerator model #GTS17DTNBRWW.

Exterior doors will be replaced with insulated pre hung steel six panel doors including the storage room door. Exterior door casing to be brick mold casing. Screen doors will be replaced with security doors model Unique home designs SU Casa 546968. Passage door knob hardware and deadbolt hardware for exterior doors will be replaced with Kwikset deadbolts and passage sets. All interior doors will be replaced with hollow core smooth face pre hung doors colonial casing included. Finger joint is acceptable. New door knob wall stops will be installed at all swinging interior doors. New privacy and passage hardware will be replaced on interior doors. All of the closet shelving will be replaced along with new closet rods and supports and fasteners as well. Windows sills will be replaced. All electrical and lighting fixtures interior and exterior will be replaced this to include a 6 Inch light with light bulb cover above the kitchen sink. Exterior of entire unit will be re-stuccoed according to Manufacturer Recommendations with a STO ThermCI Lotisan Stucco System. The Stucco System is to be applied all areas that have been scraped cleaned and prepped properly. Color is to be Navajo White # 01007. Once the new Stucco System is completed a general cleanup of all masked areas around Windows, Doors and Exposed Painted Wood and Canales is to be performed. All debris, weeds and shrubbery will be removed from the exterior yard areas and yard will be raked. Also the Satellite Dish will be removed from the unit. Also, there may be some unforeseen circumstances once we have the unit to bare frame after the Abatement and Remediation process is completed which may require a change order.

**Case for Maintenance Designation:**

Unit will essentially be the same with some upgraded Plumbing fixtures, appliances and electrical.

**Case for Capital Designation:**

If this work is not done the units would need to be torn down. This unit does have a new Bry roof system and this additional work will extend the life of the unit.

## **Summary of Work on Single dwelling unit**

**138 Camino De Quintana, Santa Cruz, NM- 3 Bedroom, 1 Bath**  
**Unit located in the Valle De Esperanza Public Housing Development**

### **Part #1**

#### **Asbestos Abatement**

Part 1 of this project includes the removal of all drywall in the entire unit, excluding the utility closet. Also, removal of all floor tile along with all adhesive materials used for flooring. Abatement includes removal of all interior doors, door casings exterior doors, screen doors, baseboards, window trim, closet shelving, light fixtures interior and exterior, wall receptacles, Light switches, kitchen cabinetry, bathroom tub surround, bath fan, Vanity cabinet, sinks, Plumbing fixtures and shower Faucets. All batt insulation will be removed throughout the unit.

All asbestos containing materials and mold containing materials are to be disposed of by the Contractor at a code legal asbestos and or remediation disposal facility.  
All other materials are to be disposed of at a code legal landfill.

### **Part #2**

#### **Retesting Unit**

Once abatement and Remediation is complete, a 3<sup>rd</sup> party independent final clearance air sampling will confirm the cleanliness of the abated and remediated residence.

Part 3 includes Reconstruction of the residence.

### **Part #3**

#### **Reconstruction**

Reconstruction of the unit consist of replacing all batt insulation with a code rated R value in ceilings and walls. Replace all drywall, tape texture caulking and painting interior and exterior of entire unit. Paint will be provided by the Housing Authority. All Baseboard will be replaced with colonial base. Finger joint is acceptable. New bath fixtures will be replaced in the unit. The bathtub is to be a new white Amcast, 60 Inch tub. American Standard double handle faucets with diverter spout and drain fixtures. Tub stall will have white 6x6 ceramic tile from top of the tub to the ceiling three sides. A new 24 Inch bathroom cabinet and single bowl cultured marble sink along with American Standard double handle Faucets, Drain Fixtures and new Supply Lines along with Toilet Tissue Holder and two Towel Holders one 18 inch and one 24 inch. A new Exhaust Fan with Light is to be installed in the ceiling. A new 18 inch by 24 Inch Vanity Cabinet with mirror will be installed over the Bathroom Vanity. A new American Standard Toilet is to be installed in the Bathroom, color is to be white. The Exterior frost free Faucet also will need to be replaced. The entire unit will be retiled completely with Alternatives color AL 126 Vinyl Composition Tile along with new Colonial baseboard. Kitchen cabinets will be replaced in the same configuration as existing and bathroom vanity. All cabinets are to be Hampton Medium Oak cabinets. Kitchen counter tops to be Formica Hampton Bay CZ2 5822- 52. Kitchen sink to be American standard double bowl sink with American Standard new double handle faucets and plumbing drain fixtures and supply lines along

with a new Broan, two speed fan lighted range hood. Bedroom and dining room and kitchen lighting to be Hampton Bay 370-830. Hallway sconces to be Hampton bay 69-230. Bathroom lighting to be Hampton Bay 108-898. All replacement receptacles are to be Leviton No. CBR 15 light almond or comparable with matching covers. Switches are to be Leviton standard light almond or comparable with matching cover. Unit will have new GE Natural Gas Range model #JGB630DEK2WW and new GE Refrigerator model #GTS17DTNBRWW.

Exterior doors will be replaced with insulated pre hung steel six panel doors including the storage room door. Exterior door casing to be brick mold casing. Screen doors will be replaced with security doors model Unique home designs SU Casa 546968. Passage door knob hardware and deadbolt hardware for exterior doors will be replaced with Kwikset deadbolts and passage sets. All interior doors will be replaced with hollow core smooth face pre hung doors colonial casing included. Finger joint is acceptable. New door knob wall stops will be installed at all swinging interior doors. New privacy and passage hardware will be replaced on interior doors. All of the closet shelving will be replaced along with new closet rods and supports and fasteners as well. Windows sills will be replaced. All electrical and lighting fixtures interior and exterior will be replaced this to include a 6 Inch light with light bulb cover above the kitchen sink. All false lintels above all windows will be removed lathed, patched and flushed out to receive new stucco finish Exterior of entire unit will be re-stuccoed according to manufacturer recommendations with a STO, 101 stucco system. This is to include pressure washing the existing stucco and all loose stucco is to be scraped off and fiberglass mesh is to be troweled in to the new brown coat before the color is applied, Color is to be Navajo White # 01007. All debris, weeds and shrubbery will be removed from the exterior yard areas and yard will be raked. Also the satellite dish will be removed from the unit. Also, there may be some unforeseen circumstances once we have the unit to bare frame after the abatement and remediation process is completed which may require a change order.

**Case for Maintenance Designation:**

Unit will essentially be the same with some upgraded Plumbing fixtures, appliances and electrical.

**Case for Capital Designation:**

If this work is not done the units would need to be torn down. This unit does have a new Bry roof system and this additional work will extend the life of the unit.