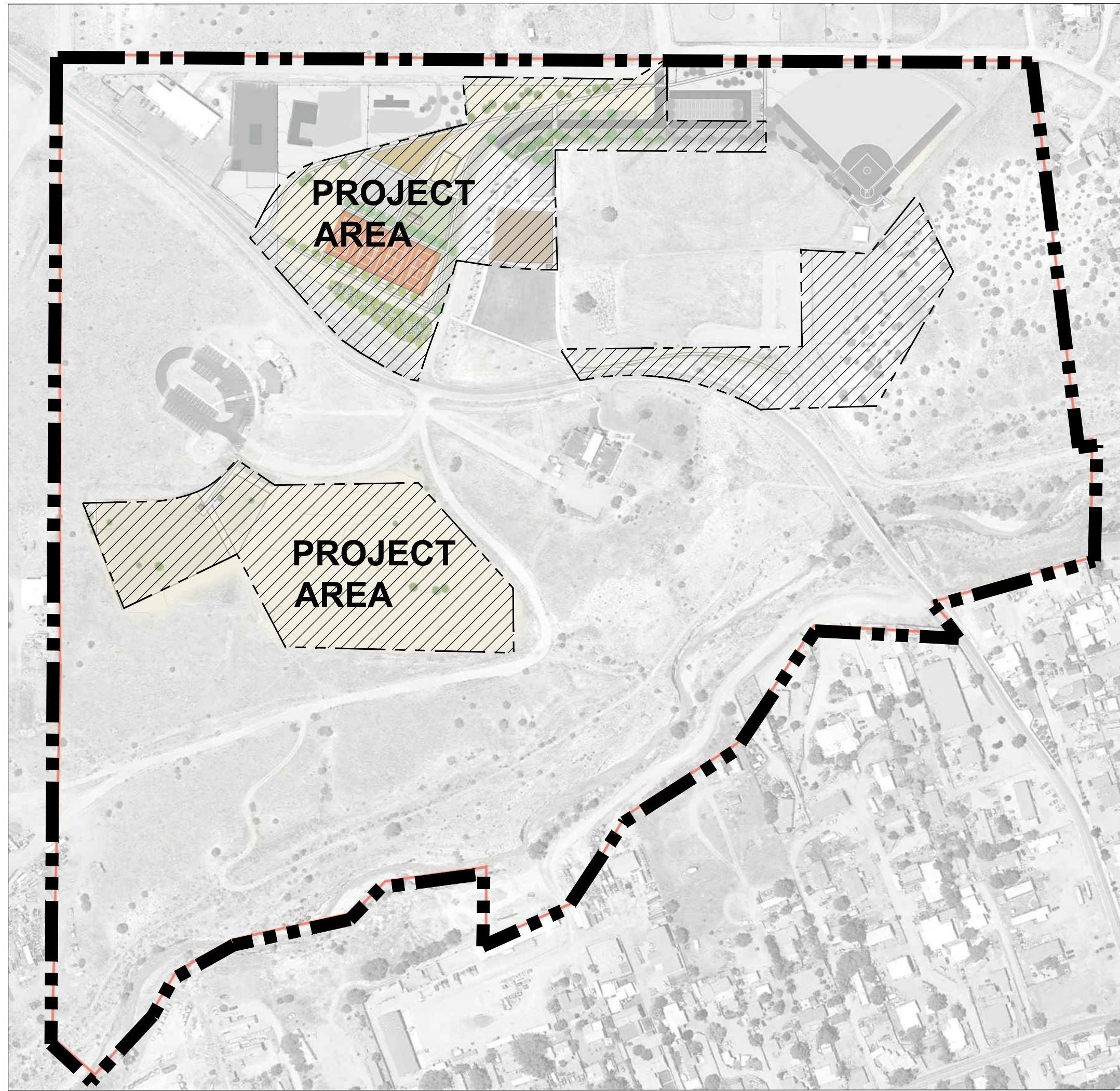


ROMERO PARK - SITE IMPROVEMENTS

AGUA FRIA VILLAGE, NEW MEXICO

100% CONSTRUCTION DOCUMENTS

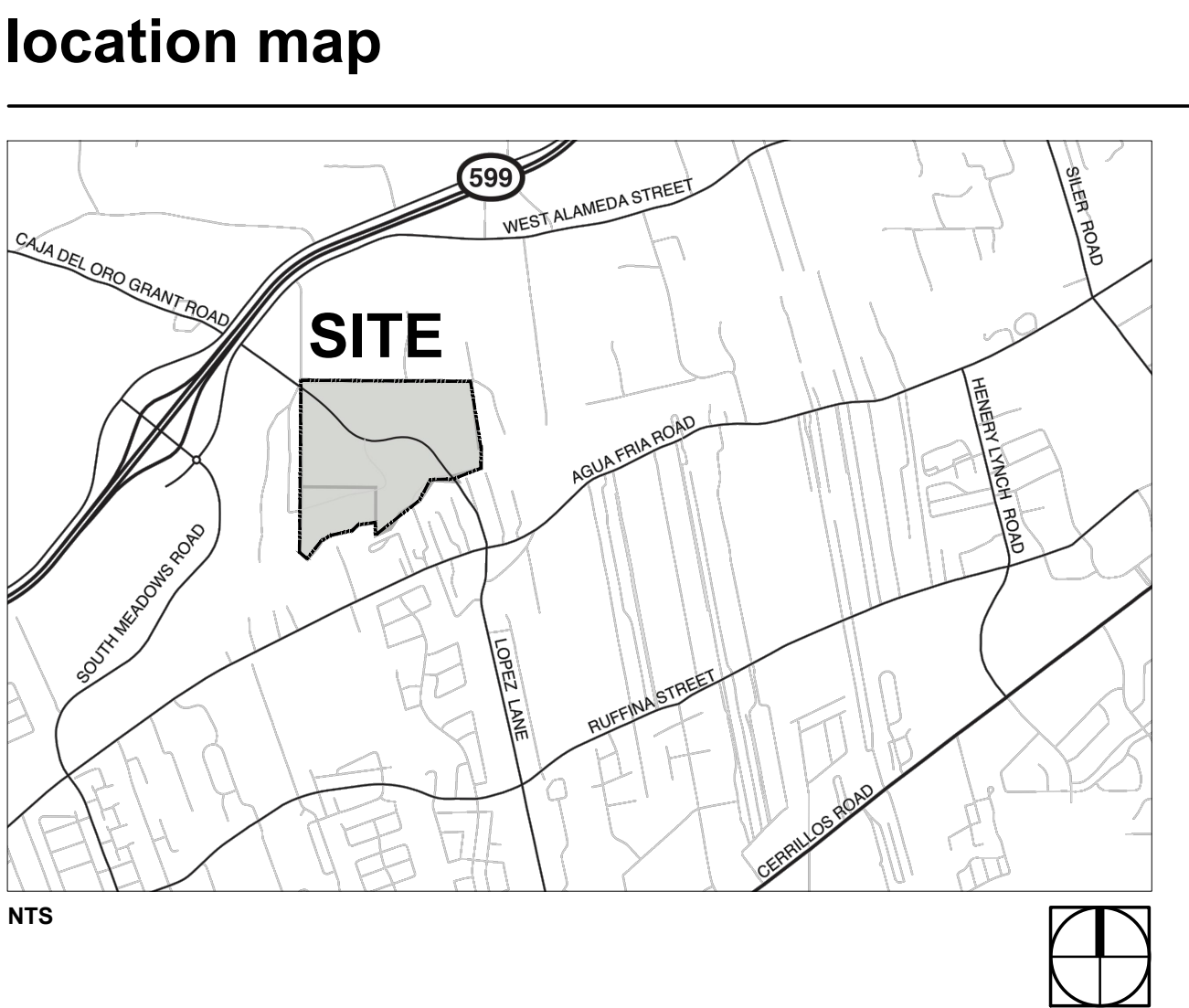
December 20, 2019



owner	owner representative
Santa Fe County 102 Grant Avenue Santa Fe, New Mexico 87501-2061	Santa Fe County contact: Ron Sandoval Project Manager III tel: 505.992.9863 e: rsandoval@santafecountynm.gov

project location

2100 Caja Del Oro Grant Road
Santa Fe, New Mexico 87507



APPROVED BY SANTA FE COUNTY	
	2-6-2020
PROJECTS AND FACILITIES MANAGEMENT DIVISION DIRECTOR PHILLIP MONTANO	DATE
APPROVED BY SANTA FE COUNTY	
	2/6/2020
PROJECT MANAGER COLLEEN BAKER	DATE

project description

Romero Park is located on a 68-acre area of public land along the Santa Fe River off Caja Del Oro Grant Road in Santa Fe County within the traditional Village of Agua Fria. Formerly known as Agua Fria Park, Romero Park is an existing community park with amenities including a large picnic shelter (80 capacity), restroom / concessions building, multi-purpose lawn, toddler playground, older kid playground, walking paths, baseball field, and a dog park. The park also houses community facilities such as La Familia Medical Center, the Nancy Rodriguez Community Center, and the Agua Fria Fire Station.

The work designated as Romero Park - Site Improvements consists of providing a new court sports area, adding parking, and providing building code upgrades. The work includes but is not limited to the complete construction of: tennis courts, pickleball courts, basketball courts, a game area, a small picnic shelter (36-40 capacity) adjacent to a native grass lawn, a playground expansion, parking area expansion, dog park relocation, and additional connected walking paths. Improvements include additional planting, irrigation, lighting, fencing / access control, and signage to build upon existing facilities, make the park more user-friendly, and address maintenance concerns. The work also includes the rehabilitation / reseeding of the previously mitigated site of the old Agua Fria Village waste dump to native prairie.

deductive alternate 1 - concessions

Deductive Alternate 1 consists of renovation work in the existing concessions room. Work includes selective demolition of existing countertop and concrete pad. New work includes the supply and installation of new plumbing + heating equipment / infrastructure, plumbing fixtures, electrical upgrades, lighting, and painting. See sheets A1-01, A1-02, E1-02, MP0-02, MP1-01 and associated details for further reference.

deductive alternate 2 - basketball court

Deductive Alternate 2 consists of the east basketball court (57' x 94'). Work includes the supply, construction, and installation of a new concrete post-tensioned slab (integral color), subgrade preparation and earthwork, two salvaged posts, and court striping. See sheets L2-02, L2-05, and S1.3 along with associated details. This deduction assumes the contract includes reseeding this court area (ca 5,400 sf) and installing salvaged timber edging (57.5 lf).

deductive alternate 3 - tennis court

Deductive Alternate 3 consists of the west tennis court (60' x 120'). Work includes the supply, construction, and installation of a new concrete post-tensioned slab court, court surfacing, post and net, and striping; perimeter fencing and gates set in concrete curb; and associated subgrade preparation and earthwork. See sheets L2-01, L2-05, and S1.2, along with associated details. This deduction assumes the contract includes reseeding the court area (ca 7,500 sf) and installing salvaged timber edging (62 lf).

deductive alternate 4 - building upgrades

Deductive Alternate 4 consists of all building upgrades except those listed in Deductive Alternate 1 (concessions), mechanical room improvements associated with site electric improvements, and complete solar panel system installation. Architectural work consists of renovating the women's restrooms and reconfiguring/renovating the men's restroom to add a separate family restroom. Work includes upgrades to MEP systems, interior / exterior lighting, finish work, etc. as outlined in sheets A1-01, A1-02, E1-01, E1-02, MP0-02, and MP1-01. This deduction assumes no improvements in the above areas.

deductive alternate 5 - volleyball court

Deductive Alternate 5 consists of the sand volleyball court area with perimeter seat wall north of the small picnic shelter. Work includes the supply, construction, and installation of the sand volleyball area; perimeter concrete (integral color) curb and seat walls; volleyball posts and net; and associated earthwork and subgrade preparation. See sheet L2-01, L2-05, and associated details. This deduction assumes the contract includes reseeding this area (ca. 7,300 sf) and installing salvaged timber edging (50 lf).

deductive alternate 6 - small picnic shelter

Deductive Alternate 6 consists of a steel frame picnic shelter (22' x 37') over a concrete surface with picnic tables (4). Work includes the supply, manufacture, and installation of a steel frame structure and roof; concrete paving, and picnic tables. See sheets L2-01 and A2-01 along with associated details. This deduction assumes the contract includes surfacing this area (ca. 940 sf) with crusher fines paving and installing salvaged timber edging (75 lf).

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L1-03	DEMOLITION PLAN - DOG PARK

civil drawings

C2-01	GRADING AND DRAINAGE PLAN WEST
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C2-03	GRADING AND DRAINAGE PLAN DOG PARK
C2-04	WATER SYSTEM IMPROVEMENT
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L2-04	ENLARGED PLAN - PLAYGROUND
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IR1-01	IRRIGATION PLAN
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mep drawings

E0-01	ELECTRICAL GENERAL NOTES, LEGEND + DETAILS
E0-02	ELECTRICAL SCHEDULES, DIAGRAMS + DETAILS
E1-01	SITE ELECTRICAL LIGHTING AND POWER PLAN
E1-02	ELECTRICAL LIGHTING, POWER AND SPECIAL SYSTEMS PLANS
E6-01	SOLAR DIAGRAMS + DETAILS
E7-01	ELECTRICAL DETAILS
MP0-01	MECHANICAL / PLUMBING GENERAL NOTES, LEGEND +DETAILS
MP0-02	MECHANICAL / PLUMBING DIAGRAMS + SCHEDULES
MP1-01	MECHANICAL / PLUMBING WASTE, VENT + DOMESTIC WATER FLOOR PLANS

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S1.2	FOUNDATION PLAN - TENNIS COURTS
S1.3	FOUNDATION PLAN - TENNIS COURTS - DED ALT 3
S1.4	FOUNDATION PLAN - BASKETBALL COURTS
S1.5	FOUNDATION PLAN - BASKETBALL COURTS - DED ALT 2
S2.1	FOUNDATION DETAILS

landscape architect	civil engineer	architect	irrigation consultant	structural engineer	slab engineer	mep engineer
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PROJECT DATA

Lot Info	Lot 13 & 14		
Lot Area	± 68.01 Acres		
Project Area	± 13.94 Acres (607,200 sf)		
Roof Area	Existing (Non-heated)		
	1,055	sf	Picnic Shelter (Baseball)
	+ 2,410	sf	Shade Structure (Large)
	3,465	sf	Total
	Existing (Heated)		
	870	sf	Restroom Building
	New (Non-Heated)		
	775	sf	Picnic Shelter
Lot Coverage	5,110 sf (Roof Area) / 68 ac = ± .001%		
Allowable Building Height	24'-0" Maximum		
New Building Height	11'-5" Maximum		
Occupancy Group	NR-Non Residential		
Zoning	Public / Institutional		
Dwelling Units	0 Units		
Section / Lot / Block Info	Section 31, T.17N., R.9E., N.M.P.M. Santa Fe County, New Mexico		
Parking (North of Caja Del Oro Grant Road)	35 Spaces (2 Accessible)		
	Existing:	109 Spaces (6 Accessible)	
	Proposed:	144 Spaces (8 Accessible)	
	Total:		
Parking (South side dog park)	0 Spaces		
	Existing:	10 Spaces (1 Accessible)	
	Proposed:	10 Spaces (1 Accessible)	
	Total:		

GENERAL CONDITIONS NOTES

- Work performed shall comply with the following:
 - These General Notes, Construction Documents and Specifications.
 - All applicable local, state, and federal codes, ordinances and regulations. All codes listed in Specifications and Drawings shall be inclusive of all codes, regulations and requirements adopted by the State of New Mexico, including all Amendments.
- Source of base information is Wilson and Company, Inc. Architects and Engineers, and is assumed to be correct. Report any discrepancies immediately to the Owner's representative.
- Verify locations and grade information of pertinent site improvements installed under other contracts. If any part of this plan cannot be followed due to site conditions, contact owner's representative for instructions prior to commencing work.
- Contact local underground utility services for utility location and identification prior to commencing work.
- Perform excavation in the vicinity of underground utilities with care and by hand, if necessary. The contractor bears full responsibility for this work and disruption or damage to utilities shall be repaired immediately and at no expense to the owner. No additional compensation or time extension for delays, inconveniences, or damages sustained will be made to contractor due to interferences from utility appurtenances or the operation of moving them resulting from contractor's negligence.
- Field verify all elevations, dimensions, right-of-way and boundary limits prior to the beginning of construction. The contractor shall limit all work on this project within the existing right-of-way or public easement.

SITE DEMOLITION NOTES

- Items shall remain unless designated for removal. Remove designated items shown on the plan to the full depth of their construction unless otherwise noted. Coordinate demolition work with work to be performed under this contract.
- Verify the location and dimension of items to be removed prior to commencement of the work.
- All concrete and asphalt removal shall be saw cut. Edges of material to remain shall be shored up and protected during construction to preserve edge intact. Repairs to damaged edges to be done with care and at no cost to the owner.
- Remove and dispose of existing construction debris within improvement areas prior to construction. Construction debris disposal locations as indicated by the contract documents or as directed by the Owner's representative.
- Salvaged items to be removed with care, cleaned, and stored on site for future use or transported to off site location as directed by owner.
- Items encountered below grade and not shown on the drawings shall be brought to the attention of the Landscape Architect.
- Contact the local underground service for utility location and identification prior to demolition.
- Perform excavation in the vicinity of existing utilities by hand where applicable. The Contractor is responsible for damage to existing utilities caused by any person, vehicle, equipment or tool related to the execution of the Contract.
- Topsoil to be salvaged from areas indicated on plans that will be disturbed by excavation, filling, road building, or compaction by equipment. A four to six inch stripping depth is common, but depth will depend on the soil profile at the site. Topsoil stockpiled for future use shall be relatively free from large roots, sticks, weeds, brush, stones larger than (1) inch diameter, or other litter and waste products including other extraneous materials not conducive to plant growth.
- Location of any on-site topsoil stockpiles shall be identified on the approved plans or coordinated with the owner's representative prior to demolition. Stockpile locations shall be identified to avoid slopes and natural drainageways and to avoid traffic routes. Topsoil stockpile shall be located in areas to avoid erosion of said stockpile to offsite areas.
- Topsoil stockpiles are to have a minimum 1.5 feet high (or higher) perimeter berm around the circumference of the pile for sediment control and topsoil conservation. Construction of the perimeter ditch/berm should precede any activities associated with material placement in the stockpile. Topsoil stockpile height shall not exceed 10 feet.
- Use sediment barriers (straw bales, silt fences) around the perimeter of the stockpile. Apply temporary stabilization to the stockpile within seven days of the formation of the stockpile either in the form of temporary seeding or mulch if it is to remain unused for longer than 30 days. If stockpile will not be used within 12 months, it should be stabilized through seeding of permanent vegetation so as to minimize soil erosion by both wind and water.
- Fill all holes derived from fence posts removal. Compact soils to prevent setting.

LAYOUT NOTES

- On-site verification of all dimensions and conditions shall be the responsibility of the General Contractor. Noted dimensions take precedence over scale, larger scale over smaller scale, addenda and clarifications over previous documents.
 - Contractor to lay out site elements and verify layout with Landscape Architect prior to construction.
 - For dimensions of existing buildings and related work, refer to the as built architectural drawings. Architectural drawings can be obtained from Santa Fe County.
 - Where dimensions are called as "equal," space referenced items equally, measured to their center lines.
 - Measurements are to face of building, wall or fixed site improvement. Dimensions to centerlines is as indicated.
 - Install intersecting elements at 90 degree angles to each other unless otherwise noted.
 - Install new hardscape paving elements (curbs, ramps, walkways, patios, trails, pavement, etc.) flush with existing hardscape paving elements unless otherwise noted.
 - Provide expansion joints where concrete flatwork meets vertical structures such as walls, curbs, steps and building elements.
 - Expansion joints in concrete walkways shall be located twenty feet (20'-0") O.C. maximum or as indicated. Control joints in concrete walkways shall be located five feet (5'-0") O.C. maximum or as indicated.
 - All radii of walkway intersections on the plans shall be 4'-0" or as indicated on the plans.
 - The contractor shall ensure ADA compliance for construction of ADA features and appurtenances (including, but not limited to, sidewalk & curb ramp cross slopes, ramp slopes, thresholds, site furnishings, etc) as detailed in the plans and in accordance with referenced standard drawing, specifications and established ADA guidelines and standards. The contractor is responsible for field checking slopes and dimensions of all formwork for compliance prior to installation of concrete. Santa Fe County reserves the right to inspect any ADA features and appurtenances at any time before final completion of the project and may require the contractor to remove, replace, and/or correct any work at the contractors expense that in not in compliance, as determined by the project manager.
 - All temporary access routes for pedestrians shall be ADA compliant.
 - Coordinate finish grade of new elements with existing elements to remain to ensure ADA compliance and positive drainage away from site elements. If grades of new site elements prevent or obstruct proper site drainage, contractor to notify owner and landscape architect and make mutually agreed upon adjustments prior to installing site improvements.
 - Contractor to keep disturbance to adjacent landscape areas to a minimum and to avoid disturbance and demolition of existing vegetation designated for preservation except as approved by Landscape Architect. When excavation near plant material to be protected must be carried out, damage to be limited by root pruning. Root pruning shall be completed before grading is started.
 - Concrete within the roadway and post-tensioned slab is not colored, unless otherwise noted. All other concrete is integral colored concrete.
- LANDSCAPE PLANTING NOTES
- Verify locations of pertinent site improvements installed under other sections. If any part of this plan cannot be followed due to site conditions, contact Landscape Architect for instructions prior to commencing work.
 - Exact locations of plant materials to be approved by the Landscape Architect in the field prior to installation. Landscape Architect reserves the right to adjust plants to exact location in field.
 - Verify plant counts and square footages; quantities are provided as Owner information only. If quantities on plant list differ from graphic indications, then graphics shall prevail.
 - Contact the local underground utility services for utility location and identification.
 - Perform excavation in the vicinity of underground utilities with care and if necessary, by hand. The Contractor bears full responsibility for this work and disruption or damage to utilities shall be repaired immediately at no expense to the Owner.
 - Trees shall bear same relation to finished grade as it bore to existing.
 - Trees to be planted a minimum of 4 feet from face of building or pavement, except as approved by Landscape Architect.
 - Provide matching forms and sizes for plant materials within each species and size designated on the drawings.
 - Prune newly planted trees only as directed by Landscape Architect.
 - Align and equally space in all directions trees and shrubs so designated per these notes and drawings.
 - Finish grades of planter areas shall be 1 1/2 inches below adjacent paving or top of wall unless otherwise noted.
 - Cut and remove burlap from top 1/3 of ball.
 - Landscape Architect to review plant materials at source or by photographs prior to digging or shipping of plant materials.
 - Revegetate all areas disturbed due to construction activities as outlined in the contract documents. Review extent of areas to be revegetated with Landscape Architect prior to commencing work.
 - Contractor to de-compact soils in planting areas by roto-tilling, disking or ripping to a depth of 6 - 8" minimum and preferably a depth of 12 - 18". De-compact of small planter areas, such as those in parking lot areas, may require the removal of the compacted soil to a depth of 18" or more and then re-installed loosely with required amendments. Always remove debris over 2" in size.
 - When performing soil de-compaction, multiple passes across the area will be required and, when possible, should be at varying angles to ensure adequate coverage. When using disc or ripping equipment, it is required that the final passes over the area be made with a roto-tiller to break up any large clumps to make final grading easier.
 - During the remainder of the landscape installation, various areas of the site may be re-compacted due to the use of equipment and vehicles. This compaction is typically limited to the upper 4-6" of the soil. Prior to the installation of plant material in these areas, the compaction shall be reduced to 80% or less using previously described methods.
- IRRIGATION NOTES
- See general conditions notes.
 - Point of connection for irrigation mainline is as noted on plans.
 - Extend control wires to all irrigation valves as shown on plans.
 - Contractor to verify that water source is capable of providing pressure and gpm for systems as designed prior to beginning any irrigation work.
 - Locations of irrigation lines, valves, heads, and all other related irrigation appurtenances shown on these drawings are diagrammatic only. The exact location of the above need to be approved by the Landscape Architect.
 - Stake all utilities, including sewer and drainage prior to any excavation for irrigation.

STRUCTURAL NOTES

- Codes and manuals:
 - International Building Code, 2015 edition, ASCE 7-10
 - AISC Manual of Steel Construction, AISC 360-10
 - SJI Standard Specifications for Steel Joist and Joist Girders, SJI current edition
 - SDI Diaphragm Design Manual, 2nd edition
 - AISI Cold Formed Steel Manual, current edition
 - ACI Building Code Requirements for Reinforced Concrete AC 318-14
 - AWS D1.1 and D1.3
 - Design Criteria:
 - Vertical:
 - Live load Roof 25 psf (snow)
 - Dead load Actual component weight
 - Horizontal
 - (1) wind IBC simplified wind load method PS = A lw Ps 30
 - Basic wind speed (Vult.3 = 115 mph) qz = 0.00256 Kz Kzt Kd V²
 - Exposure C
 - Importance factor (Iw) 1.0
 - 0-15' qz = 28.7
 - 15'-20' qz = 30.5
 - Seismic (ASCE-7 Equivalent Lateral Force Procedure)
 - Mapped spectral response S_s = 48.8% S₁ = 14.3%
 - Site coefficients Fa = 1.42 Fv= 2.227
 - Site class = D Seismic use group = 1 Importance factor (Ie) = 1.0
 - Seismic design category D
 - Seismic base shear (V) V= Cs W V= 0.062 W
 - Cs = Sds Ie / R = 0.431 x 1.0 / 7 = 0.062
 - Allowable soil bearing pressure = 1500 psf (assumed)
- General :
 - The contractor shall verify all dimensions in the field.
 - Shop drawings shall be furnished and reviewed before any fabrication or erection is started. The contractor shall review and approve shop drawings prior to submittal to the architect for review. Poorly executed shop drawings will be rejected and shall be resubmitted.
 - The contractor shall be responsible for providing safe and adequate shoring for all parts of the structure during construction.
 - Temporary provisions shall be made for structural stability during construction.The structure shown on the drawings has been designed for stability under final configuration.
 - The contractor shall coordinate and verify all openings in floors, rooves, walls, and beams with the individual trades.
 - Notching or cutting any structural member in the field is prohibited.
 - The contractor shall verify the size and location of foundations under mechanical and electrical equipment as required. No concrete pads shall be located on roof unless shown on structural drawings.
 - Removal of forms and shoring shall be in accordance with ACI-347.
 - Materials:
 - Cast-in-place concrete:
 - (1) All concrete shall conform to the specifications for structural concrete, ACI 301-10.
 - (2) All exposed edges of concrete shall have a ¾" chamfer unless noted otherwise.
 - Normal weight concrete:
 - F'C = 4000 psi @ 28 days (air entrained) all exposed exterior concrete flat work (i.e. slabs, equipment pads, etc.)
 - F'C = 3000 psi @ 28 days (air entrained) - all interior concrete (i.e. footings, pedestals, etc.)
 - F'C = 3000 psi @ 28 days - all interior slabs.
 - The contractor shall not cast foundations, grade beams, or retaining walls against excavated vertical side surfaces
 - Reinforcing steel:
 - (1) All reinforcing steel shall be fabricated and placed in accordance with the building code requirements for structural concrete (ACI 318-14)
 - (2) All reinforcing steel shall conform to ASTM A615 grade 60 except stirrups, ties, and field-bent bars which shall conform to ASTM A615 grade 40.
 - (3) All slabs shall be reinforced as shown on the drawings.
 - (4) Where lapped splices in reinforcing occur, the minimum lap shall be made as follows unless noted otherwise on drawings:
 - Vertical reinforcing: 30 bar diam. or 18" minimum
 - horizontal reinforcing: 30 bar diam. or 18" minimum
 - All horizontal reinforcing in footings and walls shall be continuous around corners or have corner bars of the same size and spacing as the horizontal bars and lap a minimum of 30 bar diam. or 18" minimum.
 - Concrete cover for reinforcing shall be as follows unless otherwise noted:
 - Concrete cast against earth and permanently exposed to earth 3"
 - Concrete exposed to earth or weather:
 - Bars larger than no. 5 - 2"
 - Bars no.5 and smaller - 1-1/2"
 - Form ties shall be either of the threaded or snap-off type so that no metal will be left within 1 inch of the surface of the wall.
 - Bar supports and spacers for reinforcing shall be provided in accordance with ACI 315-10. Chairs with 22 ga. sand plates or precast blocks shall be provided for all reinforcing of concrete in contact with grade. Reinforcing shall be securely tied to supports.
 - Reinforcing shall not be tack welded or welded in any manner unless specifically detailed on the structural documents.
 - Structural and miscellaneous steel:
 - All structural steel shall be detailed and fabricated in accordance with the AISC "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".
 - All structural and miscellaneous steelmembers, shapes and connections shall conform to astm A36 unless noted otherwise.
 - All cold formed structural tubing shall conform to ASTM A500. Grade B.
 - Fy = 46 ksi.
 - Bolts shall conform to ASTM A325 tension control bolts unless noted otherwise, with sizes as shown on the drawings.
 - All bolts shall be tightened so as to shear the spline off the bolt.
 - Anchor bolts emmeded in concrete shall be ASTM A307 bolts or A36 threaded bars. Provide flat washers between all nuts and baseplates.
 - All welding shall be done in accordance with the latest standards of the AWS D1.1 Structural Welding Code-Steel.
 - All bolt holes that are required to be field drilled shall be drilled with a mag drill. Flame cutting of holes or enlarging of unfair holes will not be allowed.
 - Headed concrete anchors and shear connectors shall be type "b" in conformance with AWA D1.1. Structural steel to receive shear connections shall be free of paint. Welding pre qualification required.

FOUNDATION NOTES

- General :
 - A sub-surface soil investigation has not been done. Assumes soil characteristics are: stiff soil profile, with a standard penetration resistance of 15-50 N.
 - If inappropriate soils are encountered, the services of a registered geo-technical engineer should be obtained.
- Field observations and tests :
 - The contractor will employ the services of a registered, licensed geotechnical engineer to observe all controlled earthwork and shall provide continuous on-site observation by experienced personnel during construction of controlled earthwork. the contractor shall notify the geo-technical engineer at least 2 working days prior to any field operations of the controlled earthwork.
- Test of materials shall be made at the following rates:
 - One field density test per each 250 square yards of compacted subgrade prior to placing structural fill with a minimum of 3 tests.
 - One field density test per each 150 cubic yards of compacted fill placed or each horizontal layer of structural fill, whichever is greater.
 - One moisture-density curve for each type of material used, as indicated by sieve analysis and plasticity index.
- The geotechnical engineer shall submit the results of all required tests.
- Clearing and grubbing :
 - Strip and remove any existing vegetation, organic top soils, debris, and other deleterious materials from the building area. All exposed surfaces should be free of mounds and depressions that could prevent uniform compaction.
- Structural fill requirements:
 - Gradation (ASTM D422):

Sieve size percent	Passing by weight
6"	100
4"	85-100
3/4"	70-100
no.4 sieve	50-100
no. 200 sieve	40 (max)
 - Maximum expansive potential 1.5% maximum soluble sulfates - 0.10%
 - Material larger than 6 inches shall not be placed in the structural fill, and material larger than 4 inches shall not be placed within 12 inches of the bearing surfaces of slabs or foundations.
 - No brush, sod, frozen material or other unsuitable material shall be placed in the structural fill. Material shall be placed in such a manner as to result in a uniformly compacted fill.
- Compaction requirements:
 - Subgrade soils and structural fill materials shall be compacted to the following percentages of the ASTM D1557 maximum dry density at +3/-1% optimum moisture content.

Minimum	Material percent compaction
on-site soil, reworked and fill	95%
imported soil	95%
aggregate base course below slab-on-grade	95%

TABLE OF ABBREVIATIONS

APPROX	APPROXIMATE	MH	MANHOLE
ARCH	ARCHITECT	MIN	MINIMUM
AVG	AVERAGE	MISC	MISCELLANEOUS
B+B	BALLED AND BURLAPPED	N	NORTH
BF	BOTTOM OF FOOTING	NIC	NOT IN CONTRACT
BLDG	BUILDING	NO	NUMBER
BM	BENCHMARK	NOM	NOMINAL
BCC	BACK OF CURB	NTS	NOT TO SCALE
BR	BOTTOM OF RAMP	OC	ON CENTER
BS	BOTTOM OF STEP	OD	OUTSIDE DIAMETER
BW	BOTTOM OF WALL	OPP	OPPOSITE
CAL	CALIPER	PAR	PARALLEL
CAP	CAPACITY	PC	POINT OF CURVATURE
CF	CUBIC FEET	PE	POLYURETHANE
CHAM	CHAMFER	PERF	PERFORATED
CIP	CAST IN PLACE	PED	PEDESTRIAN
CJ	CONTROL JOINT	PI	POINT OF INTERSECTION
CL	CENTER LINE	PL	PROPERTY LINE
CLR	CLEARANCE	PT	POINT, POINT OF TANGENCY
CM	CENTIMETER	PVC	POLYVINYL CHLORIDE
CO	CLEAN OUT	PVMT	PAVEMENT
COMP	COMPACTED	PVR	PAVER
CONC	CONCRETE	QTY	QUANTITY
CONST	CONSTRUCTION	REF	RADIUS
CONT	CONTINUOUS	REFERENCE	REFERENCE
CONTR	CONTRACTOR	REINF	REINFORCE(D)
CU	CUBIC	REQ'D	REQUIRED
CY	CUBIC YARD	REV	REVISION, REVISED
DEMO	DEMOLISH, DEMOLITION	ROW	RIGHT OF WAY
DIA	DIAMETER	RT	RIGHT
DIM	DIMENSION	S	SOUTH
DTL	DETAIL	SS	SANITARY SEWER
DWG	DRAWING	SCH	SCHEDULE
E	EAST	SD	STORM DRAIN
EA	EACH	SEC	SECTION
EJ	EXPANSION JOINT	SF	SQUARE FOOT (FEET)
EL	ELEVATION	SHT	SHEET
ELEC	ELECTRICAL	SIM	SIMILAR
ENG	ENGINEER	SNT	SEALANT
EQ	EQUAL	SPECS	SPECIFICATIONS
EQUIP	EQUIPMENT	SQ	SQUARE
EST	ESTIMATE	ST	STORM SEWER
E.W.	EACH WAY	SY	SQUARE YARD
EXIST	EXISTING	STA	STATION
EXP	EXPANSION, EXPOSED	STD	STANDARD
FFE	FINISHED FLOOR ELEVATION	STL	STEEL
FG	FINISHED GRADE	STRL	STRUCTURAL
FIN	FINISH	SYM	SYMMETRICAL
FL	FLOW LINE	T&B	TOP AND BOTTOM
FLOW	FACE OF WALL	TBC	TOP OF BACK CURB
FTG	FOOT (FEET)	TC	TOP OF CURB
FTG	FOOTING	TF	TOP OF FOOTING
GA	GAUGE	TRANS	ELECTRIC TRANSFORMER
GAL	GALVANIZED	TOC	TOP OF CONCRETE
GEN	GENERAL	TOPO	TOPOGRAPHY
HORIZ	HORIZONTAL	TR	TOP OF RAMP
HP	HIGH POINT	TSL	TOP OF SLAB
HT	HEIGHT	TS	TOP OF STEP
ID	INSIDE DIAMETER	TW	TOP OF WALL
INCL	INCLUDE(D)	TYP	TYPICAL
IRR	IRRIGATION	VAR	VARIES
JT	JOINT	VERT	VERTICAL
LIN	LINEAR	VEH	VEHICLE
LF	LINEAR FEET	VOL	VOLUME
LP	LOW POINT	W/	WITH
LT	LIGHT	W/O	WITHOUT
MATL	MATERIAL	WT	WEIGHT
MAX	MAXIMUM	WWF	WELDED WIRE FABRIC
MEMB	MEMBRANE	YD	YARD
MD	MAIN DISCONNECT SWITCH	@	AT

REVISIONS

ISSUED	DATE	DESCRIPTION
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DESIGN ENGINEER
PO Box 2758
Santa Fe, NM 87504
t 505.989.3557

HYDROSYSTEMS KDI
860 Tabor Street, Suite 200
Lakewood, CO 80401-5654
t 303.980.5327
www.hydrosystemsdi.com

design office
landscape planning urbanism

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www.do-designoffice.com



ROMERO PARK - SITE IMPROVEMENTS

SANTA FE COUNTY

2100 CAJA DEL ORO GRANT ROAD
SANTA FE, NEW MEXICO 87507

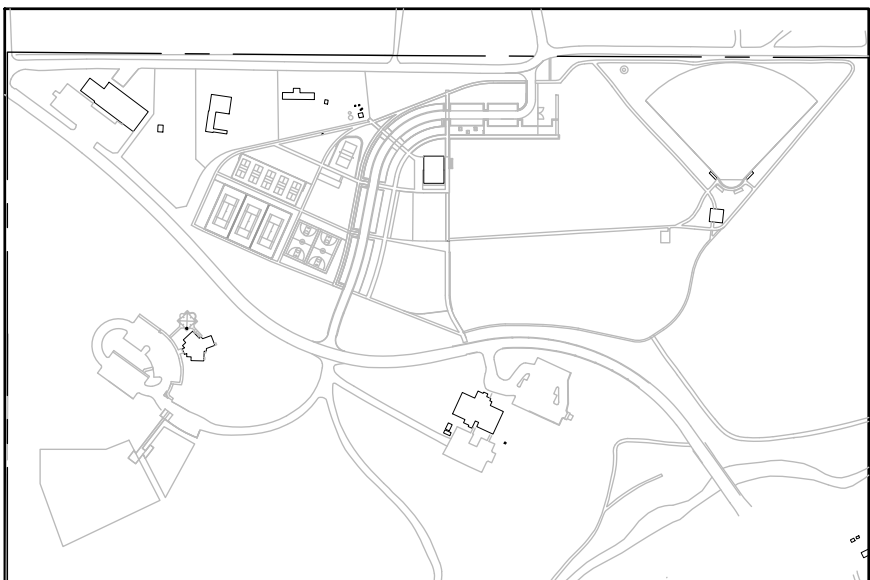
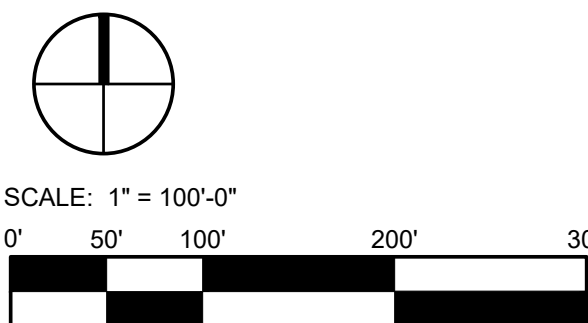
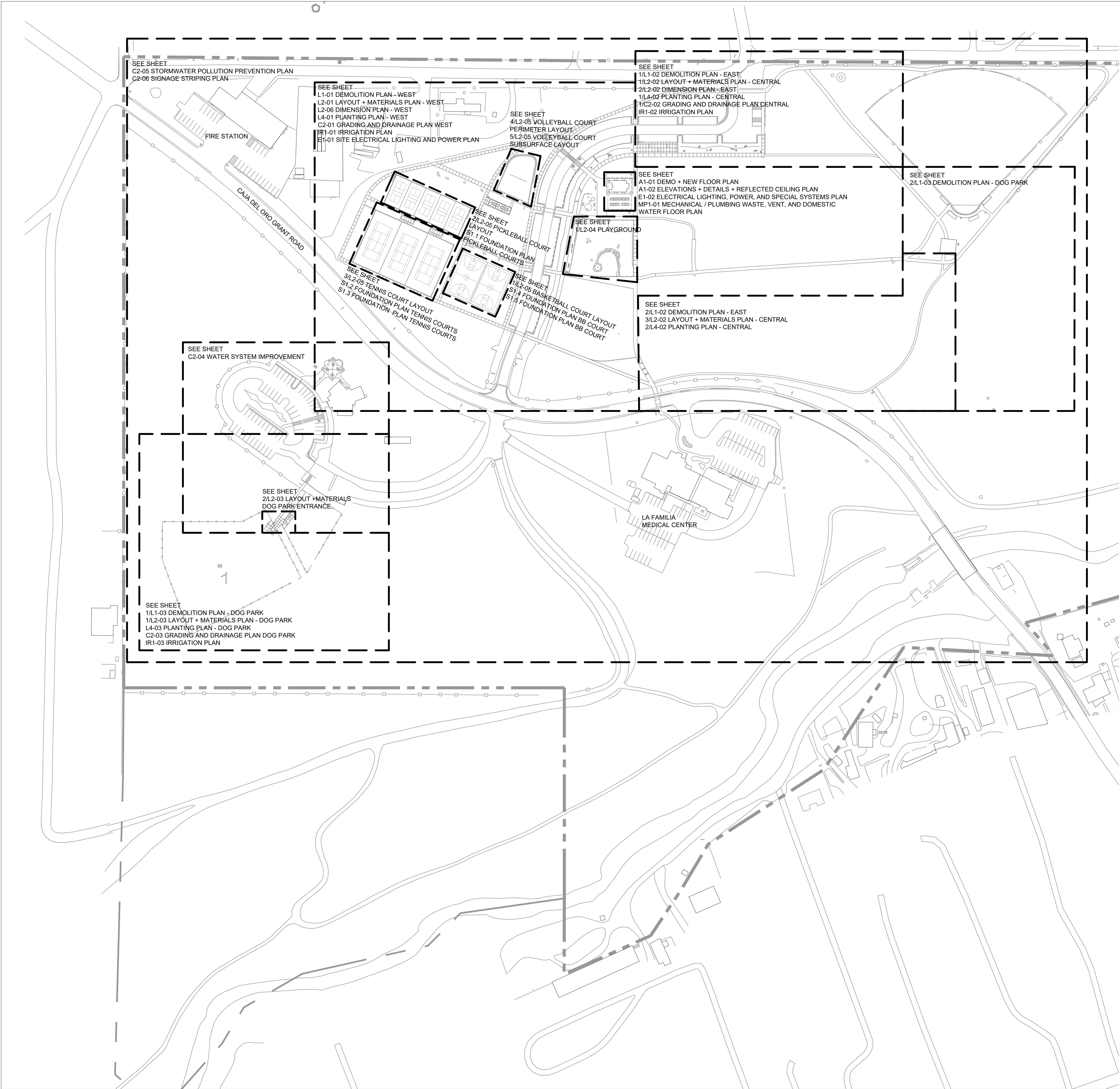
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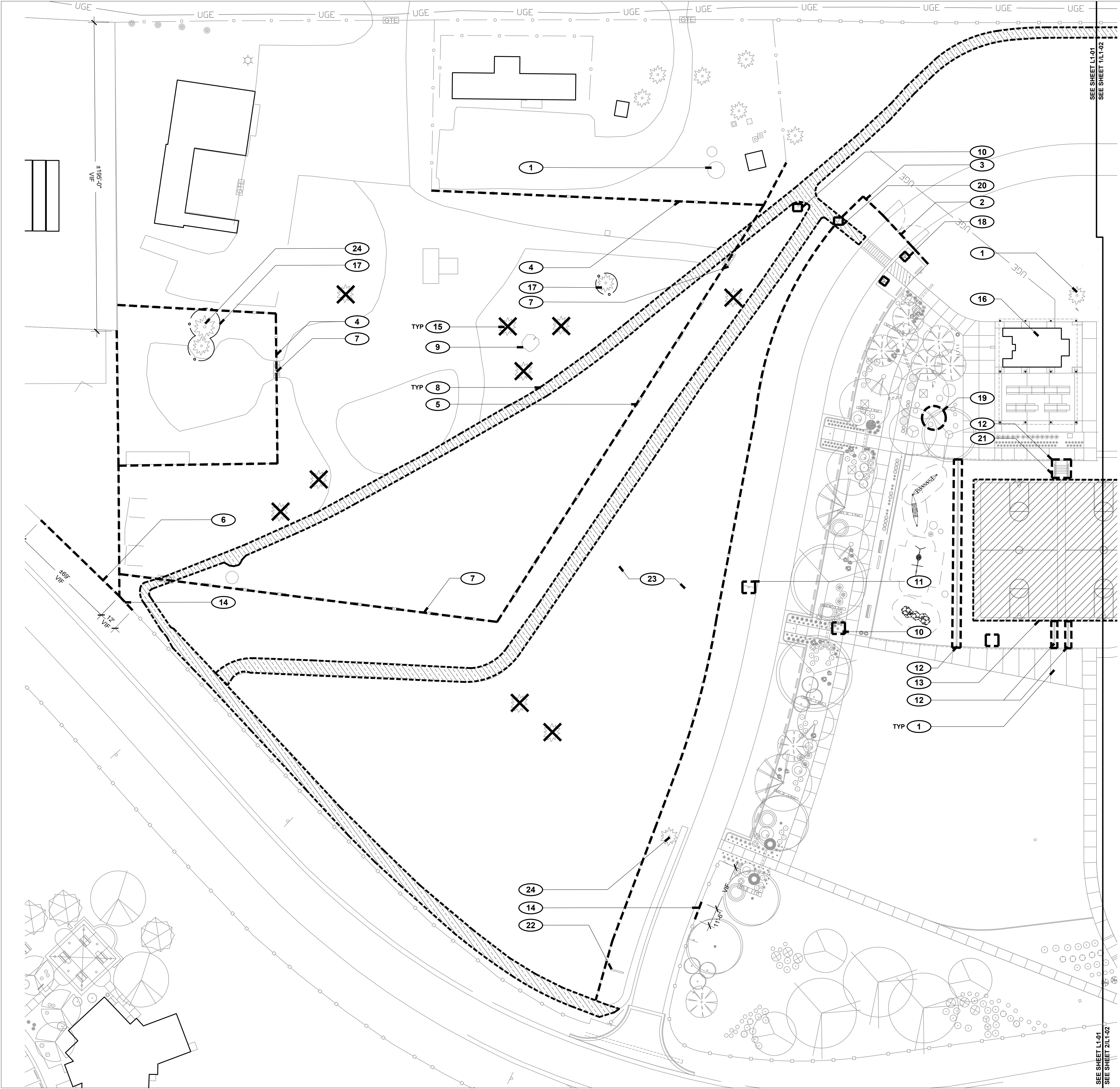
GENERAL NOTES

SHEET NUMBER

L0-00



REVISIONS		
ISSUED	DATE	DESCRIPTION
DESIGN ENGINEER PO Box 2758 Santa Fe, NM 87504 t 505.989.3557		HYDROSYS/STMS KDI 860 Tabor Street, Suite 200 Lakewood, CO 80401-5954 t 303.980.5327 www.hydrosyskdi.com
<div>design office</div> <div>landscape planning urbanism</div> <div>DESIGN OFFICE 1300 Luisa street, Suite 24 Santa Fe, NM 87505 t 505.983.1415 www.do-designoffice.com</div>		
<div>ROMERO PARK - SITE IMPROVEMENTS</div> <div>SANTA FE COUNTY</div> <div>2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507</div>		
DRAWN BY CH	DATE December 20, 2019	
SHEET TITLE KEY PLAN		
SHEET NUMBER L0-01		

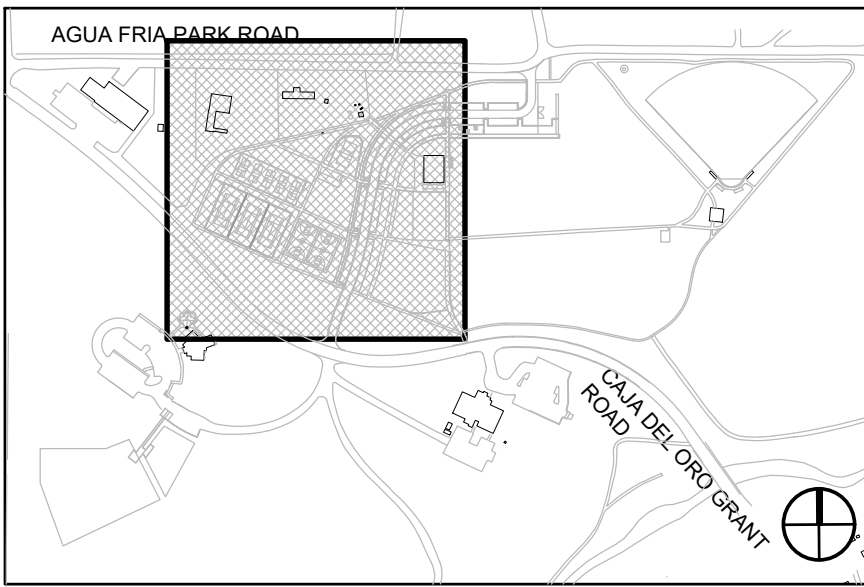
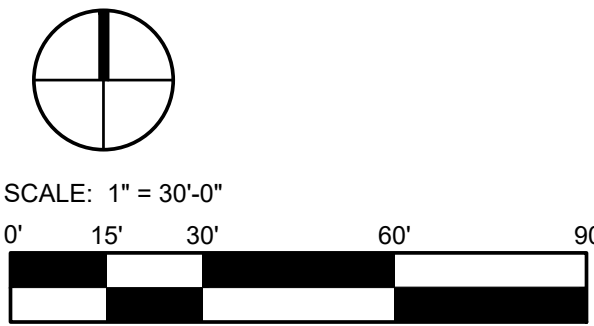


DEMOLITION LEGEND

- PROPERTY BOUNDARY
- MATCH LINE
- POST AND CABLE (EXISTING)
- CHAIN LINK FENCE, EXISTING
- TREE (EXISTING)
- SITE ELEMENT REMOVAL / SALVAGE
- FENCE REMOVAL / SALVAGE
- TREE REMOVAL
- CONCRETE REMOVAL
- ASPHALT REMOVAL
- TREE PROTECTION FENCING

DEMOLITION KEYED NOTES

- 1 PRESERVE AND PROTECT EXISTING SITE ELEMENTS TO REMAIN, TYP.
- 2 SALVAGE RANCH GATES; SEE LAYOUT PLANS FOR NEW LOCATIONS; RELOCATE SIGN TO NORTH EMERGENCY ACCESS GATE.
- 3 5-STRAND BARBLESS FENCE; REMOVE AND SALVAGE FENCE POSTS FOR FUTURE REUSE, TYP.
- 4 CHAIN LINK FENCE; REMOVE AND SALVAGE TOP RAIL AND POSTS; SECURE AND FASTEN EXISTING MESH TO REMAIN, TYP.
- 5 COYOTE FENCE; REMOVE AND SALVAGE POSTS, GATES, AND LATILLAS FOR FUTURE REUSE; REMOVE TO FULL DEPTH OF CONSTRUCTION; SEE LAYOUT PLAN FOR COYOTE FENCE RELOCATION.
- 6 METAL PANEL FENCE; REMOVE AND SALVAGE MATERIAL FOR FUTURE REUSE; SEE LAYOUT PLAN; DELIVER UNUSED PANELS TO FIRE STATION. CONFIRM EXTENT OF REMOVE IN FIELD.
- 7 SALVAGE GATE AND GATE MATERIAL; DELIVER TO MAINTENANCE YARD; COORDINATE STORAGE LOCATION WITH OWNER, TYP.
- 8 REMOVE ASPHALT PATH TO FULL DEPTH OF CONSTRUCTION, TYP.; SAW CUT ENDS CLEAN; RECYCLE MATERIAL FOR REUSE ON SITE AS BASE COURSE MATERIAL; SEE CIVIL; CONFIRM EXTENT OF REMOVAL IN FIELD WITH LANDSCAPE ARCHITECT PRIOR TO DEMOLITION.
- 9 WATER TANK OVERFLOW DRAIN / POND; SALVAGE ROCK; SEE CIVIL PLANS FOR PIPE EXTENSION / RECONFIGURATION.
- 10 SALVAGE TRAIL MARKER AND SIGNS FOR FUTURE REUSE; SEE LAYOUT PLAN FOR NEW LOCATION.
- 11 REMOVE SIGN FOOTING TO FULL DEPTH OF CONSTRUCTION AND DISPOSE OF OFF SITE.
- 12 SALVAGE WOOD TIMBER SITE ELEMENT; STORE ON SITE IN PROTECTED LOCATION FOR FUTURE REUSE.
- 13 REMOVE CONCRETE BASKETBALL COURTS TO FULL DEPTH OF CONSTRUCTION AND DISPOSE OFF SITE; SALVAGE POLES, BACKBOARDS AND GOALS FOR FUTURE REUSE.
- 14 POST AND CABLE FENCE: REMOVE AND SALVAGE POST COMPONENTS FOR FUTURE REUSE; SEE LAYOUT PLANS; CONFIRM EXTENT OF REMOVAL IN FIELD WITH LANDSCAPE ARCHITECT; TIE OFF ENCS AT POST OR INSTALL NEW END POST TO TERMINATE FENCE PER DETAIL 3/L3-03.
- 15 REMOVE EXISTING TREE, INCLUDING ROOTS; CHIP TREE AND STORE WOOD CHIPS ON SITE FOR FUTURE REUSE, TYP.
- 16 SEE ARCHITECTURAL PLANS FOR BUILDING SELECTIVE DEMOLITION.
- 17 PRESERVE AND PROTECT EXISTING TREE TO REMAIN; INSTALL TREE PROTECTION FENCING AROUND PER/METER 5' FROM DRIP LINE OF TREE; MAINTAIN FENCE FOR DURATION OF CONSTRUCTION, TYP.
- 18 REMOVE ADA PARKING SYMBOLS AND STRIPING FROM SURFACE OF CONCRETE; PRESERVE AND PROTECT CONCRETE TO REMAIN.
- 19 REMOVE EXISTING PLAY SAND TO FULL DEPTH; REUSE ON SITE; PRESERVE AND PROTECT STOCKTANK TO REMAIN.
- 20 REMOVE AND SALVAGE BOLLARD FOR FUTURE REUSE.
- 21 REMOVE AND SALVAGE METAL HANDRAILS, BOTH SIDES, TO FULL DEPTH OF CONSTRUCTION, TYP. SEE PLANS FOR RELOCATION.
- 22 REMOVE AND SALVAGE SIGN LETTERING AND ALUMINUM PLAQUE; INCLUDING MOUNTING POSTS; COORDINATE STORAGE LOCATION WITH OWNER.
- 23 SALVAGE TOPSOIL: SPREAD TOPSOIL IN AREAS TO BE RESEEDDED; CONFIRM AREAS TO BE HARVESTED AND AREAS TO APPLY TOPSOIL IN FIELD WITH LANDSCAPE ARCHITECT, TYP.
- 24 TRIM EXISTING TREE AS DIRECTED BY LANDSCAPE ARCHITECT TO ALLOW FOR NEW CONSTRUCTION. UTILIZE ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) GUIDELINES FOR TREE PRUNING, TYP.



REVISIONS

ISSUED	DATE	DESCRIPTION
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DESIGN ENGINEITY

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design office

landscape planning urbanism

DESIGN OFFICE

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www.do-designoffice.com

STATE OF NEW MEXICO

12.10.2014

C. Meyer

CLAUDIA MEYER HORN

371

REGISTERED LANDSCAPE ARCHITECT

ROMERO PARK - SITE IMPROVEMENTS

SANTA FE COUNTY

2100 CAJA DEL ORO GRANT ROAD

SANTA FE, NEW MEXICO 87507

DRAWN BY

CH

DATE

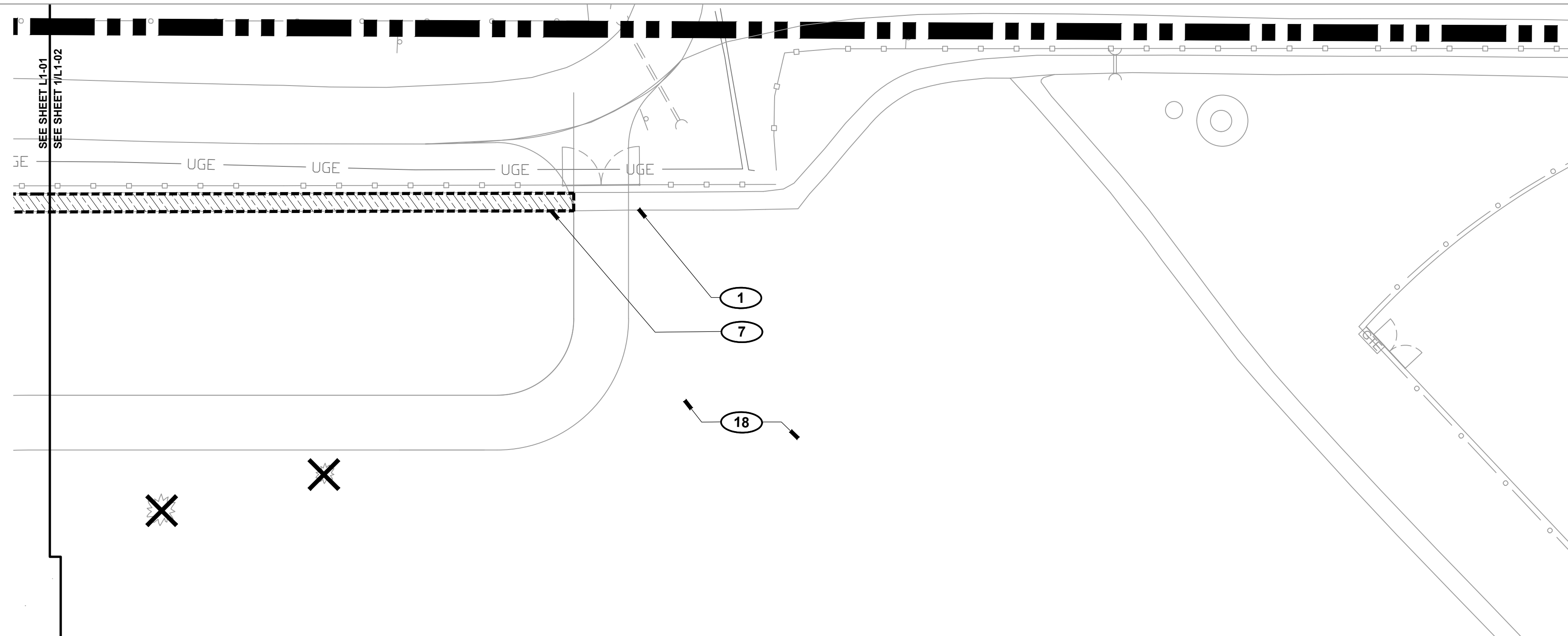
December 20, 2019

SHEET TITLE

DEMOLITION PLAN - WEST

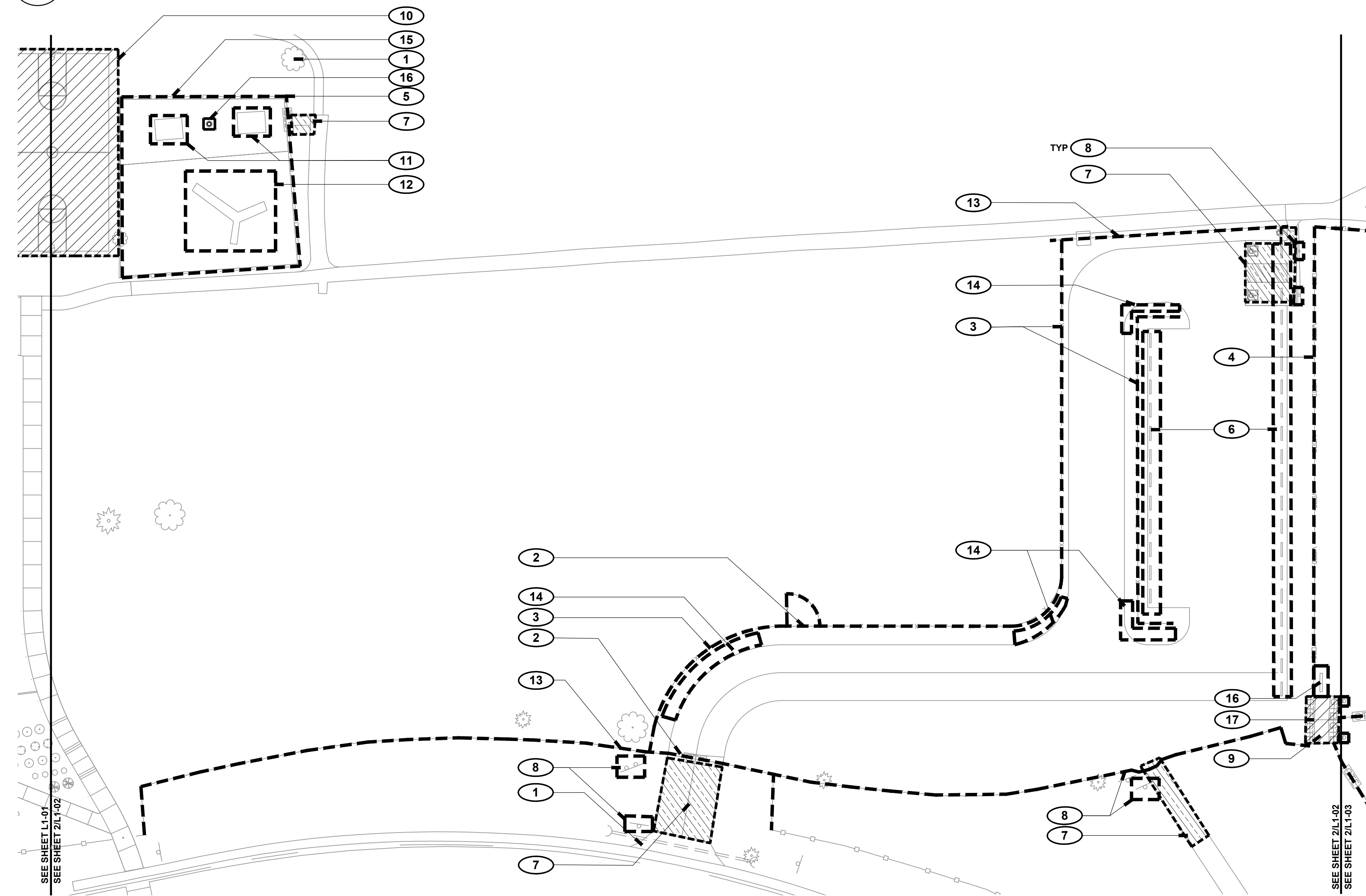
SHEET NUMBER

L1-01



1 NORTH ACCESS

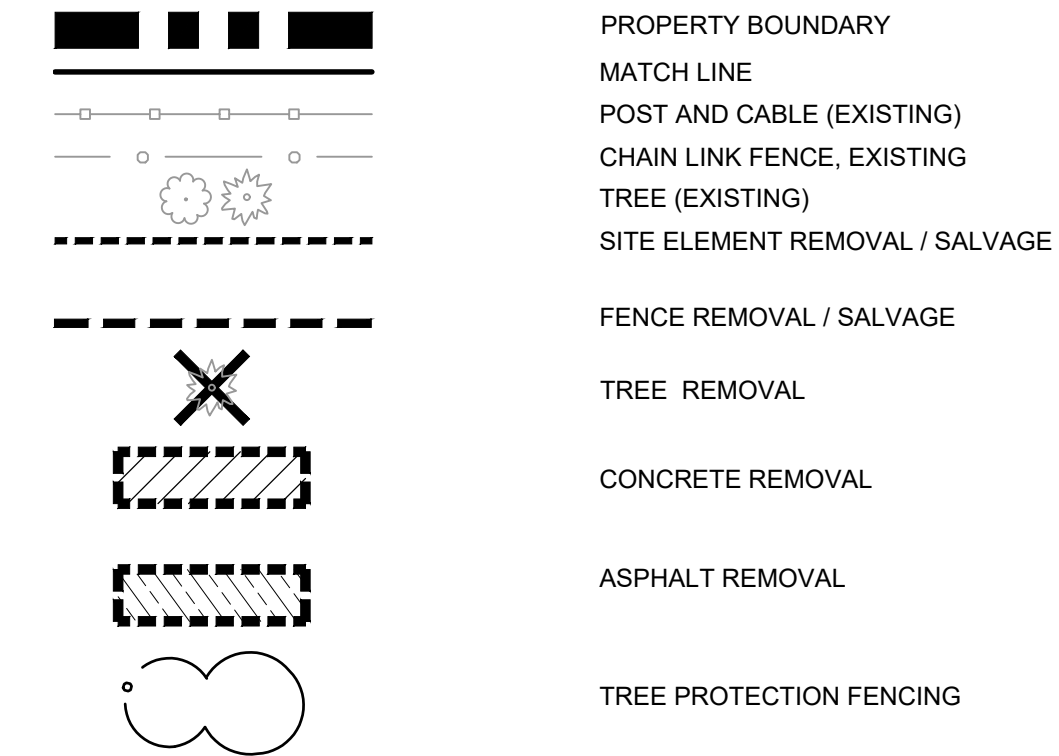
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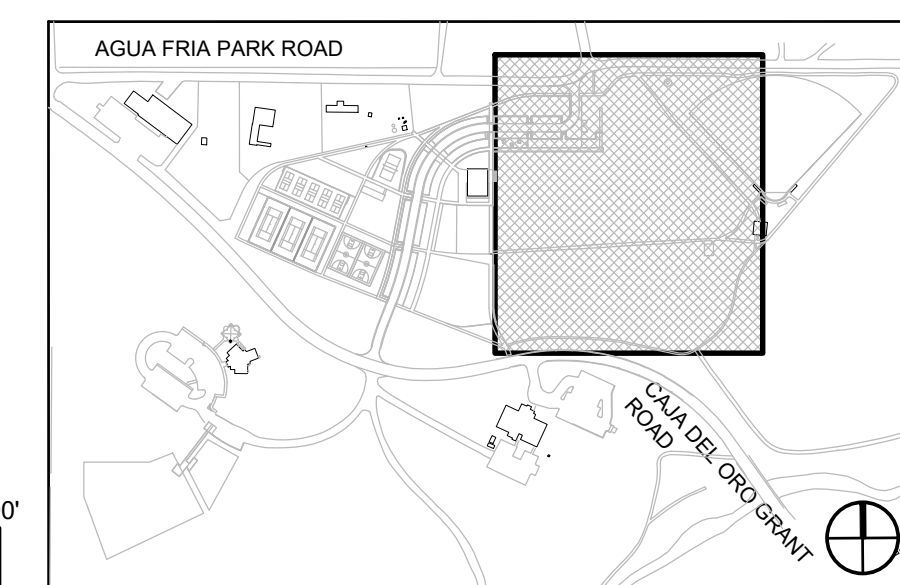
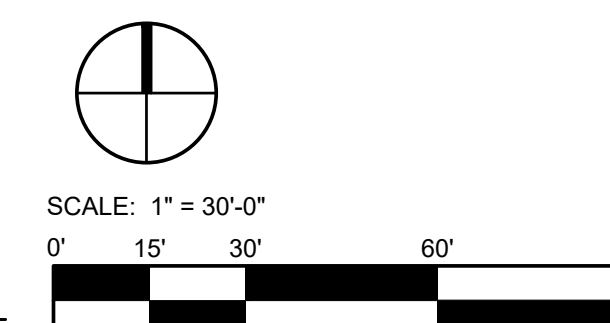
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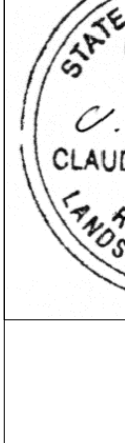
DEMOLITION LEGEND

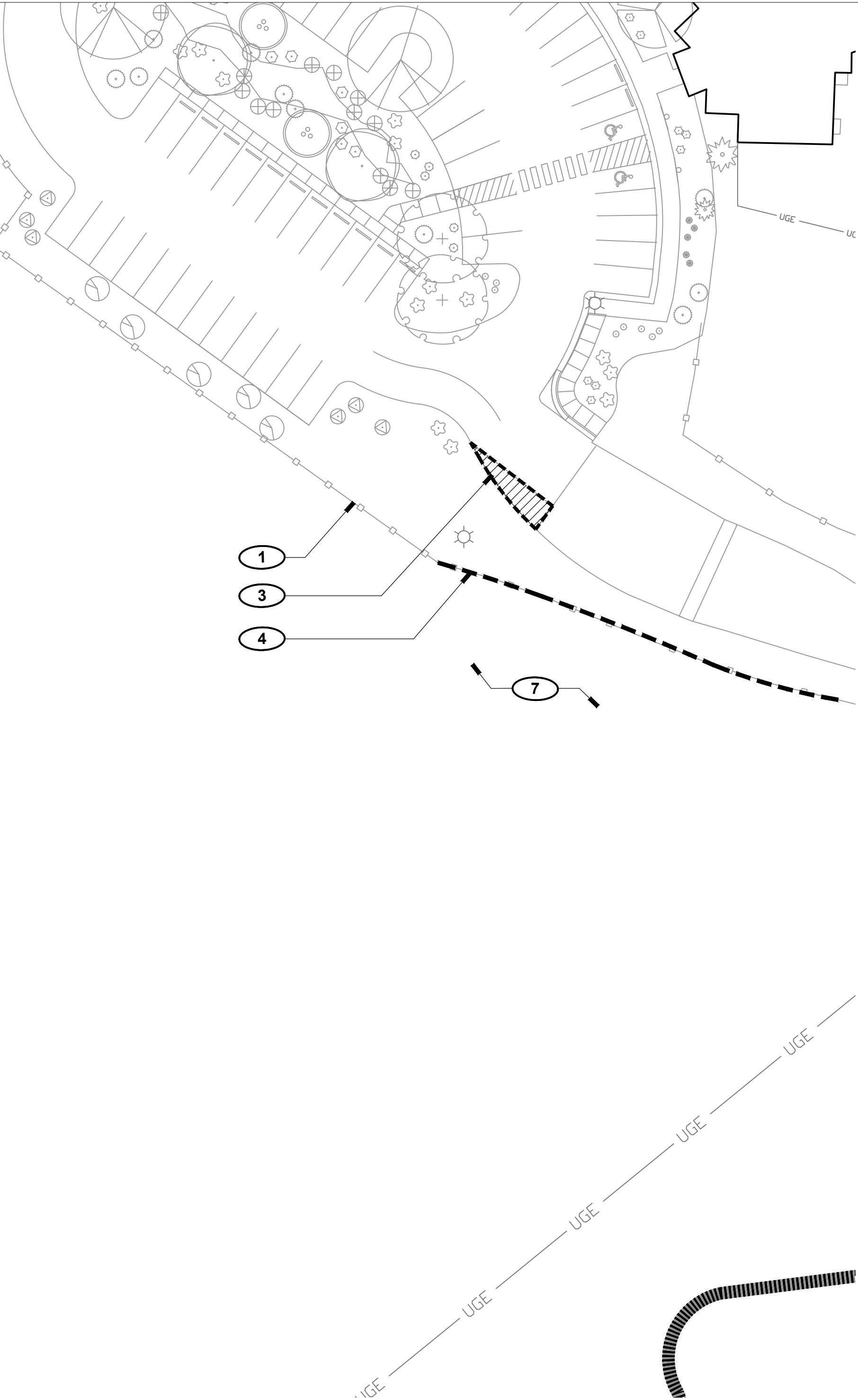


DEMOLITION KEYED NOTES

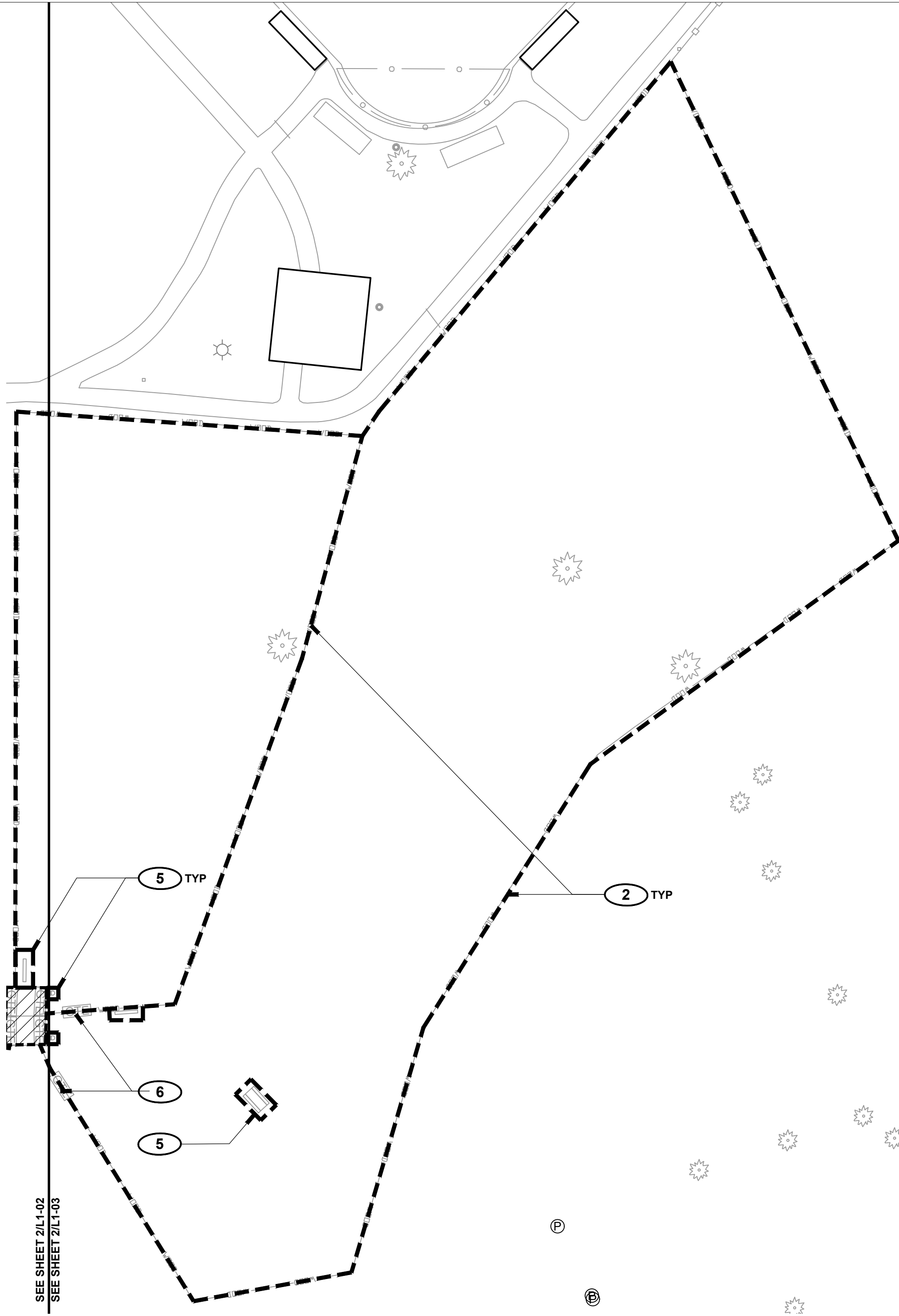
- 1 PRESERVE AND PROTECT EXISTING SITE ELEMENTS TO REMAIN, TYP.
- 2 METAL GATE: REMOVE AND SALVAGE FOR FUTURE USE; SEE LAYOUT PLANS FOR NEW LOCATION.
- 3 5-STRAND BARBLESS FENCE; REMOVE AND SALVAGE FENCE POSTS FOR FUTURE REUSE, TYP.
- 4 WOOD POST AND RAIL FENCE WITH WIRE MESH; REMOVE AND SALVAGE FOR FUTURE REUSE; SEE LAYOUT PLAN FOR NEW FENCE LOCATION; FILL POST HOLES AND SMOOTH OUT EXISTING GRADES; SALVAGE SIGNAGE FOR FUTURE REUSE.
- 5 CHAIN LINK FENCE AND GATE; SALVAGE GATE; REMOVE AND SALVAGE TOP RAIL AND POSTS.
- 6 SALVAGE CONCRETE PARKING BUMPERS FOR FUTURE REUSE; STORE IN LOCATION AS DIRECTED BY OWNER, TYP.
- 7 REMOVE ASPHALT PAVING TO FULL DEPTH OF CONSTRUCTION, TYP.; SAW CUT ENDS CLEAN; RECYCLE MATERIAL FOR REUSE ON SITE AS BASE COURSE MATERIAL; SEE CIVIL; CONFIRM EXTENT OF REMOVAL IN FIELD WITH LANDSCAPE ARCHITECT PRIOR TO DEMOLITION.
- 8 SALVAGE SIGNS AND POSTS FOR FUTURE REUSE.
- 9 SALVAGE FENCE AND GATE AS DIRECTED BY OWNER, TYP.
- 10 REMOVE CONCRETE BASKETBALL COURTS TO FULL DEPTH OF CONSTRUCTION AND DISPOSE OFF SITE; SALVAGE POLES, BACKBOARDS AND GOALS FOR FUTURE REUSE.
- 11 SALVAGE EXISTING METAL SHADE STRUCTURES; STRUCTURAL MEMBERS TO REMAIN INTACT AND SERVICEABLE FOR FUTURE REUSE / INSTALLATION ON SITE; SALVAGE PICNIC TABLES FOR FUTURE REUSE, TYP; REMOVE CONCRETE PADS / FOOTINGS TO FULL DEPTH AND DISPOSE OFF SITE.
- 12 SALVAGE EXISTING PLAYGROUND EQUIPMENT AND ENGINEERED WOOD FIBER; STORE IN LOCATION AS DIRECTED BY OWNER.
- 13 POST AND CABLE FENCE; REMOVE AND SALVAGE POSTS AND CABLE, TYP.; CONFIRM EXTENT OF REMOVAL IN FIELD; TIE OFF SECTIONS TO REMAIN AS PER DETAIL 3/L3-03.
- 14 WOOD POST; REMOVE AND SALVAGE FOR FUTURE REUSE.
- 15 REMOVE PERIMETER RAIL ROAD TIES AND DISPOSE OFF SITE; REMOVE AND SALVAGE PEAGRAVEL FOR FUTURE REUSE; REMOVE AND SALVAGE BLACK PLASTIC CURBING FOR FUTURE REUSE.
- 16 SALVAGE SITE FURNISHING FOR FUTURE REUSE, TYP.
- 17 SALVAGE GATE SIGNS FOR FUTURE REUSE, TYP.
- 18 COORDINATE TOPSOIL STOCKPILE LOCATION WITH LANDSCAPE ARCHITECT; AREAS TO BE RESEED TO RECEIVE HARVESTED TOPSOIL, SEE PLANTING PLAN, TYP.



REVISIONS		ISSUED	DATE	DESCRIPTION
<p>DESIGN ENGINEER C. BOYLE Santa Fe, NM 87504 t 505-986-3557</p>		<p>HYDROSYSTEMS KDI 860 Tabor Street, Suite 200 Lakewood, CO 80401-5954 t 303-980-5327 www.hydrosystemsdi.com</p>		
<p>design office landscape planning urbanism</p> <p>DESIGN OFFICE 1300 Luisa street, Suite 24 Santa Fe, NM 87505 t 505.983.1415 www.db-designoffice.com</p>				
<p>ROMERO PARK - SITE IMPROVEMENTS</p>		<p>STATE OF NEW MEXICO 12.10.2015  CLAUDIA MEYER HORN 371 REGISTERED LANDSCAPE ARCHITECT</p>		
<p>SANTA FE COUNTY</p>		<p>2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507</p>		
<p>DRAWN BY CH</p>		<p>DATE December 20, 2019</p>		
<p>SHEET TITLE</p> <p>DEMOLITION PLAN - EAST</p>				
<p>SHEET NUMBER</p> <p>L1-02</p>				



1
NEW DOG PARK AREA
L1-03
SCALE: 1" = 30'-0"



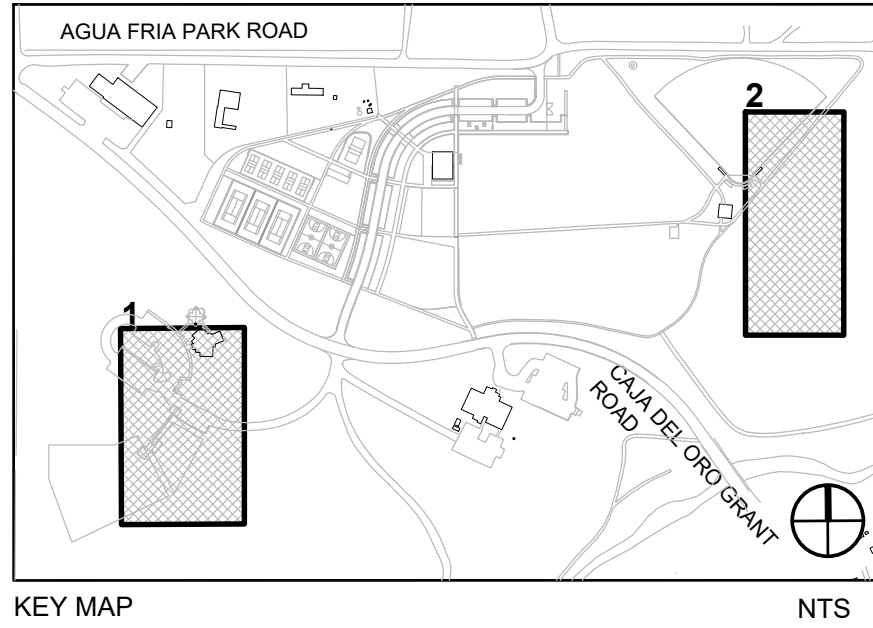
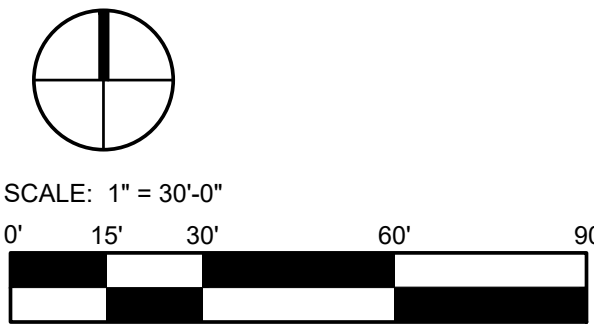
2
OLD DOG PARK AREA
L1-03
SCALE: 1" = 30'-0"

DEMOLITION LEGEND

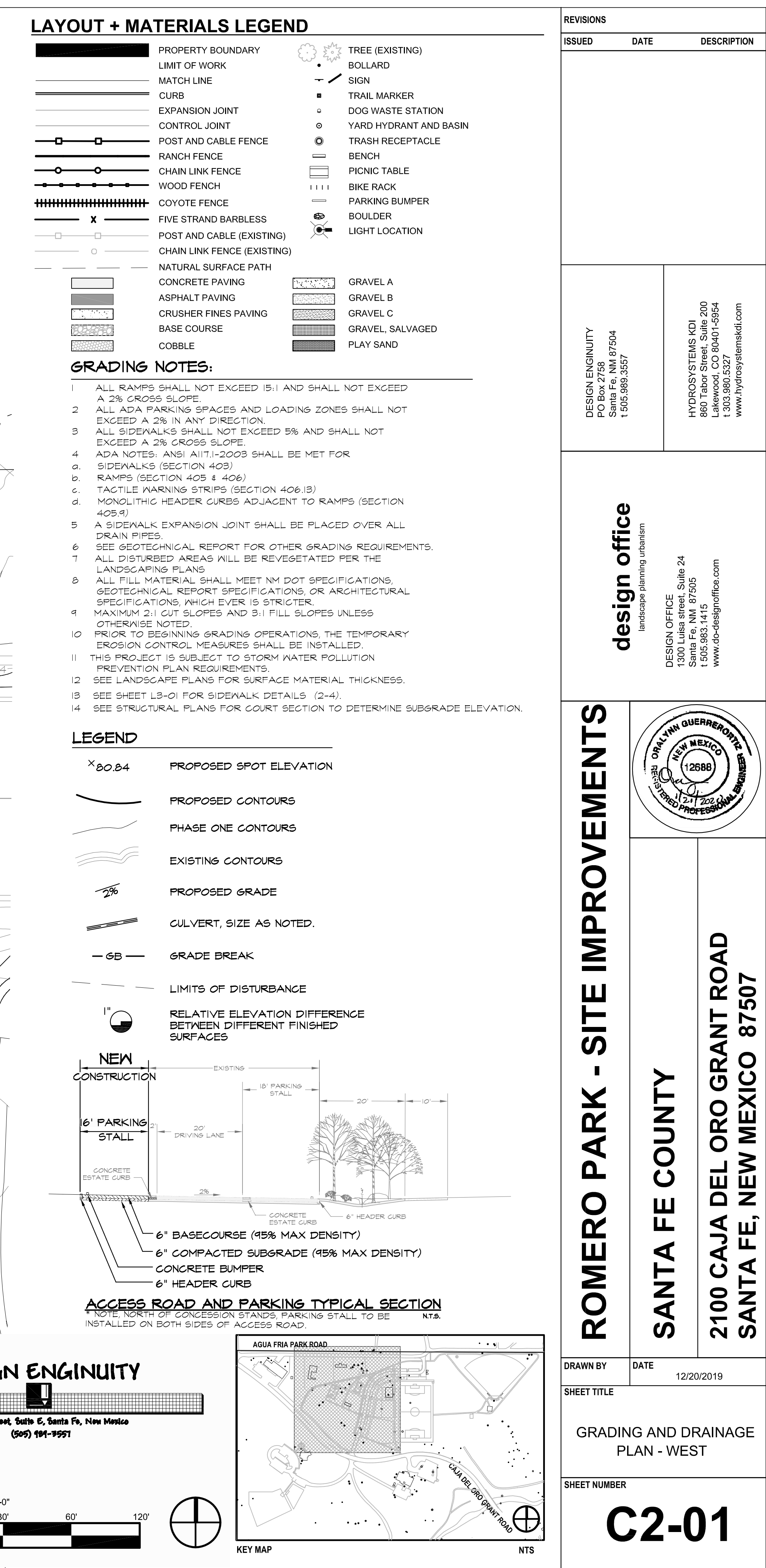
- PROPERTY BOUNDARY
- MATCH LINE
- POST AND CABLE (EXISTING)
- CHAIN LINK FENCE, EXISTING
- TREE (EXISTING)
- SITE ELEMENT REMOVAL / SALVAGE
- FENCE REMOVAL / SALVAGE
- TREE REMOVAL
- CONCRETE REMOVAL
- ASPHALT REMOVAL
- TREE PROTECTION FENCING

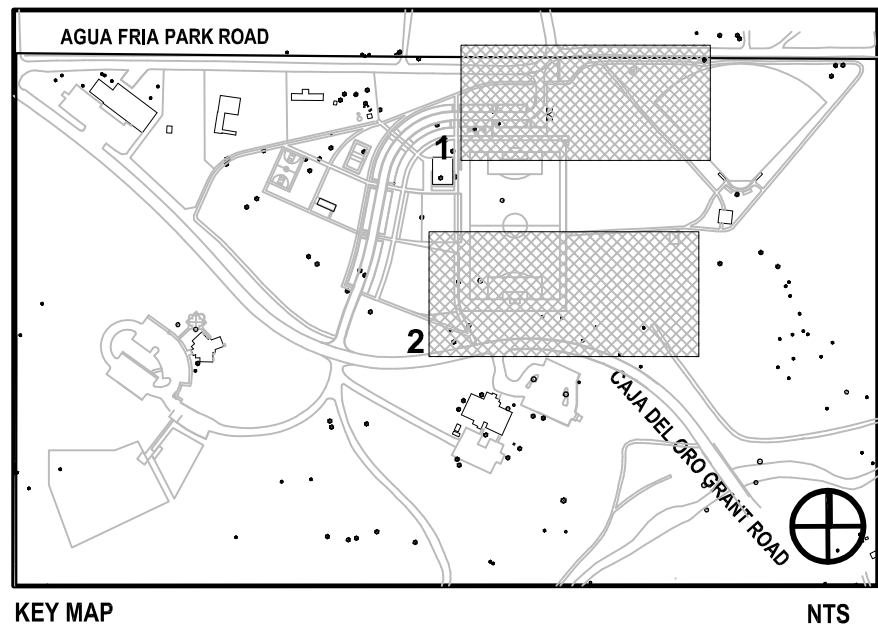
DEMOLITION KEYED NOTES

- 1 PRESERVE AND PROTECT EXISTING SITE ELEMENTS TO REMAIN, TYP.
- 2 WOOD POST AND RAIL FENCE WITH WIRE MESH; REMOVE AND SALVAGE FOR FUTURE REUSE; SEE LAYOUT PLAN FOR NEW FENCE LOCATION; FILL POST HOLES AND SMOOTH OUT EXISTING GRADES; SALVAGE SIGNAGE FOR FUTURE REUSE.
- 3 REMOVE ASPHALT PAVING TO FULL DEPTH OF CONSTRUCTION, TYP.; SAW CUT ENDS CLEAN SHORE UP REMAINING TO PREVENT EROSION OF EDGE; RECYCLE MATERIAL FOR REUSE ON SITE AS BASE COURSE MATERIAL; SEE CIVIL; CONFIRM EXTENT OF REMOVAL IN FIELD WITH LANDSCAPE ARCHITECT PRIOR TO DEMOLITION.
- 4 POST AND CABLE FENCE; REMOVE AND SALVAGE POSTS AND CABLE, TYP.; CONFIRM EXTENT OF REMOVAL IN FIELD; TIE OFF SECTIONS TO REMAIN AS PER DETAIL 3/L3-03.
- 5 SALVAGE SITE FURNISHING FOR FUTURE REUSE, TYP.
- 6 SALVAGE GATE FOR FUTURE REUSE, TYP.
- 7 COORDINATE TOPSOIL STOCKPILE LOCATION WITH LANDSCAPE ARCHITECT; AREAS TO BE RESEED TO RECEIVE HARVESTED TOPSOIL, SEE PLANTING PLAN, TYP.



REVISIONS		
ISSUED	DATE	DESCRIPTION
DESIGN ENGINEER PO Box 2758 Santa Fe, NM 87504 t 505.989.3557		HYDROSYSTEMS KDI 860 Tabor Street, Suite 200 Lakewood, CO 80401-5954 t 303.980.5327 www.hydro-systems.com
design office landscape planning urbanism DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505.983.1415 www.do-designoffice.com		
ROMERO PARK - SITE IMPROVEMENTS		
SANTA FE COUNTY		
2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
DRAWN BY CH		
DATE December 20, 2019		
SHEET TITLE DEMOLITION PLAN - DOG PARK		
SHEET NUMBER L1-03		





GRADING NOTES:

- ALL RAMPS SHALL NOT EXCEED 15:1 AND SHALL NOT EXCEED A 2% GROSS SLOPE.
- ALL ADA PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED A 2% IN ANY DIRECTION.
- ALL SIDEWALKS SHALL NOT EXCEED 5% AND SHALL NOT EXCEED A 2% GROSS SLOPE.
- ADA NOTES: ANSI A117.1-2003 SHALL BE MET FOR
 - a. SIDEWALKS (SECTION 403)
 - b. RAMPS (SECTION 405 & 406)
 - c. TACTILE WARNING STRIPS (SECTION 406.13)
 - d. MONOLITHIC HEADER CURBS ADJACENT TO RAMPS (SECTION 405.9)
- A SIDEWALK EXPANSION JOINT SHALL BE PLACED OVER ALL DRAIN PIPES.
- SEE GEOTECHNICAL REPORT FOR OTHER GRADING REQUIREMENTS.
- ALL DISTURBED AREAS WILL BE REVEGETATED PER THE LANDSCAPING PLANS
- ALL FILL MATERIAL SHALL MEET NM DOT SPECIFICATIONS, GEOTECHNICAL REPORT SPECIFICATIONS, OR ARCHITECTURAL SPECIFICATIONS, WHICHEVER IS STRICTER.
- MAXIMUM 2:1 CUT SLOPES AND 3:1 FILL SLOPES UNLESS OTHERWISE NOTED
- PRIOR TO BEGINNING GRADING OPERATIONS, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED.
- THIS PROJECT IS SUBJECT TO STORM WATER POLLUTION PREVENTION PLAN REQUIREMENTS.
- SEE LANDSCAPE PLANS FOR SURFACE MATERIAL THICKNESS.
- SEE SHEET L3-01 FOR SIDEWALK DETAILS (2-4).
- SEE STRUCTURAL PLANS FOR CURT SECTION TO DETERMINE SUBGRADE ELEVATION

	PROPOSED SPOT ELEVATION
	PROPOSED CONTOURS
	PHASE ONE CONTOURS
	EXISTING CONTOURS
	PROPOSED GRADE
	CULVERT, SIZE AS NOTED.
	GRADE BREAK
	LIMITS OF DISTURBANCE
	RELATIVE ELEVATION DIFFERENCE BETWEEN DIFFERENT FINISHED SURFACES

REVISIONS		
ISSUED	DATE	DESCRIPTION
<p>DESIGN ENGINEERY PO Box 2758 Santa Fe, NM 87504 t 505.983.3557</p>	<p>DESIGN OFFICE 1300 Luisa street, Suite 24 Santa Fe, NM 87505 t 505.983.1415 www.do-designoffice.com</p>	<p>HYDROSYSTEMS KDI 860 Tabor Street, Suite 200 Lakewood, CO 80401-5854 t 303.980.5327 www.hydrosystemsmdi.com</p>

ROMERO PARK - SITE IMPROVEMENTS

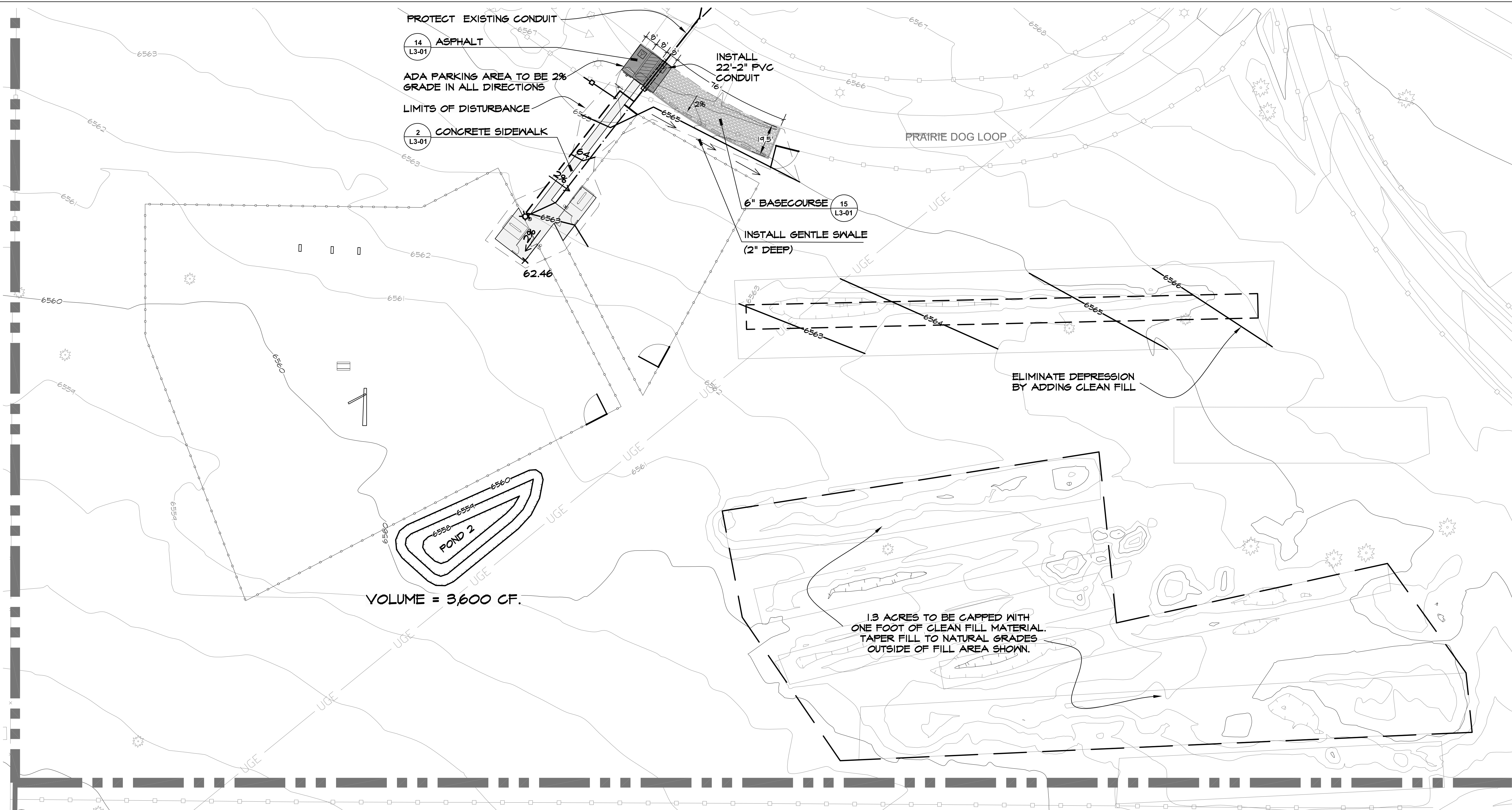
SANTA FE COUNTY

**2100 CAJA DEL ORO GRANT ROAD
SANTA FE, NEW MEXICO 87507**



DRAWN BY	DATE 12/20/2019
SHEET TITLE GRADING AND DRAINAGE PLAN CENTRAL	
SHEET NUMBER	

C2-02



1 DOG PARK

L2 04 SCALE: 1" = 30'-0"

LAYOUT + MATERIALS LEGEND

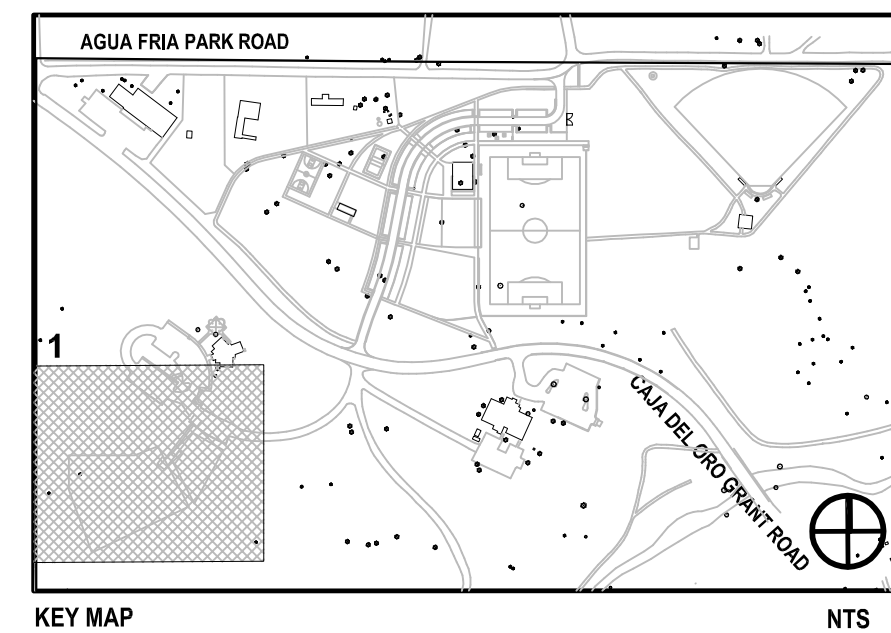
	PROPERTY BOUNDARY		TREE (EXISTING)
	LIMIT OF WORK		BOLLARD
	MATCH LINE		SIGN
	CURB		TRAIL MARKER
	EXPANSION JOINT		DOG WASTE STATION
	CONTROL JOINT		YARD HYDRANT AND BASIN
	POST AND CABLE FENCE		TRASH RECEPTACLE
	RANCH FENCE		BENCH
	CHAIN LINK FENCE		PICNIC TABLE
	WOOD FENCE		BIKE RACK
	COYOTE FENCE		PARKING BUMPER
	FIVE STRAND BARBLESS		BOULDER
	POST AND CABLE (EXISTING)		LIGHT LOCATION
	CHAIN LINK FENCE (EXISTING)		
	NATURAL SURFACE PATH		
	CONCRETE PAVING		GRAVEL A
	ASPHALT PAVING		GRAVEL B
	CRUSHER FINES PAVING		GRAVEL C
	BASE COURSE		GRAVEL, SALVAGED
	COBBLE		PLAY SAND

GRADING NOTES:

- ALL RAMP SHALL NOT EXCEED 15:1 AND SHALL NOT EXCEED A 2% CROSS SLOPE.
- ALL ADA PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED A 2% IN ANY DIRECTION.
- ALL SIDEWALKS SHALL NOT EXCEED 5% AND SHALL NOT EXCEED A 2% CROSS SLOPE.
- ADA NOTES, ANSI A117.1-2003 SHALL BE MET FOR SIDEWALKS (SECTION 403).
- RAMPS (SECTION 405 & 406).
- TACTILE WARNING STRIPS (SECTION 406.13).
- MONOLITHIC HEADER CURBS ADJACENT TO RAMPS (SECTION 405.9).
- A SIDEWALK EXPANSION JOINT SHALL BE PLACED OVER ALL DRAIN PIPES.
- SEE GEOTECHNICAL REPORT FOR OTHER GRADING REQUIREMENTS.
- ALL DISTURBED AREAS WILL BE REVEGETATED PER THE LANDSCAPING PLANS.
- ALL FILL MATERIAL SHALL MEET NM DOT SPECIFICATIONS, GEOTECHNICAL REPORT SPECIFICATIONS, OR ARCHITECTURAL SPECIFICATIONS, WHICHEVER IS STRICTER.
- MAXIMUM 2:1 CUT SLOPES AND 3:1 FILL SLOPES UNLESS OTHERWISE NOTED.
- PRIOR TO BEGINNING GRADING OPERATIONS, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED.
- THIS PROJECT IS SUBJECT TO STORM WATER POLLUTION PREVENTION PLAN REQUIREMENTS.
- SEE LANDSCAPE PLANS FOR SURFACE MATERIAL THICKNESS.
- SEE SHEET L3-01 FOR SIDEWALK DETAILS (2-4).
- SEE STRUCTURAL PLANS FOR COURT SECTION TO DETERMINE SUBGRADE ELEVATIC

LEGEND

	PROPOSED SPOT ELEVATION
	PROPOSED CONTOURS
	PHASE ONE CONTOURS
	EXISTING CONTOURS
	PROPOSED GRADE
	CULVERT, SIZE AS NOTED.
	GRADE BREAK
	LIMITS OF DISTURBANCE
	RELATIVE ELEVATION DIFFERENCE BETWEEN DIFFERENT FINISHED SURFACES



REVISIONS

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design office

landscape planning urbanism

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ROMERO PARK - SITE IMPROVEMENTS

SANTA FE COUNTY

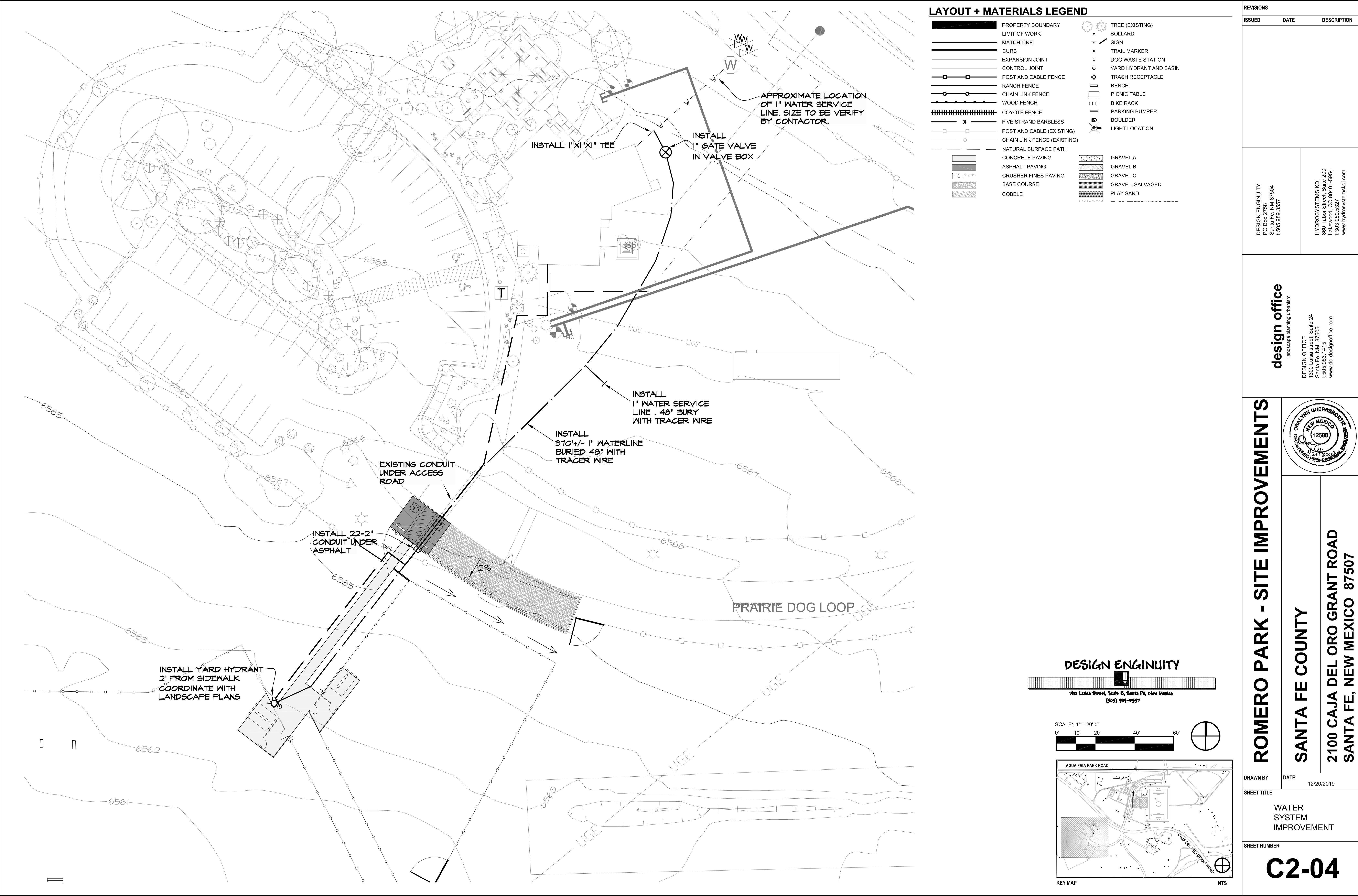
2100 CAJA DEL ORO GRANT ROAD
SANTA FE, NEW MEXICO 87507

DRAWN BY DATE 12/20/2019

SHEET TITLE
GRADING AND DRAINAGE
PLAN
DOG PARK

SHEET NUMBER

C2-03



LAYOUT + MATERIALS LEGEND

- | | |
|-----------------------------|------------------------|
| PROPERTY BOUNDARY | TREE (EXISTING) |
| LIMIT OF WORK | BOLLARD |
| MATCH LINE | SIGN |
| CURB | TRAIL MARKER |
| EXPANSION JOINT | DOG WASTE STATION |
| CONTROL JOINT | YARD HYDRANT AND BASIN |
| POST AND CABLE FENCE | TRASH RECEPTACLE |
| RANCH FENCE | BENCH |
| CHAIN LINK FENCE | PICNIC TABLE |
| WOOD FENCE | BIKE RACK |
| COYOTE FENCE | PARKING BUMPER |
| FIVE STRAND BARBLESS | BOULDER |
| POST AND CABLE (EXISTING) | LIGHT LOCATION |
| CHAIN LINK FENCE (EXISTING) | |
| NATURAL SURFACE PATH | |
| CONCRETE PAVING | GRAVEL A |
| ASPHALT PAVING | GRAVEL B |
| CRUSHER FINES PAVING | GRAVEL C |
| BASE COURSE | GRAVEL, SALVAGED |
| COBBLE | PLAY SAND |

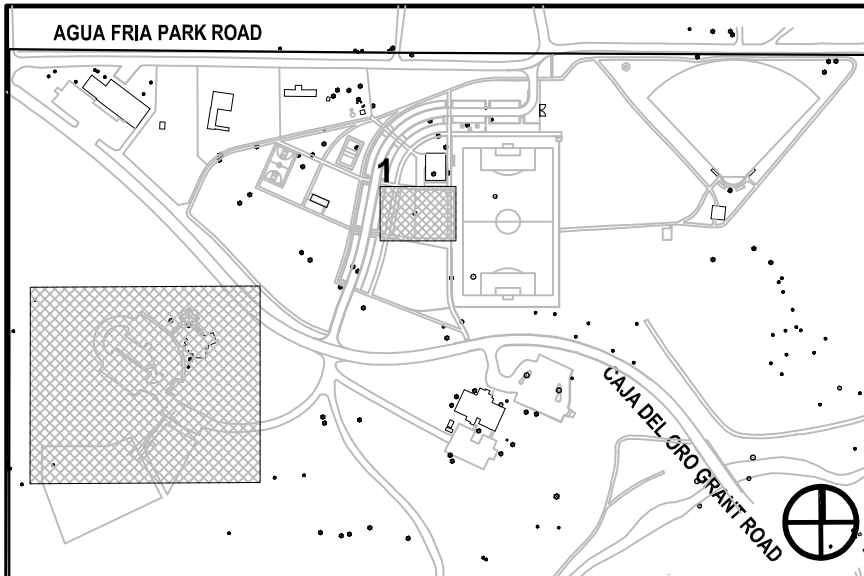
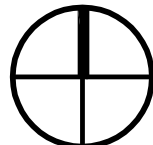
REVISIONS		
ISSUED	DATE	DESCRIPTION
DESIGN ENGINEER		
DESIGN OFFICE		
design office		

ROMERO PARK - SITE IMPROVEMENTS		
SANTA FE COUNTY		
2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
DRAWN BY	DATE	12/20/2019
SHEET TITLE		
WATER SYSTEM IMPROVEMENT		
SHEET NUMBER		
C2-04		

DESIGN ENGINEER

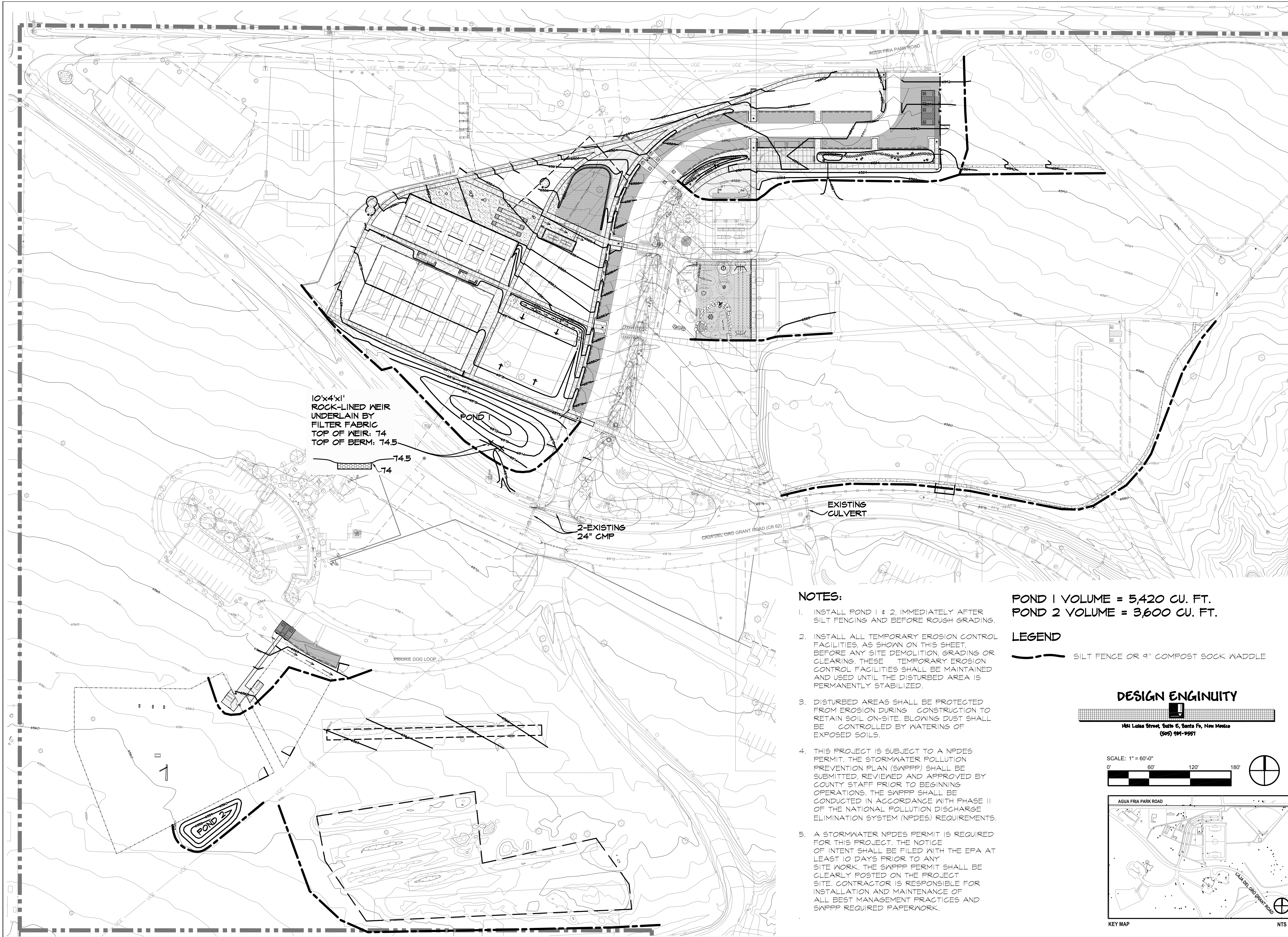
1451 Luisa Street, Suite 6, Santa Fe, New Mexico
(505) 991-9991

SCALE: 1" = 20'-0"



KEY MAP

NTS



10'x4'x1'
ROCK-LINED WEIR
UNDERLAIN BY
FILTER FABRIC
TOP OF WEIR: 74
TOP OF BERM: 74.5

POND 1

2-EXISTING
24" CMP

EXISTING
CULVERT

NOTES:

1. INSTALL POND 1 & 2, IMMEDIATELY AFTER SILT FENCING AND BEFORE ROUGH GRADING.
2. INSTALL ALL TEMPORARY EROSION CONTROL FACILITIES, AS SHOWN ON THIS SHEET, BEFORE ANY SITE DEMOLITION, GRADING OR CLEARING. THESE TEMPORARY EROSION CONTROL FACILITIES SHALL BE MAINTAINED AND USED UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED.
3. DISTURBED AREAS SHALL BE PROTECTED FROM EROSION DURING CONSTRUCTION TO RETAIN SOIL ON-SITE. BLOWING DUST SHALL BE CONTROLLED BY WATERING OF EXPOSED SOILS.
4. THIS PROJECT IS SUBJECT TO A NPDES PERMIT. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE SUBMITTED, REVIEWED AND APPROVED BY COUNTY STAFF PRIOR TO BEGINNING OPERATIONS. THE SWPPP SHALL BE CONDUCTED IN ACCORDANCE WITH PHASE II OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS.
5. A STORMWATER NPDES PERMIT IS REQUIRED FOR THIS PROJECT. THE NOTICE OF INTENT SHALL BE FILED WITH THE EPA AT LEAST 10 DAYS PRIOR TO ANY SITE WORK. THE SWPPP PERMIT SHALL BE CLEARLY POSTED ON THE PROJECT SITE. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL BEST MANAGEMENT PRACTICES AND SWPPP REQUIRED PAPERWORK.

POND 1 VOLUME = 5,420 CU. FT.
POND 2 VOLUME = 3,600 CU. FT.

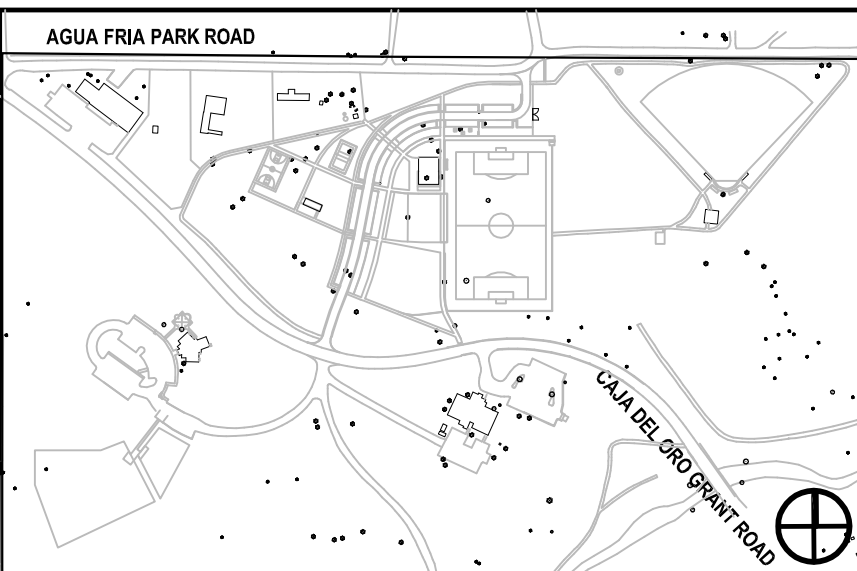
LEGEND

--- SILT FENCE OR 9" COMPOST SOCK WADDLE

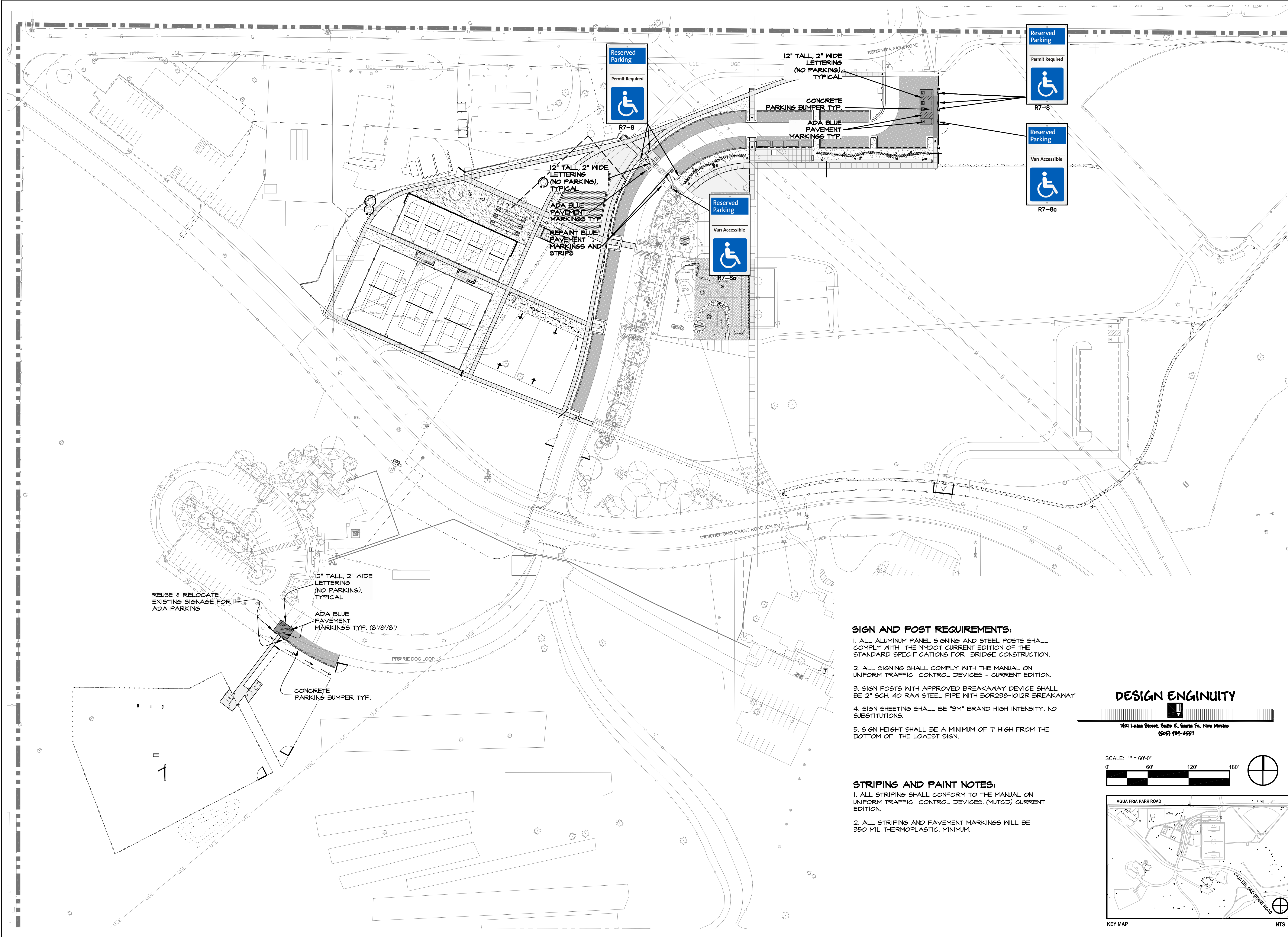
DESIGN ENGINEUNITY

1451 Luisa Street, Suite 6, Santa Fe, New Mexico
(505) 991-9991

SCALE: 1" = 60'-0"
0' 60' 120' 180'



REVISIONS		
ISSUED	DATE	DESCRIPTION
DESIGN ENGINEUNITY PO BOX 2769 Santa Fe, NM 87504 t 505-991-9991		HYDROSYSTEMS VDI 860 Tabor Street, Suite 200 Lakewood, CO 80401-5954 t 303-980-5327 www.hydrosystemsdi.com
design office landscape planning urbanism		
DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.do-designoffice.com		
ROMERO PARK - SITE IMPROVEMENTS		
SANTA FE COUNTY		
2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
DRAWN BY DATE 12/20/2019		
SHEET TITLE		
STORMWATER POLLUTION PREVENTION PLAN		
SHEET NUMBER		
C2-05		



REVISIONS		
ISSUED	DATE	DESCRIPTION
DESIGN ENGINEER PO BOX 2769 Santa Fe, NM 87504 t 505-989-3557		HYDROSYSTEMS VDI 860 Tabor Street, Suite 200 Lakewood, CO 80401-5954 t 303-980-5327 www.hydrosystemsdi.com
design office landscape planning urbanism		
DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.do-designoffice.com		
ROMERO PARK - SITE IMPROVEMENTS		
SANTA FE COUNTY		
2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
DRAWN BY DATE 12/20/2019		
SHEET TITLE		
SIGNAGE AND STRIPING PLAN		
SHEET NUMBER		
C2-06		

SIGN AND POST REQUIREMENTS:

1. ALL ALUMINUM PANEL SIGNING AND STEEL POSTS SHALL COMPLY WITH THE NMDOT CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR BRIDGE CONSTRUCTION.
2. ALL SIGNING SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES - CURRENT EDITION.
3. SIGN POSTS WITH APPROVED BREAKAWAY DEVICE SHALL BE 2" SCH. 40 RAW STEEL PIPE WITH BOR298-1012R BREAKAWAY
4. SIGN SHEETING SHALL BE "3M" BRAND HIGH INTENSITY. NO SUBSTITUTIONS.
5. SIGN HEIGHT SHALL BE A MINIMUM OF 7' HIGH FROM THE BOTTOM OF THE LOWEST SIGN.

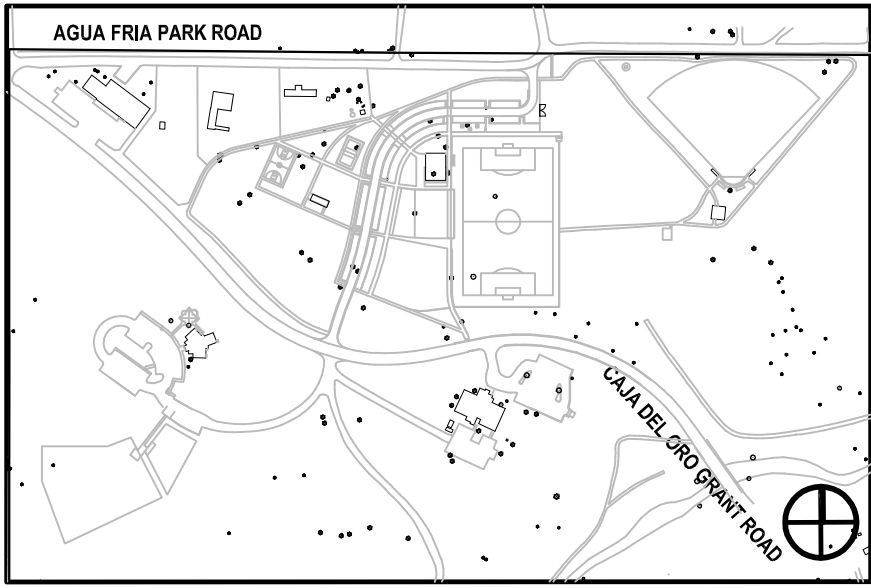
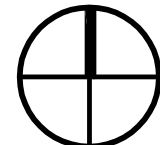
STRIPING AND PAINT NOTES:

1. ALL STRIPING SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
2. ALL STRIPING AND PAVEMENT MARKINGS WILL BE 350 MIL THERMOPLASTIC, MINIMUM.

DESIGN ENGINEER



SCALE: 1" = 60'-0"



NTS

ENGINEER'S CONSTRUCTION NOTES			REVISIONS					
GENERAL			ISSUED	DATE	DESCRIPTION			
1. IN GENERAL, ALL CONSTRUCTION, RE-CONSTRUCTION AND REPAIR WORK PERFORMED ON CIVIL INFRASTRUCTURE, SUCH AS ROADS, WATER, IRRIGATION WATER, WASTEWATER, GRADING, DRAINAGE AND EROSION MANAGEMENT SHALL COMPLY WITH THE PROJECT'S SET OF APPROVED CONSTRUCTION DRAWINGS (ACD), IN ADDITION THE FOLLOWING SHALL APPLY: NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION (NMDOT) STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, 2018 EDITION, THE SANTA FE COUNTY WATER UTILITIES (SFCU) CONSTRUCTION NOTES AND STANDARD DRAWINGS ON WATER AND WASTEWATER, THE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS FOR WATER SYSTEMS, AND THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1987 EDITION, INCLUDING ALL AMENDMENTS.			DESIGN ENGINEITY PO Box 2758 Santa Fe, NM 87504 t 505.989.3557			HYDROSYSTEMS KOI 860 Tabor Street, Suite 200 Lakewood, CO 80401-5954 t 303-980-5327 www.hydrosystemskoi.com		
2. IN THE EVENT OF CONFLICTING REQUIREMENTS ARISING AMONG THESE DOCUMENTS, THE DESIGN ENGINEITY PROJECT ENGINEER (DEPE) SHALL DETERMINE THE MOST RESTRICTIVE REQUIREMENT TO BE FOLLOWED.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			ROMERO PARK - SITE IMPROVEMENTS		
3. THE OWNER'S PROJECT REPRESENTATIVE (OPR) SHALL BE AN INDIVIDUAL WITH A COMBINATION OF FORMAL TRAINING AND DEMONSTRATED FIELD EXPERIENCE IN MANAGING AND ADMINISTERING THE EXECUTION OF CONSTRUCTION PROJECTS THAT INCLUDE THE INSTALLATION OF PUBLIC INFRASTRUCTURE, IN COMPLIANCE WITH APPROVED DRAWINGS AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			SANTA FE COUNTY		
4. THE OPR SHALL BE PRESENT ON THE CONSTRUCTION AS OFTEN AS NECESSARY TO ASSURE CONTRACTOR REASONABLY MEETS ALL ACD REQUIREMENTS, WHILE MEETING THE COST AND TIME REQUIREMENTS OF THE CONTRACT. THE OPR AND THE EOR SHALL WORK TOGETHER TO REPRESENT THE OWNER'S BEST INTEREST.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
5. THE OPR SHALL BE THE PRIMARY POINT OF CONTACT, OR LIAISON BETWEEN THE CONTRACTOR AND THE OWNER.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
6. NEITHER CONSTRUCTION ACTIVITIES, NOR EQUIPMENT MOBILIZATION SHALL BEGIN ON THE SITE UNTIL A COUNTY DEVELOPMENT PERMIT HAS BEEN PROVIDED TO THE CONTRACTOR.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
7. THE CONTRACTOR SHALL PROVIDE THE NAME(S) ROLE AND CONTACT INFORMATION, INCLUDING NORMAL AND EMERGENCY PHONE NUMBERS, FOR THE CONTRACTOR'S EMPLOYEE(S) RESPONSIBLE FOR THE CONSTRUCTION WORK. AT LEAST ONE EMERGENCY TELEPHONE NUMBER SHALL BE ACTIVE ON A 24-HOUR, 7-DAYS A WEEK BASIS. THIS INFORMATION SHALL BE UPDATED BY THE CONTRACTOR AS NECESSARY THROUGHOUT THE PROJECT'S EXECUTION PERIOD.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
8. CONTRACTOR REQUESTS FOR INFORMATION (RFI) SHALL BE SUBMITTED TO THE OWNER'S PROJECT REPRESENTATIVE (OPR) AND DEPE TIMELY AND IN WRITING. CONTRACTOR SHALL ALLOW 24 HOURS FOR THE OPR'S WRITTEN ACKNOWLEDGEMENT OF RECEIPT.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
9. THE DEPE SHALL MAKE EVERY EFFORT TO RESPOND TO THE CONTRACTOR'S RFI WITHIN THE INITIAL 24 HOURS. WHEN THE DEPE ANTICIPATES LONGER THAN 24 HOURS NEEDED TO PREPARE THE RFI RESPONSE, THE DEPE SHALL PROVIDE THE CONTRACTOR, AS SOON AS POSSIBLE, THE ESTIMATED TIME FOR RESPONSE.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
10. REQUESTS FOR DEVIATIONS FROM ANY PROVISIONS SPECIFIED IN THESE ACD OR THE CONTRACT DOCUMENTS MAY BE CONSIDERED ONLY WHEN THE CONTRACTOR ANTICIPATES IMPROVED OUTCOMES IN COST, TIME AND QUALITY OF THE CONSTRUCTED PROJECT, AS THE PRIMARY RESULT OF IMPLEMENTING DEVIATIONS TO THE ACD, WHILE KEEPING INTACT THE DESIGN'S INTENT.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
11. CONTRACTOR SHALL SUBMIT ALL PLAN DEVIATION REQUESTS TO THE OPR. NO DEVIATIONS TO THE ACD SHALL PROCEED UNTIL THE CHANGE HAS BEEN APPROVED IN WRITING BY THE OPR.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
12. THROUGHOUT THE PROJECT'S EXECUTION PERIOD, THE CONTRACTOR SHALL MAINTAIN AT THE PROJECT SITE A COPY OF ALL RELEVANT FIELD NOTES, AND THESE SHALL BE MADE AVAILABLE TO THE OPR AT ANY TIME DURING WORKING HOURS. THE UPDATING OF SUCH NOTES AND DRAWINGS SHALL BE DONE AS FREQUENTLY AS NECESSARY, NOT LESS THAN ONCE A WEEK.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
13. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A NEW MEXICO LICENSED PROFESSIONAL SURVEYOR (NMPs), FOR VERIFICATION OF ALL CRITICAL HORIZONTAL AND VERTICAL CONTROL DATA, AND CERTIFICATION OF RECORD DRAWINGS.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
14. PRIOR TO THE FINAL ACCEPTANCE OF THE PROJECT, CONTRACTOR SHALL SUBMIT ALL RECORD DRAWINGS AND NOTES TO THE OPR, INCLUDING ANY REVISED CRITICAL X, Y, AND Z DATA. THE RECORD DRAWINGS SHALL BE STAMPED BY AN NMPs AND SUBMITTED FOR REVIEW AND APPROVAL BY THE DEPE.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
15. INFORMATION SPECIFICALLY STATED IN THESE ACD, OR WHEN THE OPR SPECIFICALLY IDENTIFIES IN THE FIELD, CRITICAL DATA (X, Y, AND Z) RELATED TO WATER VALVES OF ALL KINDS, FIRE HYDRANTS, CULVERT INLET OR OUTLET INVERTS, MANHOLE RIMS, AND DRIVEWAY CLEARANCE BELOW STIEREN DECK SHALL BE COLLECTED BY THE CONTRACTOR'S SURVEYOR TO COMPLETE RECORD DRAWINGS. VOLUME OF DRAINAGE PONDS AND POND OUTLET INVERTS SHALL BE PROVIDED BY THE CONTRACTOR'S SURVEYOR.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
16. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PROTECTION OF SURVEY MONUMENTS OR MARKS. IN THE EVENT THAT ACCIDENTAL DAMAGE IS CAUSED TO THESE MARKS, DURING PROJECT CONSTRUCTION, AN NMPs RETAINED BY THE CONTRACTOR, SHALL RE-ESTABLISH THE MARKS IN COMPLIANCE WITH STANDARDS AND PROCEDURES SET FORTH BY THE "GEODETIC MARK PRESERVATION GUIDEBOOK". FOR MORE INFORMATION CONTACT NGS MARK PRESERVATION CENTER, NOAA (505) 768-3606. CONTRACTOR SHALL NOT CHARGE THE OWNERS ANY ADDITIONAL COST FOR SUCH REPAIRS.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
17. CONTRACTOR SHALL CONFINE ALL CONSTRUCTION OPERATIONS TO THE DESIGNATED PROJECT BOUNDARIES SHOWN IN THESE ACD. NO PERSONNEL, MATERIALS, OR EQUIPMENT SHALL EVER ENCRACH ONTO AREAS OUTSIDE SUCH BOUNDARIES, UNLESS SPECIFICALLY AUTHORIZED BY THE OPR, AFTER PROOF OF PROPERLY ACQUIRED EASEMENTS IS SHOWN TO THE OPR BY THE CONTRACTOR.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
18. EVEN WITHIN THE PROJECT BOUNDARIES, CLEARING AND GRUBBING SHALL BE KEPT TO THE MINIMUM NECESSARY TO EXECUTE THE PROJECT, AND STABILIZATION OF DISTURBED SURFACES SHALL BEGIN AS SOON AS PRACTICAL AFTER INITIATION OF ANY CONSTRUCTION ACTIVITIES.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
19. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR EROSION CONTROL INCIDENTAL TO THE CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL SUBMIT TO THE OPR A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND EVIDENCE OF A FILED NOI 10 DAYS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
20. SWPPP SHALL COMPLY WITH THE PROVISIONS OF NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT REQUIREMENTS FOR ALL CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL SWPPP BEST MANAGEMENT PRACTICES AND REQUIRED PAPERWORK. THE SWPPP AND ASSOCIATED PAPERWORK SHALL BE PROVIDED TO THE OPR FOR INSPECTION WHEN REQUESTED.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
21. AT A MINIMUM, ALL AREAS DISTURBED BY CONSTRUCTION TRAFFIC SHALL BE SPRAYED WITH WATER ON A DAILY BASIS TO CONTROL DUST GENERATION. ADDITIONAL WATER SHALL BE APPLIED ON WINDY DAYS AS NEEDED.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
22. CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF ALL DISTURBED AREAS FOLLOWING RE-VEGETATION THROUGH THE FIRST GROWING SEASON AFTER COMPLETION OF THIS PROJECT. IN THE EVENT THAT THE REVEGETATION PLAN IMPLEMENTATION HAS NOT BEEN ACCOMPLISHED BEFORE SEPTEMBER 1, DUE TO CONSTRUCTION DELAYS, OR BECAUSE DISTURBED SURFACES MUST REMAIN EXPOSED AFTER THIS DATE, THE CONTRACTOR SHALL INSTALL TEMPORARY PROTECTION SUCH AS A COVER CROP OR MULCH TO PREVENT SOIL EROSION, AT NO ADDITIONAL COST TO THE OWNER.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
23. CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING STRUCTURES, INCLUDING UNDERGROUND UTILITY CONDUITS LOCATED WITHIN AND WITHOUT THE PROJECT BOUNDARIES, FREE OF DUST AND/OR CONSTRUCTION DEBRIS AT ALL TIMES DURING THE EXECUTION OF THE PROJECT. CLEANING AND FULL RESTORATION OF SUCH STRUCTURES, TO THEIR ORIGINAL CONDITION OR BETTER, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR ALONE, AND ALL RELATED COSTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THIS PROJECT.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
24. OWNERS AND THEIR AGENTS SHALL NOT BE HELD RESPONSIBLE FOR THE COSTS OF REPAIRING ANY DAMAGE OR ALTERATIONS CAUSED DURING EXECUTION OF THIS PROJECT, TO THE ORIGINAL CONDITION OF THIRD PARTY'S PROPERTY (E.G. STRUCTURES, EXISTING UTILITIES OR UTILITY EASEMENTS) LOCATED WITHIN OR WITHOUT THE PROJECT BOUNDARIES.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
25. EXISTING ROAD AND DRIVEWAY ACCESSES FOR ADJACENT PROPERTIES SHALL BE MAINTAINED TRAFFICABLE UNDER ALL WEATHER CONDITIONS.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
26. NO ALTERATION OR MODIFICATION SHALL BE PERMITTED ON ANY DRAINAGE WAY OR ARROYO, UNLESS IT IS SPECIFICALLY SHOWN ON THESE ACD.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
27. OPR SHALL DESIGNATE AN AREA WITHIN THE PROJECT BOUNDARIES FOR THE TEMPORARY STORAGE OF CONSTRUCTION DEBRIS AND WASTE. SUCH DEBRIS MAY INCLUDE REMOVED TREES AND BRUSH, AND ANY MATERIALS THAT MAY BE UNEARTHED, WHICH ARE DEEMED NOT SUITABLE FOR REUSE AS CONSTRUCTION MATERIALS ON THIS PROJECT.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
28. CONSTRUCTION DEBRIS AND WASTE SHALL BE PREVENTED FROM BEING SCATTERED BY WIND, SURFACE RUNOFF, OR ANIMALS (DOMESTIC OR WILD) AND BECOMING A NUISANCE TO ANYONE OUTSIDE THE PROJECT BOUNDARIES.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
29. FROM TIME TO TIME, DEBRIS AND WASTE SHALL BE TRANSPORTED OUT OF THE SITE AND DISPOSED OF PROPERLY, AT A NM STATE APPROVED LANDFILL. CONTRACTOR SHALL SUBMIT CORRESPONDING TIPPING RECEIPTS TO THE OPR, TO ACCOUNT FOR PROPER WASTE DISPOSAL. THE COST OF CONSTRUCTION WASTE DISPOSAL SHALL BE INCIDENTAL TO THE COST OF PROJECT.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
30. WASTE THAT REQUIRES SPECIAL HANDLING, UNCOVERED DURING CONSTRUCTION ACTIVITIES, AND NOT PREVIOUSLY IDENTIFIED, SHALL BE THE SUBJECT OF CONSIDERATION AS A CHANGE ORDER DUE TO UNKNOWN SUBSURFACE CONDITIONS.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
31. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP SPILLS ASSOCIATED WITH THE PROJECT'S CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL REPORT AND PROPERLY RESPOND TO SPILLS OF HAZARDOUS MATERIALS SUCH AS GASOLINE, DIESEL, MOTOR OIL, SOLVENTS, TOXIC AND CORROSIVE SUBSTANCES, AND OTHER MATERIALS WHICH MAY REPRESENT A THREAT TO THE HEALTH AND WELFARE OF HIS WORKERS, THE GENERAL PUBLIC, OR THE ENVIRONMENT.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
32. CONTRACTOR SHALL REPORT IMMEDIATELY ANY EVIDENCE OF PAST SPILLS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES ON THIS PROJECT. REPORTS SHALL BE MADE TO THE OPR, AS WELL AS TO THE APPROPRIATE STATE AGENCY. CLEAN UP OF ANY UNREPORTED SPILLS THAT MAY HAVE OCCURRED DURING THE CONSTRUCTION OF THIS PROJECT, WHENEVER THEY MAY BECOME EVIDENT, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
33. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PROTECTION OF ALL SPECIFIED MATERIALS OR EQUIPMENT, WHETHER IN STORAGE OR INSTALLED, UNTIL FINAL WRITTEN APPROVAL OF THE PROJECT BY THE OPR AND THE COUNTY.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
34. ALL MATERIAL QUALITY TESTS SHALL BE PERFORMED BY A RECOGNIZED LABORATORY. SUCH LABORATORY SHALL BE OPERATED UNDER THE AUSPICES/DIRECTION OF AN NMPE. NAME AND CONTACT OF THE LABORATORY SHALL BE SUBMITTED BY THE CONTRACTOR TO THE OPR AS SOON AS PRACTICAL AFTER THE CONTRACTOR'S RECEIPT OF THE NOTICE TO PROCEED.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
35. IF PROVISIONS FOR A TESTING COST ALLOWANCE HAVE BEEN MADE IN THE CONSTRUCTION CONTRACT FOR TESTING SPECIFICALLY REQUIRED IN THESE ACD, OR REQUIRED BY THE OPR, CONTRACTOR SHALL SUBMIT TESTING LABORATORY INVOICES TO THE OPR FOR REIMBURSEMENT. COST OF RE-TESTING FOR BELOW-STANDARD RESULTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO PAYMENT SHALL BE MADE FOR SUCH.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
36. IF THE CONSTRUCTION CONTRACT DOES NOT HAVE A TESTING COST ALLOWANCE, THE COST OF ALL REQUIRED TESTING AND RE-TESTING, FOR EITHER MATERIALS OR INSTALLATION REQUIREMENT COMPLIANCE, SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT AND SHALL BE BORNE BY THE CONTRACTOR.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM 87505 t 505-983-1415 www.de-signoffice.com			2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
37. CONTRACTOR SHALL PROVIDE THE INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL DEVICES IN COMPLIANCE WITH THESE ACD. TRAFFIC CONTROL DEVICES SHALL COMPLY WITH THE MOST CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), BUT MAY BE REVISED UNDER WRITTEN DIRECTION FROM THE COUNTY TRAFFIC ENGINEER.			DESIGN OFFICE 1300 Luisa Street, Suite 24 Santa Fe, NM Santa					

ISSUED	DATE	DESCRIPTION
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PO Box 2758
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1 505.989.3557

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ROMERO PARK - SITE IMPROVEMENTS

SANTA FE COUNTY

**2100 CAJA DEL ORO GRANT ROAD
SANTA FE, NEW MEXICO 87507**

DRAWN BY	DATE
	12/20/2019

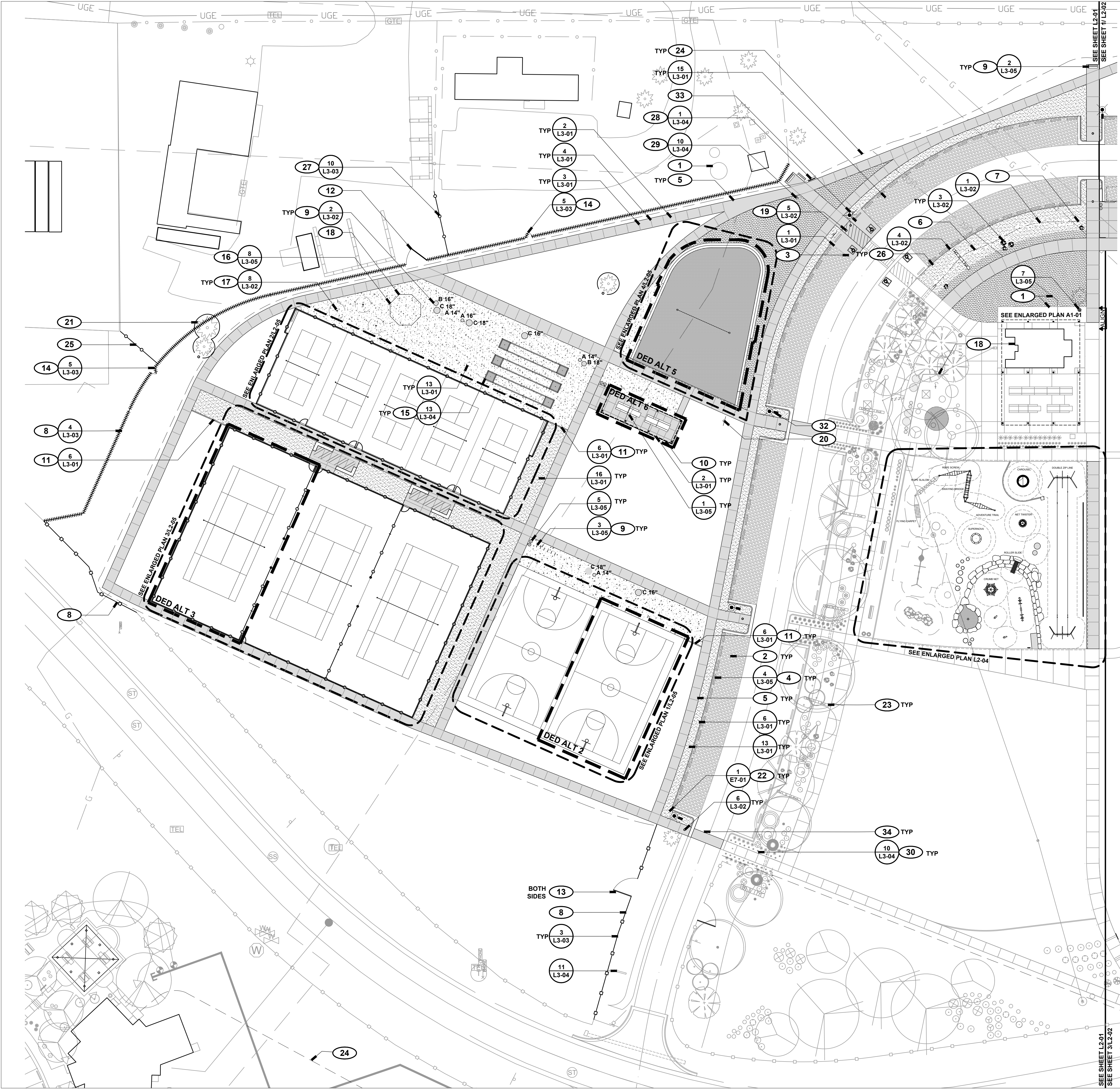
SHEET TITLE

TYPE B CURB DETAIL

SHEET NUMBER

C2-08





LAYOUT + MATERIALS LEGEND

- PROPERTY BOUNDARY
- MATCH LINE
- CURB
- EXPANSION JOINT
- CONTROL JOINT
- POST AND CABLE FENCE
- METAL FENCE
- CHAIN LINK FENCE
- WOOD FENCE
- COYOTE FENCE
- FIVE STRAND BARBLESS
- NATURAL SURFACE PATH
- LIGHT POLE
- WATER LINE (EXISTING)
- ELECTRIC LINE (EXISTING)
- GAS LINE (EXISTING)
- POST AND CABLE (EXISTING)
- CHAIN LINK FENCE (EXISTING)
- TREE (EXISTING)
- BOLLARD
- SIGN
- DOG WASTE STATION
- YARD HYDRANT AND BASIN
- TRASH RECEPTACLE
- BENCH
- PICNIC TABLE
- BIKE RACK
- PARKING BUMPER
- BOULDER
- CONCRETE PAVING
- CONCRETE PAVING, EXPOSED AGGREGATE
- ASPHALT PAVING
- CRUSHER FINES PAVING
- BASE COURSE
- COBBLE
- GRAVEL A
- GRAVEL B
- SAND

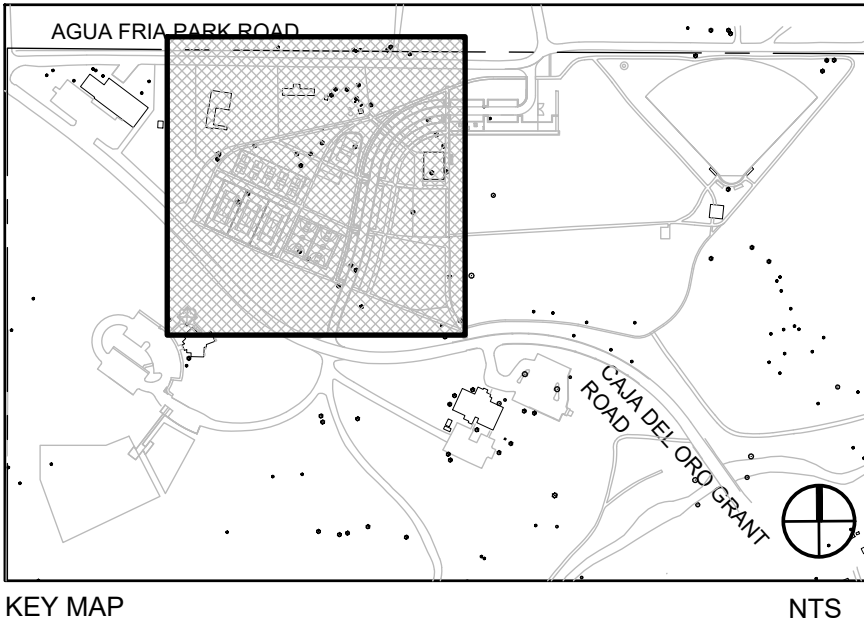
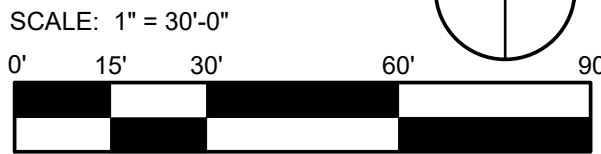
LAYOUT + MATERIALS KEYED NOTES

- PRESERVE AND PROTECT EXISTING SITE ELEMENTS TO REMAIN, TYP.
- NEW PARKING AREA OFF OF EXISTING PARK ACCESS ROAD; SEE CIVIL PLANS FOR LAYOUT, GRADING, AND DETAILS.
- SEE CIVIL ENGINEERING PLANS FOR ACCESSIBLE PARKING STRIPING AND SIGNAGE LOCATIONS.
- INSTALL PARKING BUMPERS; EQUALLY SPACE BUMPERS IN AREAS SHOWN, TYP.
- INSTALL NEW CONCRETE PATH, SEE DIMENSION PLANS FOR LAYOUT; CONFIRM ALIGNMENT IN FIELD WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION; ALL CURVES TO BE SMOOTH, GRADUAL, AND FREE OF KINKS.
- DRAINAGE SWALE; CONFIRM FINAL ALIGNMENT OF SWALE CENTERLINE AND LOCATION OF CHECK DAMS IN FIELD WITH LANDSCAPE ARCHITECT.
- DRAINAGE SWALE CULVERT; TYP; SEE CIVIL GRADING AND DRAINAGE PLANS FOR DETAILS
- INSTALL SALVAGED FENCE; SUPPLEMENT WITH NEW MATERIAL TO COMPLETE LENGTH; CONFIRM FINAL LOCATION AND EXTENTS IN FIELD WITH LANDSCAPE ARCHITECT.
- INSTALL SITE FURNISHING; CONFIRM FINAL LOCATION OF ELEMENT IN FIELD WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION; 2 BIKE LOOPS TO BE OWNER SUPPLIED.
- INSTALL PICNIC SHELTER WITH PICNIC TABLES, SEE SHEET A2-01 FOR LAYOUT AND DETAILS.
- CONCRETE HEADER CURB; SET TOP OF CURB FLUSH WITH ADJOINING PAVEMENT, TYP.; ADJUST CURB ELEVATION AT CENTER AS DIRECTED FOR POSITIVE DRAINAGE, SEE GRADING PLANS.
- INSTALL SALVAGED COYOTE FENCE VEHICULAR GATE; CONFIRM FINAL LOCATION IN FIELD WITH LANDSCAPE ARCHITECT.
- INSTALL NEW 12FT WIDE SINGLE LEAF STEEL GATE; ALIGN GATE WITH FENCE POSTS; EXTEND POST AND CABLE FENCE TO CLOSE GAP TO GATE POST; CONFIRM FINAL LOCATION IN FIELD.
- INSTALL PEDESTRIAN GATE; CONFIRM FINAL LOCATION IN FIELD WITH LANDSCAPE ARCHITECT.
- INSTALL HORSESHOE PITS FLUSH WITH FINISH GRADE; SEE DIMENSION PLAN L2-06 FOR LAYOUT; CONFIRM LAYOUT IN FIELD WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- INSTALL GAGABALL COURT; CONFIRM LOCATION IN FIELD WITH LANDSCAPE ARCHITECT.
- INSTALL TETHERBALL POLE; CONFIRM LOCATION IN FIELD WITH LANDSCAPE ARCHITECT.
- NEW 12"x18" SIGN PANEL, SEE DETAIL 7/L3-04; SURFACE OR FENCE MOUNTED; CONFIRM FINAL LOCATION IN FIELD.
- INSTALL SALVAGED REMOVABLE BOLLARDS IN THIS LOCATION; POWDERCOAT COLOR: RAL 8014.
- INSTALL SANTA FE COUNTY PARK RULES AND REGULATIONS SIGN AS PER DETAIL 7/L3-04; SEE DETAIL 12/L3-04 FOR POST DETAIL, TYP.; CONFIRM FINAL LOCATION AND ORIENTATION IN FIELD.
- PRESERVE AND PROTECT EXISTING TREE TO REMAIN.
- LIGHT POLE BASE; SEE ELECTRICAL PLANS FOR ELECTRIC CONDUIT LAYOUT AND DETAILS; SEE LIGHTING PLAN FOR BASE LAYOUT AND FIXTURE INFORMATION.
- EXISTING STONE CHECK DAM; GROUT UNDERSIDE OF TOP STONE LAYER TO BASE SO STONES ARE SECURELY FASTENED; REPAIR, REPLACE, AND RESET STONES AS NECESSARY.
- NEW 12"-18" NATURAL SURFACE PATH, NIC
- INSTALL STEEL FENCE WITH SALVAGED MATERIAL TO CLOSE GAP; MATCH EXISTING CONSTRUCTION; CONFIRM ALIGNMENT IN FIELD.
- NEW ELECTRIC VEHICLE CHARGING STATION, NIC (FUTURE).
- INSTALL CHAIN LINK FENCE WITH SALVAGED COMPONENTS (AS POSSIBLE) TO CLOSE GAP; MATCH HEIGHT OF EXISTING ADJACENT FENCE; CONFIRM LAYOUT IN FIELD.
- INSTALL NEW TRAIL MAP SIGN; CONFIRM FINAL LOCATION IN FIELD.
- INSTALL SALVAGED TRAIL MARKER; CONFIRM FINAL LOCATION IN FIELD.
- INSTALL NEW TRAIL MARKER SIGN; CONFIRM FINAL LOCATION IN FIELD.
- SEE ELECTRICAL PLANS FOR CONDUIT ROUTING, ELECTRICAL UPGRADES, AND OTHER SITE ELECTRICAL IMPROVEMENTS, TYP.
- INSTALL LIGHT POST FOOTING, LIGHT POLE, AND FIXTURE; FIELD LOCATE POLE FOOTINGS, COORDINATE WITH DRAINAGE AND OTHER SITE IMPROVEMENTS, TYP.
- CENTER LIGHT POST FOOTING BETWEEN EDGE OF PARKING AND PATH, SET 2FT BACK FROM ACCESS AISLE.
- CONCRETE CROSSING, INTEGRAL COLOR CONCRETE; SEE CIVIL PLANS.

STOCK TANK BENCH SCHEDULE

TANK	SIZE	QTY
A	2' DIA x 2' H	4
B	3' DIA x 2' H	2
C	4' DIA x 2' H	5

NOTE: SEE PLAN FOR SEAT HEIGHT ABOVE FINISH GRADE. CONCRETE COLOR: MATCH FLATWORK. CONCRETE FINISH: LIGHT BROOM FINISH



REVISIONS

ISSUED	DATE	DESCRIPTION
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ROMERO PARK - SITE IMPROVEMENTS

SANTA FE COUNTY

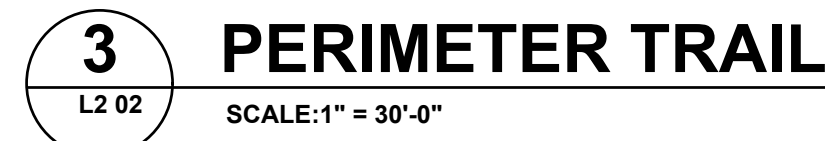
2100 CAJA DEL ORO GRANT ROAD
SANTA FE, NEW MEXICO 87507



DRAWN BY: CH
SHEET TITLE: LAYOUT+ MATERIALS PLAN - WEST

SHEET NUMBER

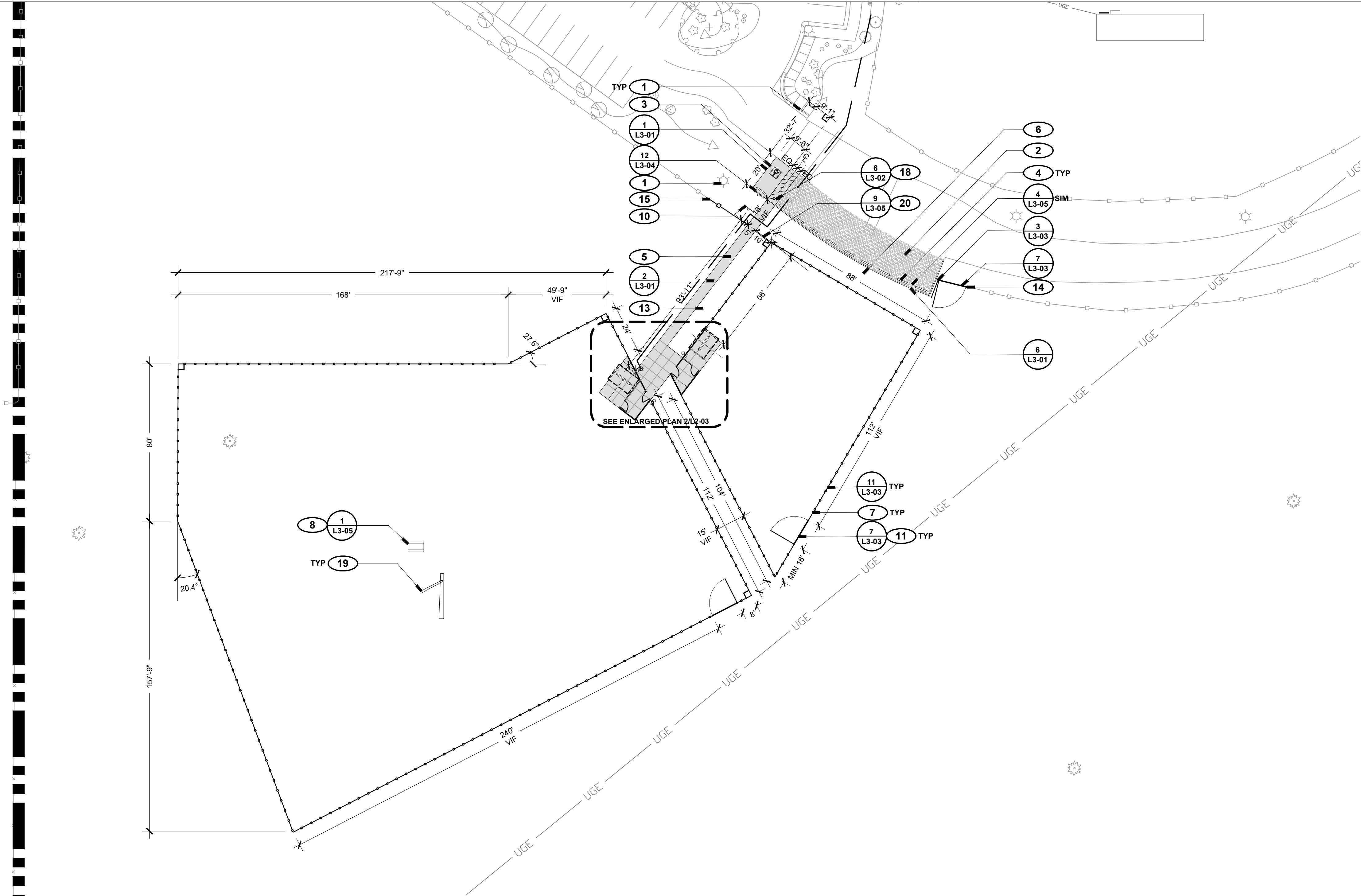
L2-01



LAYOUT + MATERIALS KEYED NOTES

-
- SCALE: 1" = 30'-0"
- 0' 15' 30' 60' 90'
- AGUA FRIA PARK ROAD
- 1
- 2
- CAL DEL ORO GRANT
- KEY MAP
- NTS

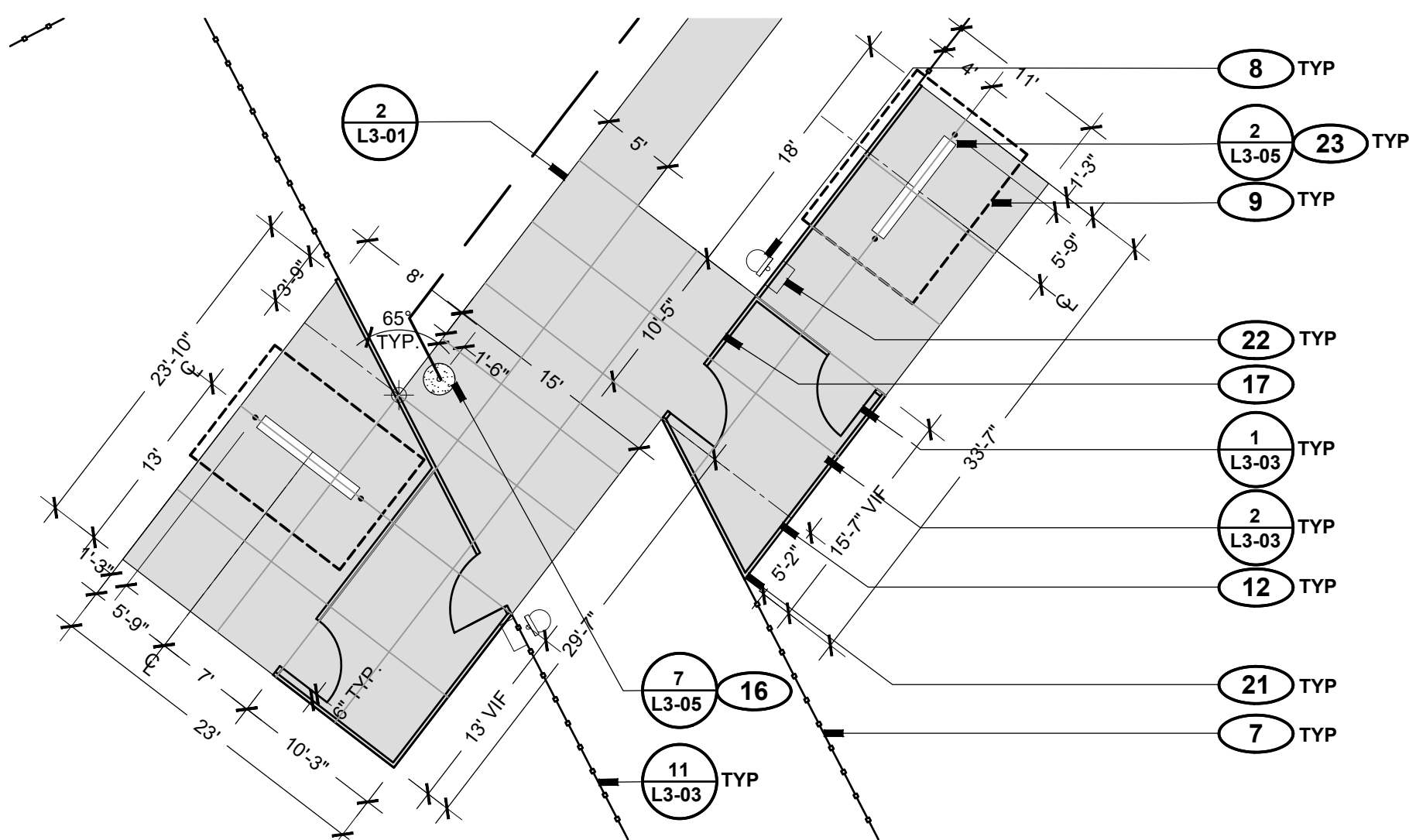
<div> <div> <div>DESIGN ENGINEER</div> <div>PO Box 2758</div> <div>Santa Fe, NM 87504</div> <div>t 505.989.3557</div> </div> <div> <div>HYDROSYSTEMS KDI</div> <div>860 Tabor Street, Suite 200</div> <div>Lakewood, CO 80401-5954</div> <div>t 303.980.5327</div> <div>www.hydrosystemsmdi.com</div> </div> </div>		<div> <div>DESIGN ENGINEER</div> <div>PO Box 2758</div> <div>Santa Fe, NM 87504</div> <div>t 505.989.3557</div> </div>	
<div> <div>DESIGN OFFICE</div> <div>1300 Luisa street, Suite 24</div> <div>Santa Fe, NM 87505</div> <div>t 505.983.1415</div> <div>www.db-designoffice.com</div> </div>		<div> <div>DESIGN OFFICE</div> <div>1300 Luisa street, Suite 24</div> <div>Santa Fe, NM 87505</div> <div>t 505.983.1415</div> <div>www.db-designoffice.com</div> </div>	
<div> <div>ROMERO PARK - SITE IMPROVEMENTS</div> <div>SANTA FE COUNTY</div> <div>2100 CAJA DEL ORO GRANT ROAD</div> <div>SANTA FE, NEW MEXICO 87507</div> </div>		<div> <div>STATE OF NEW MEXICO</div> <div>12 24 2019</div> <div>C. Mott</div> <div>CLAUDIA MEYER HORN</div> <div>371</div> <div>REGISTERED</div> <div>LANDSCAPE ARCHITECT</div> </div>	
<div> <div>DRAWN BY</div> <div>CH</div> </div>		<div> <div>DATE</div> <div>December 20, 2019</div> </div>	
<div> <div>SHEET TITLE</div> <div>LAYOUT + MATERIALS</div> <div>PLAN</div> <div>CENTRAL</div> </div>			
<div> <div>SHEET NUMBER</div> <div>L2-02</div> </div>			



1
L2 03

DOG PARK

SCALE: 1" = 30'-0"



2
L2 03

DOG PARK ENTRANCE

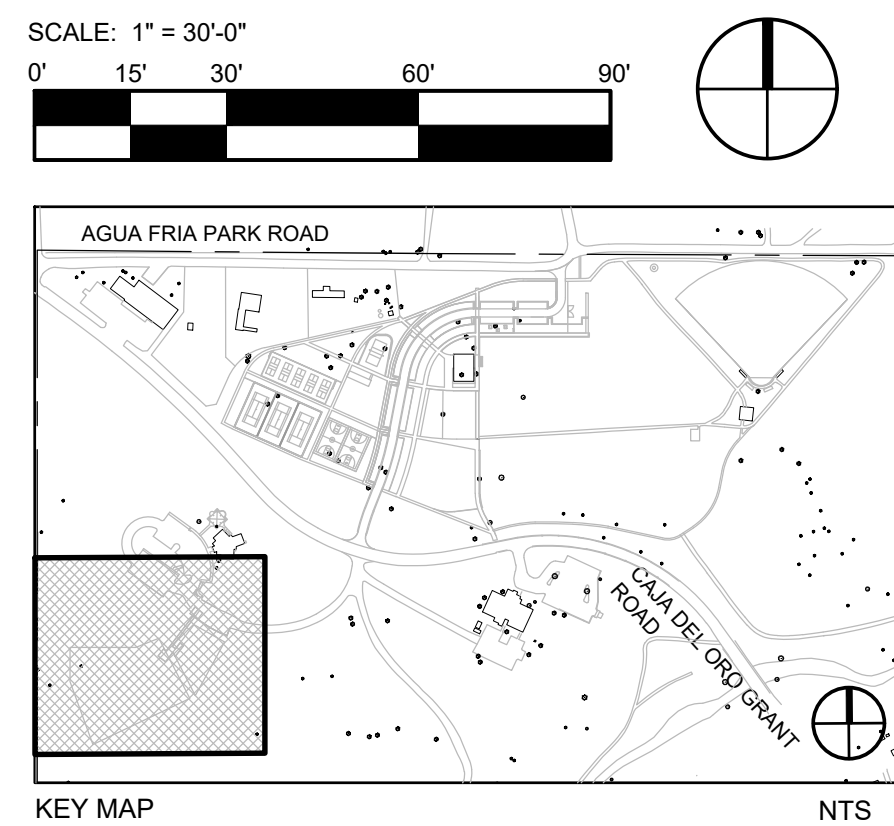
SCALE: 1" = 10'-0"

LAYOUT + MATERIALS LEGEND

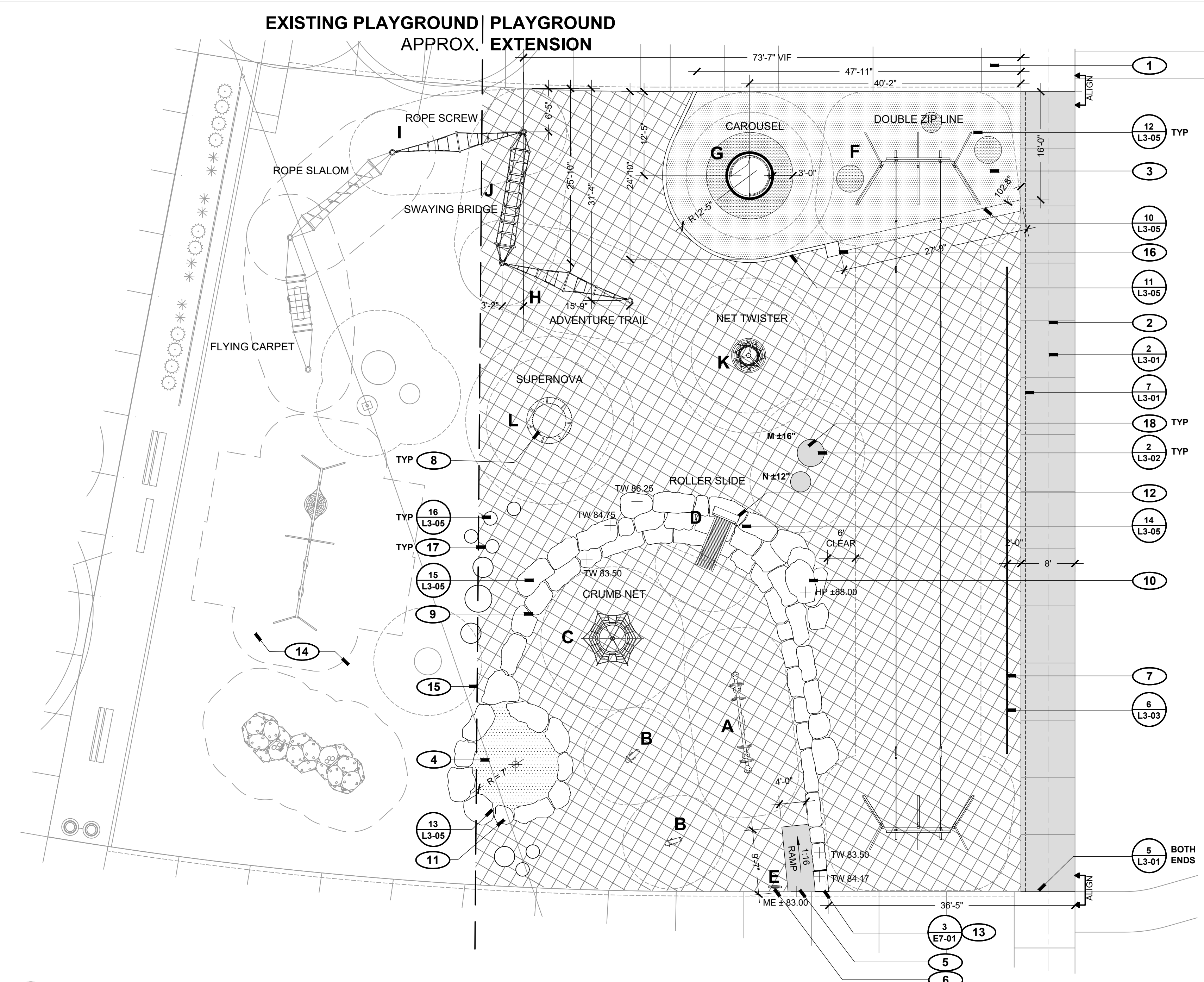
	PROPERTY BOUNDARY		BOLLARD
	MATCH LINE		SIGN
	CURB		DOG WASTE STATION
	EXPANSION JOINT		YARD HYDRANT AND BASIN
	CONTROL JOINT		TRASH RECEPTACLE
	POST AND CABLE FENCE		BENCH
	METAL FENCE		PICNIC TABLE
	CHAIN LINK FENCE		BIKE RACK
	WOOD FENCE		PARKING BUMPER
	COYOTE FENCE		Boulder
	FIVE STRAND BARBLESS		CONCRETE PAVING
	NATURAL SURFACE PATH		CONCRETE PAVING, EXPOSED AGGREGATE
	LIGHT POLE		ASPHALT PAVING
	WATER LINE (EXISTING)		CRUSHER FINES PAVING
	ELECTRIC LINE (EXISTING)		BASE COURSE
	GAS LINE (EXISTING)		COBBLE
	POST AND CABLE (EXISTING)		GRAVEL A
	CHAIN LINK FENCE (EXISTING)		GRAVEL B
	TREE (EXISTING)		SAND

LAYOUT + MATERIALS KEYED NOTES

- PRESERVE AND PROTECT EXISTING SITE ELEMENTS TO REMAIN, TYP.
- NEW PARKING AREA OFF OF EXISTING PARK ACCESS ROAD; SEE CIVIL PLANS FOR LAYOUT AND GRADING.
- SEE CIVIL ENGINEERING PLANS FOR ACCESSIBLE PARKING STRIPING AND SIGNAGE LOCATIONS; INSTALL SALVAGED ADA PARKING SIGN AND SIGN POSTS AS DIRECTED.
- INSTALL SALVAGED PARKING BUMPERS; EQUALLY SPACE BUMPERS IN AREAS SHOWN, TYP.
- INSTALL NEW CONCRETE PAVING, COLOR: GREY; CONFIRM LAYOUT IN FIELD WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- DRAINAGE SWALE WITH SIDEWALK CULVERT; CONFIRM FINAL ALIGNMENT OF SWALE CENTERLINE IN FIELD WITH LANDSCAPE ARCHITECT; SEE CIVIL GRADING AND DRAINAGE PLANS FOR DETAILS.
- INSTALL SALVAGED WOOD FENCE; DIMENSIONS ARE APPROXIMATE TO CENTERLINE OF POST AND SHOULD BE CONFIRMED IN FIELD ACCORDING TO AVAILABLE SALVAGED MATERIAL; LAYOUT IN FIELD PRIOR TO INSTALLATION AND CONFIRM ALIGNMENT IN FIELD WITH LANDSCAPE ARCHITECT. REPLACE DAMAGED COMPONENTS WITH IN-KIND MATERIALS AS NECESSARY; INSTALL NEW WIRE MESH MATERIAL
- INSTALL SALVAGED SITE FURNISHING; CONFIRM FINAL LOCATION OF ELEMENT IN FIELD WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- INSTALL SALVAGED SHADE STRUCTURE. POST FOOTING DETAIL TO BE PROVIDED BY ARCHITECT AFTER STRUCTURE HAS BEEN SALVAGED. PAINT STEEL FRAME COMPONENTS: MARINE GRADE EXTERIOR PAINT, COLOR BLACK; INSTALL NEW METAL ROOF PANELS AND RIDGE COVER TO MATCH NANCY RODRIGUEZ PICNIC SHELTER.
- INSTALL SANTA FE COUNTY PARK RULES AND REGULATIONS SIGN AS PER DETAIL 7/L3-04; POST MOUNTED PER 12/L3-04. CONFIRM FINAL LOCATION AND ORIENTATION IN FIELD WITH LANDSCAPE ARCHITECT.
- INSTALL SALVAGED DOG PARK VEHICULAR GATE FOR MAINTENANCE ACCESS; CONFIRM FINAL LOCATION IN FIELD WITH LANDSCAPE ARCHITECT.
- INSTALL NEW RANCH FENCE TRANSITION PEN WITH NEW PEDESTRIAN GATES, TYP.; NEW RANCH FENCE POSTS TO BE SET IN CONCRETE PAVING AREA; CONFIRM FINAL LAYOUT IN FIELD WITH LANDSCAPE ARCHITECT PRIOR TO POURING CONCRETE PAVING.
- INSTALL SALVAGED PEA GRAVEL AT 3" DEPTH; CONFIRM EXTENTS WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
- INSTALL SALVAGED RANCH FENCE SINGLE LEAF VEHICULAR GATE FOR MAINTENANCE ACCESS; ALIGN GATE WITH EAST POST. EXTEND POST AND CABLE FENCE TO MATCH EXISTING TO CLOSE GAP; ALIGN WEST END OF POST AND CABLE WITH END GATE POST; SET GATE POST 12" FROM OUTSIDE EDGE OF PARKING CURB; CONFIRM FINAL LOCATION WITH LANDSCAPE ARCHITECT.
- INSTALL SALVAGED POST AND CABLE FENCE TO MATCH EXISTING TO CLOSE GAP; ALIGN WITH NEW DOG PARK FENCE; SET EDGE OF POST MAX 6" FROM EDGE OF CONCRETE, TYP.
- INSTALL YARD HYDRANT; COORDINATE LOCATION WITH WATER LINE EXTENSION; SEE CIVIL PLANS; CONFIRM LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- NEW 12"x18" SIGN PANEL (2). SEE DETAIL 7/L3-04; FENCE MOUNTED. INSTALL (1) SALVAGED 'PET WASTE' SIGN ON FENCE POST; INSTALL (1) NEW 'PET WASTE' SIGN ON FENCE POST; CONFIRM LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- INSTALL SALVAGED BOLLARD; POWDERCOAT COLOR: TBD.
- INSTALL OWNER SUPPLIED COTTONWOOD LOG; BURY EDGE MIN. 6" DEPTH; CONFIRM LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALIGN CURB WITH CENTERLINE OF FENCE POST; CONFIRM LOCATION IF FIELD WITH LANDSCAPE ARCHITECT.
- ALIGN WOOD FENCE END POSTS WITH RANCH FENCE POST; MIN 3" GAP, TYP.
- INSTALL DOG WASTE BAG DISPENSER.
- INSTALL SALVAGED BENCH; CENTER BENCH BETWEEN SHADE STRUCTURE POSTS, TYP.



REVISIONS		
ISSUED	DATE	DESCRIPTION
DESIGN ENGINEITY PO Box 2758 Santa Fe, NM 87504 t 505.989.3557		HYDROSYSYSTEMS KDI 860 Tabor Street, Suite 200 Lakewood, CO 80401-5954 t 303.980.5327 www.hydrosystemsdi.com
design office landscape planning urbanism DESIGN OFFICE 1300 Luisa street, Suite 24 Santa Fe, NM 87505 t 505.983.1415 www.do-designoffice.com		
ROMERO PARK - SITE IMPROVEMENTS		
SANTA FE COUNTY		
2100 CAJA DEL ORO GRANT ROAD SANTA FE, NEW MEXICO 87507		
DRAWN BY CH		
DATE December 20, 2019		
SHEET TITLE LAYOUT + MATERIALS PLAN DOG PARK		
SHEET NUMBER L2-03		



1 PLAYGROUND
L2 04
SCALE: 1" = 10'-0"

PLAY EQUIPMENT SCHEDULE: 2 - 5 YEAR OLD PLAYGROUND

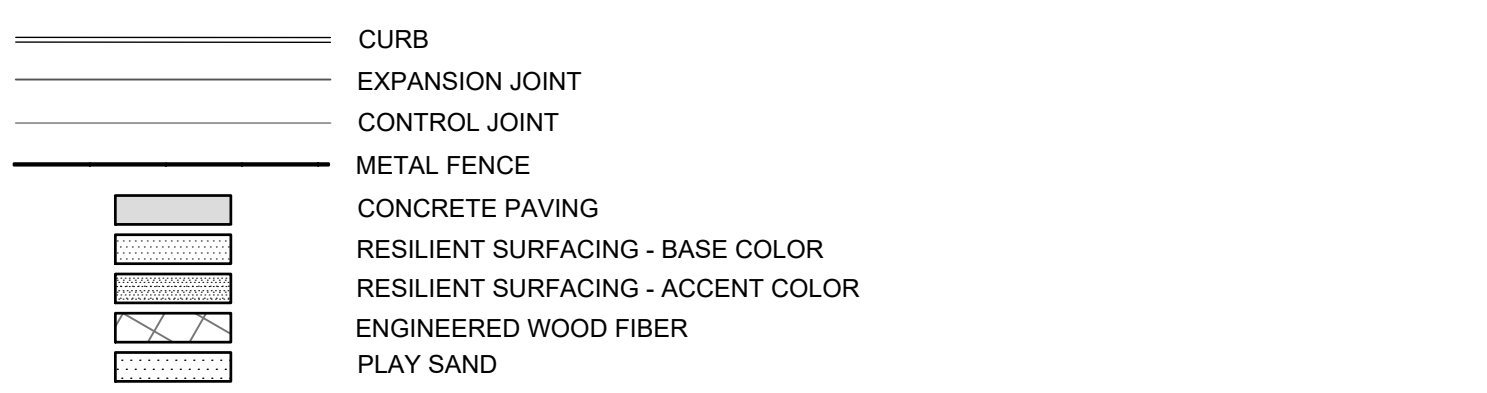
ITEM	MANUFACTURER	MODEL NAME	MODEL NO.	QTY.	COLORS
A	TIMBERFORM	TANDEM SPRING RIDER SEESAW	3870-4-E	1	FRAME / HANDLES: REGAL BLUE SEATS: BLACK
B	TIMBERFORM	LOGGIE SPRING RIDER	3886-01-E	2	FRAME: REGAL BLUE SEAT: DOUGLAS FIR
C	KOMPAN	CRUMB NET	COR24301	1	FRAME / POST: GALVANIZED ROPE: ULTRA MARINE BLUE RUBBER PLATFORM: BLACK
D	LANDSCAPE STRUCTURES	ROLLERSLIDE (40") W/ CUSTOM DECK, 2-BAR TRANSITION BAR (NO HOOD)	123337	1	FRAME / POST: METALLIC SILVER ROLLERS: BLUE DECK: BLUE
E	KOMPAN	AGE APPROPRIATE SIGN: 2-5 YEARS OLD	M21101	1	FRAME: GALVANIZED

PLAY EQUIPMENT SCHEDULE: 5 - 12 YEAR OLD PLAYGROUND

ITEM	MANUFACTURER	MODEL NAME	MODEL NO.	QTY.	COLORS
F	KOMPAN	DOUBLE CABLEWAY METAL - SLOPED	M88101	1	POST: GALVANIZED SEAT: BLACK
G	KOMPAN	CAROUSEL	KPL123	1	BARS: LIGHT BLUE (RAL 5012) SEAT: BLACK HPL FLOOR: METAL
H	KOMPAN	ADVENTURE TRAIL	COR1515	1	POST: GALVANIZED ROPE: RED
I	KOMPAN	ROPE SCREW	COR1507	1	POST: GALVANIZED ROPE: RED
J	KOMPAN	SWAYING BRIDGE	COR1501	1	POST: GALVANIZED ROPE: RED
K	KOMPAN	NET TWISTER	COR203001-1101	1	POST / FRAME: GALVANIZED ROPE: RED
L	KOMPAN	SUPERNOVA	IG110 GYX960012	1	POST: GALVANIZED RING: NIGHT SKY BLUE
M	TARTER (OR OTHER)	STOCK TANK, 4'W x 2'H	IG60/90	1	GALVANIZED
N	TARTER (OR OTHER)	STOCK TANK, 3'W x 2'H	-	1	GALVANIZED

NOTES:
1. KOMPAN AGILITY NET PLAY COMPONENTS (ITEMS H, I, J) WILL CONNECT TO AN EXISTING AGILITY SYSTEM; ONLY 1 POST PER PIECE IS NEEDED.
2. KOMPAN DOUBLE CABLEWAY (ITEM F) CABLE NEEDS TO BE SHORTENED TO FIT WITHIN THE EXISTING 118' LENGTH SPACE. VERIFY EXISTING CONDITIONS ALLOWABLE SPACE PRIOR TO ORDERING.
3. STOCK TANKS (ITEMS M,N) CONCRETE SHALL HAVE A LIGHT BROOM FINISH TO MATCH EXISTING.

LAYOUT + MATERIALS LEGEND

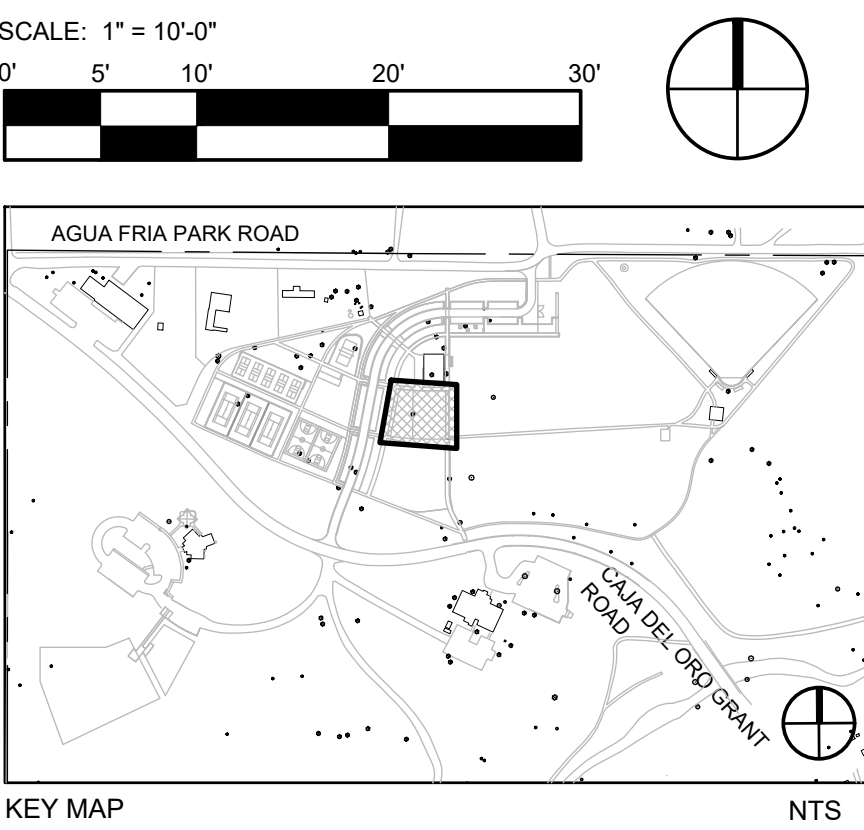


PLAYGROUND KEYED NOTES

- 1 PRESERVE AND PROTECT EXISTING SITE ELEMENTS TO REMAIN, TYP.
- 2 INSTALL NEW CONCRETE PATH; MATCH FINISH SURFACE GRADES AT CONNECTIONS TO EXISTING CONCRETE.
- 3 INSTALL POURED-IN-PLACE RESILIENT RUBBER SURFACE; BASE COLOR: TURQUOISE BLUE, ACCENT COLOR: MEDIUM GRAY; SURFACE ADJACENT TO CAROUSEL TO BE FLEXGROUND XTREME SURFACING. SET SURFACE FLUSH WITH ADJACENT CONCRETE ON EDGES ADJACENT TO CONCRETE SURFACING. CONFIRM FINAL LAYOUT IN FIELD. COORDINATE WITH PLAY EQUIPMENT SAFETY ZONES AND PLAY EQUIPMENT MANUFACTURER'S TECHNICAL SPECIFICATIONS, TYP.
- 4 EXISTING SUBGRADE SEWER LINE IN THIS APPROXIMATE LOCATION; PROTECT EXISTING UTILITY AND NOTIFY LANDSCAPE ARCHITECT IF MODIFICATIONS TO THE PLAYGROUND LAYOUT ARE NECESSARY TO KEEP REQUIRED CLEARANCES TO EXISTING UTILITIES.
- 5 INSTALL ACCESSIBLE CONCRETE RAMP, INTEGRAL COLORED CONCRETE TO MATCH ADJACENT PAVING; MATCH FINISH GRADE OF SIDEWALK AT CONNECTION, TYP.
- 6 PLAYGROUND RULES SIGN, 2-5 YEAR OLD; CONFIRM FINAL LOCATION / ORIENTATION IN FIELD WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 7 INSTALL PIPE FENCE; SET PARALLEL WITH ADJACENT SIDEWALK OUTSIDE SAFETY ZONE; CONFIRM LOCATION OF END POINTS WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 8 PLAY ELEMENT, TYP; CONFIRM FINAL PLACEMENT AND FINISH GRADE OF PLAY ELEMENT IN FIELD WITH LANDSCAPE ARCHITECT.
- 9 BOULDER ROCK RETAINING / CLIMBING WALL, 3 LEVELS; BUTT JOINTS AND MORTAR WHERE NECESSARY TO PREVENT SAFETY SURFACE MIGRATION. STAKE LAYOUT IN FIELD AND CONFIRM WITH LANDSCAPE ARCHITECT PRIOR TO SETTING ROCKS; PROVIDE SUFFICIENT CLEARANCE TO PLAYGROUND EQUIPMENT SAFETY ZONES, TYP.
- 10 BOULDER HILL / HIGH POINT; FIRMLY ANCHOR TOP ROCKS TO LOWER ONES TO STABILIZE ROCKS.
- 11 BOULDER-EDGED SANDBOX; ADJUST AND CONFIRM LAYOUT IN FIELD ACCORDING TO FINISH ROCK SELECTIONS; BUTT JOINTS AND MORTAR JOINTS, TYP.
- 12 ROLLERSLIDE - SET ROLLERSLIDE POSTS IN BOULDER ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- 13 CONCRETE BENCH (APPROX 2' WIDTH X 3' LENGTH) ADJACENT TO RAMP, MATCH COLOR TO RAMP CONCRETE; CONFIRM FINAL WIDTH OF CONCRETE TO COORDINATE WITH BOULDER ROCK WALL; SET RECESSED ELECTRIC OUTLETS IN CONCRETE ON EAST SIDE FOR EVENTS / MOVIES, CONFIRM LOCATION; SEE ELECTRICAL PLANS FOR CONDUIT LOCATIONS AND DETAILS.
- 14 ADD COVER LAYER OF ENGINEERED WOOD FIBER ON EXISTING PLAYGROUND AREA.
- 15 INSTALL NEW SAFETY SURFACING TO MATCH TOP OF SURFACE GRADES OF EXISTING PLAYGROUND FOR A SEAMLESS EXTENSION; RAKE SMOOTH.
- 16 INSTALL 2' X 2' X 20" DEEP CONCRETE TRANSITION BETWEEN CONCRETE HEADER CURB AND RESILIENT SURFACING 45° EDGE; SET TOP OF SURFACE FLUSH WITH ADJACENT HEADER CURB; LOCATE OUTSIDE PLAY EQUIPMENT SAFETY ZONE.
- 17 INSTALL WOOD STUMP, OWNER SUPPLIED (SIZES VARY); BURY BASE OF STUMP INTO SUBGRADE, MINIMUM 4" DEPTH; SAND SURFACE OF STUMP SMOOTH AND FREE OF SHARP PROTRUSIONS OR SNAGS; SET LOCATIONS AND HEIGHTS OF STUMPS IN FIELD UNDER SUPERVISION OF LANDSCAPE ARCHITECT.
- 18 SEAT ELEMENT, TYP; CONFIRM FINAL PLACEMENT AND FINISH GRADE OF SEAT ELEMENT IN FIELD WITH LANDSCAPE ARCHITECT. DIMENSION INDICATES HEIGHT ABOVE ADJACENT FINISH GRADE (WOOD CHIP SURFACE), TYP.

PLAY EQUIPMENT AND SURFACE NOTES

1. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL AND EQUIPMENT NECESSARY TO FURNISH, INSTALL AND CONSTRUCT ALL PLAY EQUIPMENT AND SITE FURNISHINGS AS SPECIFIED AND DESCRIBED ON THIS PLAN.
2. THE GROUND SPACES (GS) AND USE ZONE (UZ) FOR EACH PIECE OF PLAY EQUIPMENT ARE SHOWN ON THE PLAN. THE GROUND SPACE IS THE ACTUAL SPACE THAT THE EQUIPMENT OCCUPIES. THE USE ZONE IS THE REQUIRED OBSTACLE FREE SURFACE AROUND EQUIPMENT. THE USE ZONE FOR STATIONARY PLAY EQUIPMENT SHALL EXTEND NO LESS THAN 6' FROM ALL SIDES OF THE PLAY STRUCTURE. IN INSTANCES WHERE THE USE ZONE EXTENDS BEYOND 6' FROM A SPECIFIED SIDE OF A STRUCTURE, THE REQUIRED LENGTH IS SHOWN ON THE PLAN.
3. THE USE ZONES FOR ANY TWO ADJACENT PLAY STRUCTURES SHALL NOT OVERLAP UNLESS APPROVED BY MANUFACTURER.
4. PRIOR TO FINAL ACCEPTANCE BY THE OWNER, THE CONTRACTOR SHALL PROVIDE AN "AS-BUILT" DRAWING WHICH DOCUMENTS THAT EACH PIECE OF PLAY EQUIPMENT IS CONSTRUCTED WITH THE REQUIRED ZONE AND THAT NO USE ZONES OVERLAP, UNLESS APPROVED BY MANUFACTURER.
5. PRIOR TO FINAL ACCEPTANCE BY THE OWNER, THE CONTRACTOR MUST PROVIDE WRITTEN AUTHORIZATION THAT THE CONSTRUCTION AND INSTALLATION OF EACH PIECE OF PLAY EQUIPMENT HAS BEEN INSPECTED BY A REPRESENTATIVE OF THE EQUIPMENT MANUFACTURER, AND THAT THE CONSTRUCTION AND INSTALLATION OF EACH PIECE OF EQUIPMENT FULLY COMPLIES WITH ASTM F-1487-11 AND THE U.S. CONSUMER PRODUCT SAFETY COMMISSION HANDBOOK FOR PUBLIC PLAYGROUND SAFETY.



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ROMERO PARK - SITE IMPROVEMENTS

SANTA FE COUNTY

2100 CAJA DEL ORO GRANT ROAD
SANTA FE, NEW MEXICO 87507

STATE OF NEW MEXICO
12.10.2019
C. Mattern
CLAUDIA MEYER HORN
371
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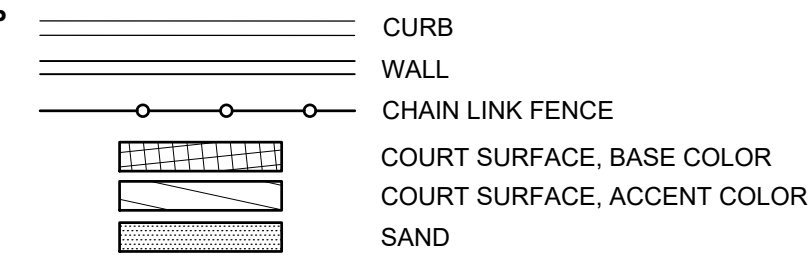
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December 20, 2019

SHEET TITLE

ENLARGED PLAN
PLAYGROUND

SHEET NUMBER

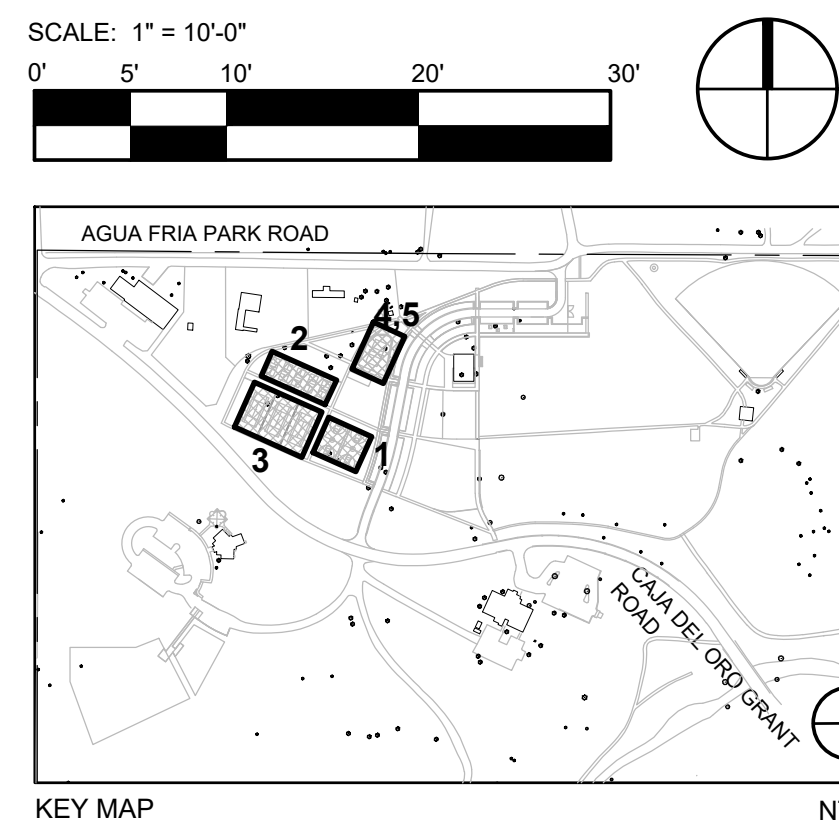
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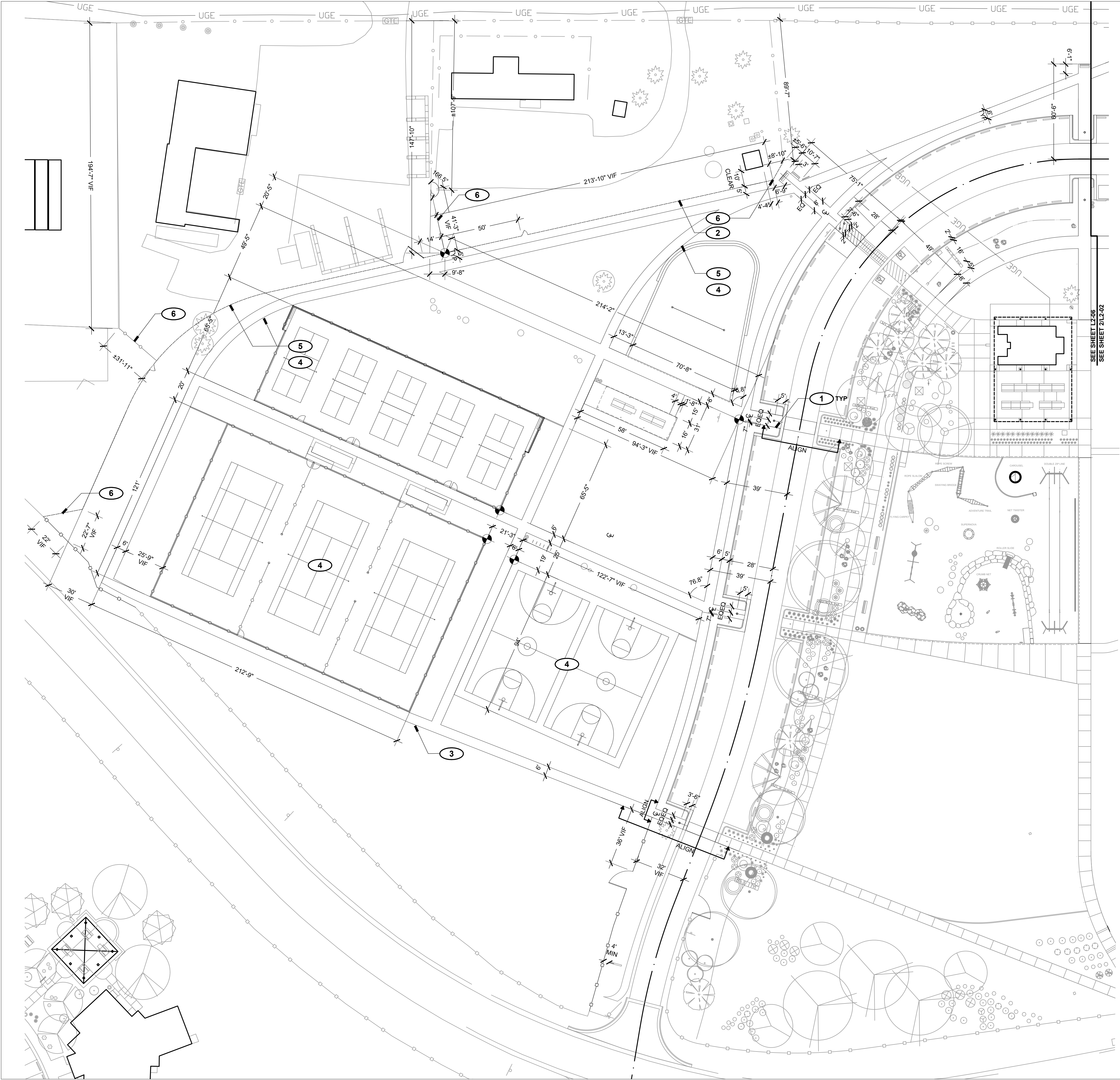
- 1** INSTALL NEW BASKETBALL COURT WITH SALVAGED BASKETBALL HOOP POLES, BACKBOARDS, RIMS, AND NETS; STRIPE ACCORDING TO NATIONAL FEDERATION OF STATE HIGH SCHOOL ASSOCIATIONS STANDARDS; STRIPE COLOR: TBD. REPLACE DAMAGED ITEMS WITH FINISHING COMPONENTS; SEE STRUCTURAL PLANS FOR POST-TENSIONED CONCRETE PAD DETAILS, TYP.; MATCH SURFACE : COLORED CONCRETE TO MATCH SIDEWALKS, LIGHT BROOM FINISH, TYP.
- 2** INSTALL NEW PICKLEBALL COURTS WITH SURFACING, PERIMETER FENCING, NET POSTS, NETS, AND ACCESS GATES; STRIPE ACCORDING TO UNITED STATES OF AMERICA PICKLEBALL ASSOCIATION (USAPA) STANDARDS; SEE STRUCTURAL PLANS FOR POST-TENSIONED CONCRETE SLAB DETAILS, TYP.
- 3** INSTALL NEW TENNIS COURTS WITH SURFACING, PERIMETER FENCING, PARTIAL INTERIOR FENCING, NET POSTS, NETS, AND ACCESS GATES; STRIPE ACCORDING TO UNITED STATES TENNIS ASSOCIATION STANDARDS; SEE STRUCTURAL PLANS FOR POST-TENSIONED CONCRETE SLAB DETAILS, TYP.
- 4** INSTALL NET POSTS SO CENTER OF NET IS POSITIONED AT COURT MIDPOINT EQUIDISTANT FROM BOTH SIDES , TYP.
- 5** INSTALL NEW CHAIN LINK FENCE SET IN CONCRETE CURB: (TENNIS COURT: 10' HEIGHT, PICKLEBALL COURT: 8' HEIGHT, UNLESS OTHERWISE NOTED); TOP OF CURB TO BE FLUSH WITH ADJACENT COURT SURFACE; CONFIRM GATE LOCATIONS WITH LANDSCAPE ARCHITECT PRIOR TO SETTING POSTS. ALL CHAIN LINK MATERIALS TO BE VINYL COATED; COLOR: BROWN.
- 6** PLAYER BENCH (BACKLESS), TYP. CONFIRM FINAL PLACEMENT OF SEAT IN FIELD WITH LANDSCAPE ARCHITECT.
- 7** COURT SURFACING: BASE COLOR: KHAKI; ACCENT COLOR: MEDIUM BLUE. SEE COURT SURFACING COLOR DIAGRAM; CONFIRM COLOR SELECTION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 8** CONCRETE RETAINING WALL W/ FENCING; COORDINATE STEPS IN RETAINING WALL WITH FENCE POST LOCATIONS, TYP.; TOP OF CHAIN LINK TO MATCH ADJACENT PICKLEBALL COURT CHAIN LINK FENCE SET IN CONCRETE CURB.
- 9** 12"x18" RULES SIGN PANEL. SEE DETAIL 7/L3-04; FENCE MOUNTED WITH TAMPER RESISTANT HARDWARE; CONFIRM FINAL LOCATION IN FIELD.
- 10** INSTALL (3) 2-3/8" OD VERTICAL CHAIN LINK FENCE POSTS TO FILL GAP BETWEEN FENCE ENDSPTS. 2" CLEAR BETWEEN POSTS MAX; MATCH FINISH SURFACE AND COLOR TO ADJACENT FENCE, TYP.; CONFIRM ALIGNMENT WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 11** INSTALL SAND VOLLEYBALL COURT, POSTS, AND NET WITH PERIMETER CURB / SEATING; CONFIRM SAFETY CLEARANCES TO EDGE OF CONCRETE PERIMETER CURB PRIOR TO PLACING POSTS AND PREPARING SUBGRADE. .
- 12**
- 13** INSTALL CONCRETE SEAT / RETAINING WALL: CONFIRM LAYOUT IN FIELD WITH LANDSCAPE ARCHITECT; CURVES SHALL BE SMOOTH, PARALLEL AND FREE OF KINKS.
- INSTALL TURNDOWN CURB ALONG EDGE OF WALKWAY ADJACENT TO VOLLEYBALL COURT, TYP.

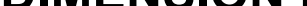













1. COURT LAYOUT, EQUIPMENT LOCATIONS, SAFETY CLEARANCES, AND STRIPING TO MEET APPLICABLE NATIONAL SPORT ASSOCIATION STANDARDS.

TENNIS	UNITED STATES TENNIS ASSOCIATION (USTA)
PICKLEBALL	UNITED STATES OF AMERICA PICKLEBALL ASSOCIATION (USAPA)
BASKETBALL	NATIONAL FEDERATION OF STATE HIGH SCHOOL ASSOCIATIONS (NFHSAA)
2. STAKE CONCRETE SLABS, CURBS, FENCE LINES, AND NET POST LOCATIONS IN FIELD FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL PRIOR TO INSTALLATION.



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<div><div>design office</div><div>landscape planning urbanism</div><div>DESIGN OFFICE 1300 Luisa street, Suite 24 Santa Fe, NM 87505 t505.983.1415 www.db-designoffice.com</div></div>		
<div><div><div>ROMERO PARK - SITE IMPROVEMENTS</div><div><div><div><div>STATE OF NEW MEXICO</div><div>12.20.2019</div><div>C. Meyer Horn</div><div>CLAUDIA MEYER HORN</div><div>371</div><div>REGISTERED</div><div>LANDSCAPE ARCHITECT</div></div></div><div><div>SANTA FE COUNTY</div><div>2100 CAJA DEL ORO GRANT ROAD</div><div>SANTA FE, NEW MEXICO 87507</div></div></div></div></div>		
DRAWN BY CH		DATE December 20, 2019
SHEET TITLE ENLARGED PLAN COURTS		
SHEET NUMBER L2-05		



DIMENSION PLAN LEGEND			
	MATCH LINE		BOLLARD
	CURB		SIGN
	POST AND CABLE FENCE		TRASH RECEPTACLE
	METAL FENCE		BENCH
	CHAIN LINK FENCE		PICNIC TABLE
	WOOD FENCE		BIKE RACK
	COYOTE FENCE		PARKING BUMPER
	FIVE STRAND BARBLESS		BOULDER

- DIMENSION KEYED NOTES**
- 1 ALIGN PATHWAY EXTENSIONS ACROSS DRIVE AISLE AND CURB BUMPOUTS WITH EXISTING PATHWAY / BUMPOUTS ON EAST SIDE OF DRIVE AISLE.
 - 2 INSTALL FENCE PARALLEL TO WALKWAY; CONFIRM GATE LOCATIONS IN FIELD WITH LANDSCAPE ARCHITECT.
 - 3 ADJUST SIDEWALK ALIGNMENT IN THIS APPROXIMATE LOCATION TO JOIN SIDEWALK SOUTH OF TENNIS COURTS WITH SIDEWALK EXTENSION FROM THE EAST.
 - 4 SEE ENLARGED PLANS ON SHEET L2-05 FOR DETAILED DIMENSIONS OF COURTS. DIMENSIONS INDICATED IN THIS PLAN ARE MEASURED TO OUTSIDE EDGE OF COURT PERIMETER FENCE CURB (TENNIS, PICKLEBALL). COURTS WITH NO PERIMETER FENCING (BASKETBALL, VOLLEYBALL) ARE MEASURED TO PERIMETER OF COURT AREA.
 - 5 CURVE SIDEWALK AND FENCE AS ILLUSTRATED TO COORDINATE WITH NEW SITE ELEMENT TO BE CONSTRUCTED OR WITH EXISTING FEATURE TO REMAIN. CURVES TO BE SMOOTH AND FREE OF KINKS AT POINT OF CURVATURE WITH STRAIGHT ELEMENTS. FLAG OR STAKE ALIGNMENTS IN FIELD FOR REVIEW PRIOR TO CONSTRUCTION, TYP.
 - 6 FIELD LOCATE SMALL FENCE CONNECTOR SEGMENT LENGTHS / CONNECTION POINTS IN COORDINATION WITH OVERALL HARDSCAPE AND FENCING LAYOUT. ALL CONSTRUCTED ELEMENTS TO BE STAKED AND APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

SCALE: 1" = 30'-0"

0' 15' 30' 60' 90'

AGUA FRIA PARK ROAD

KEY MAP

CAJA DEL ORO GRANT ROAD

NTS

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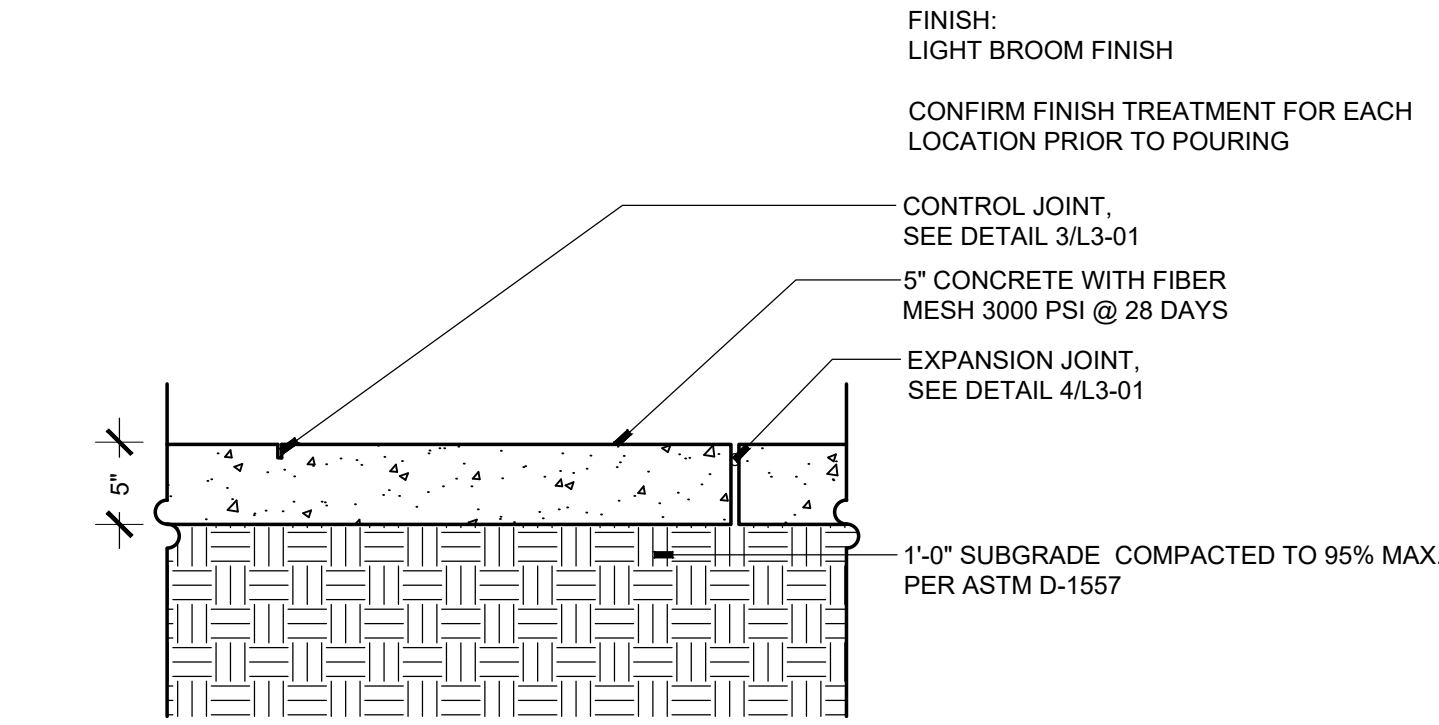
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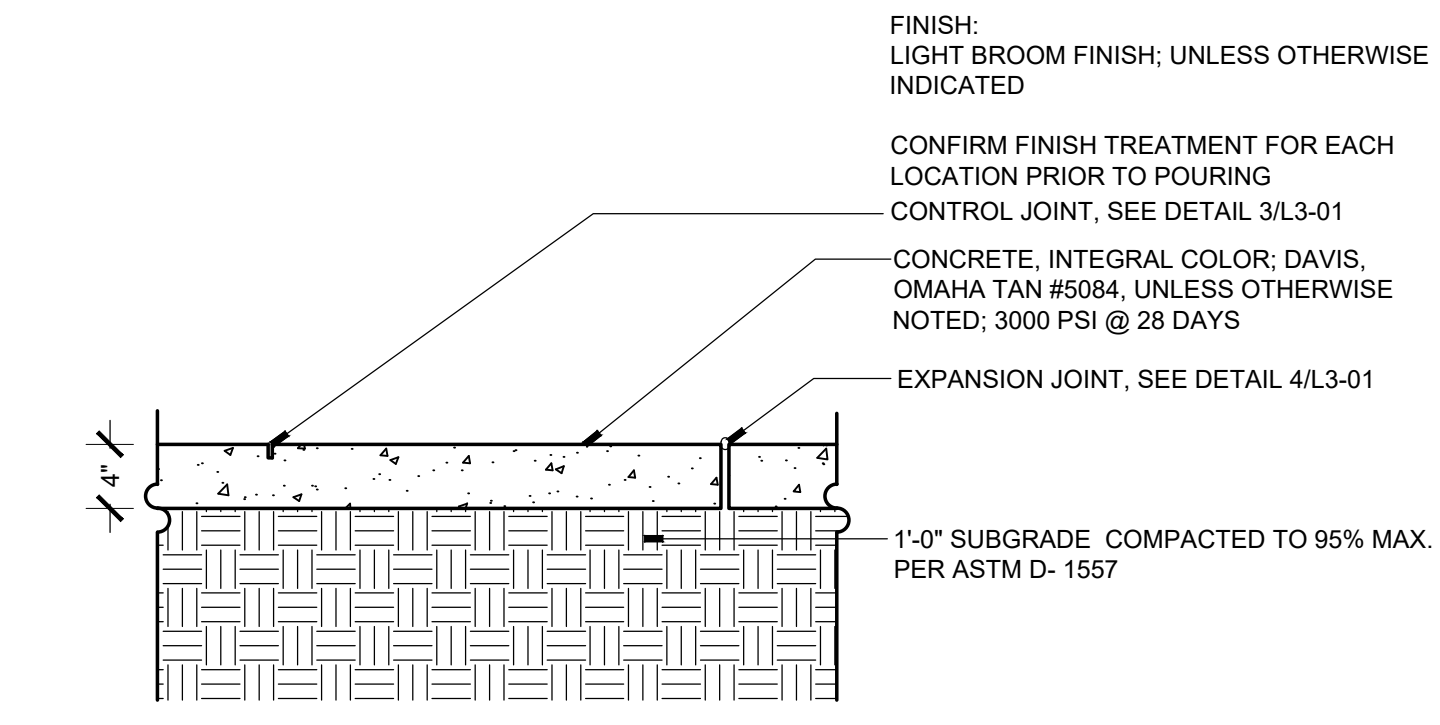
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SHEET NUMBER

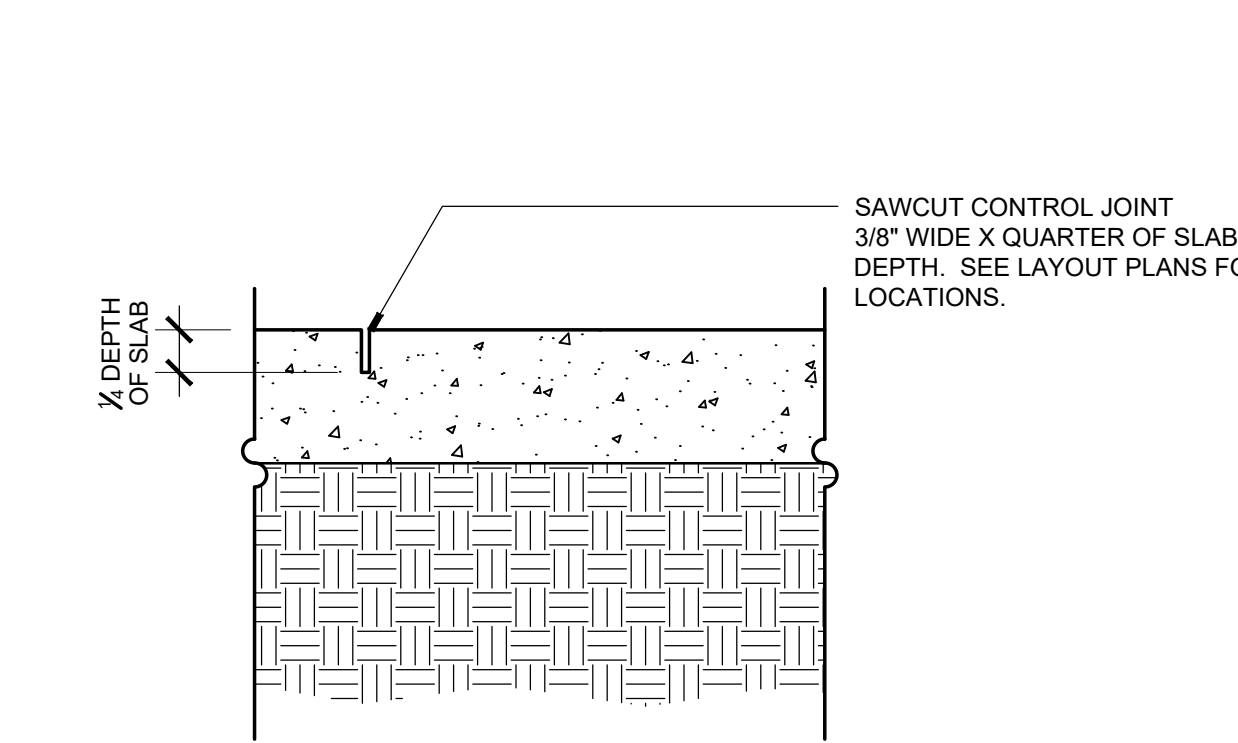
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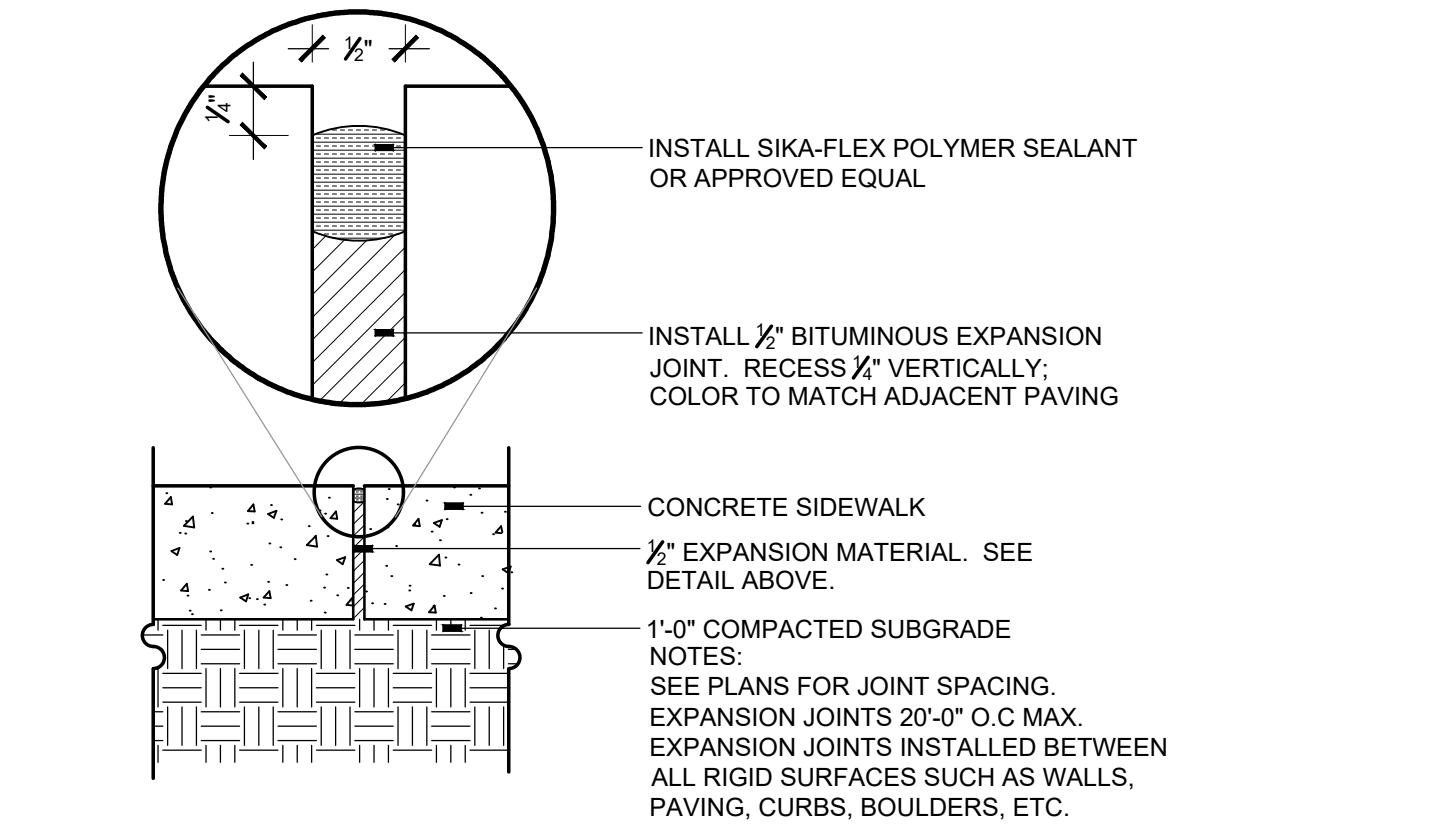
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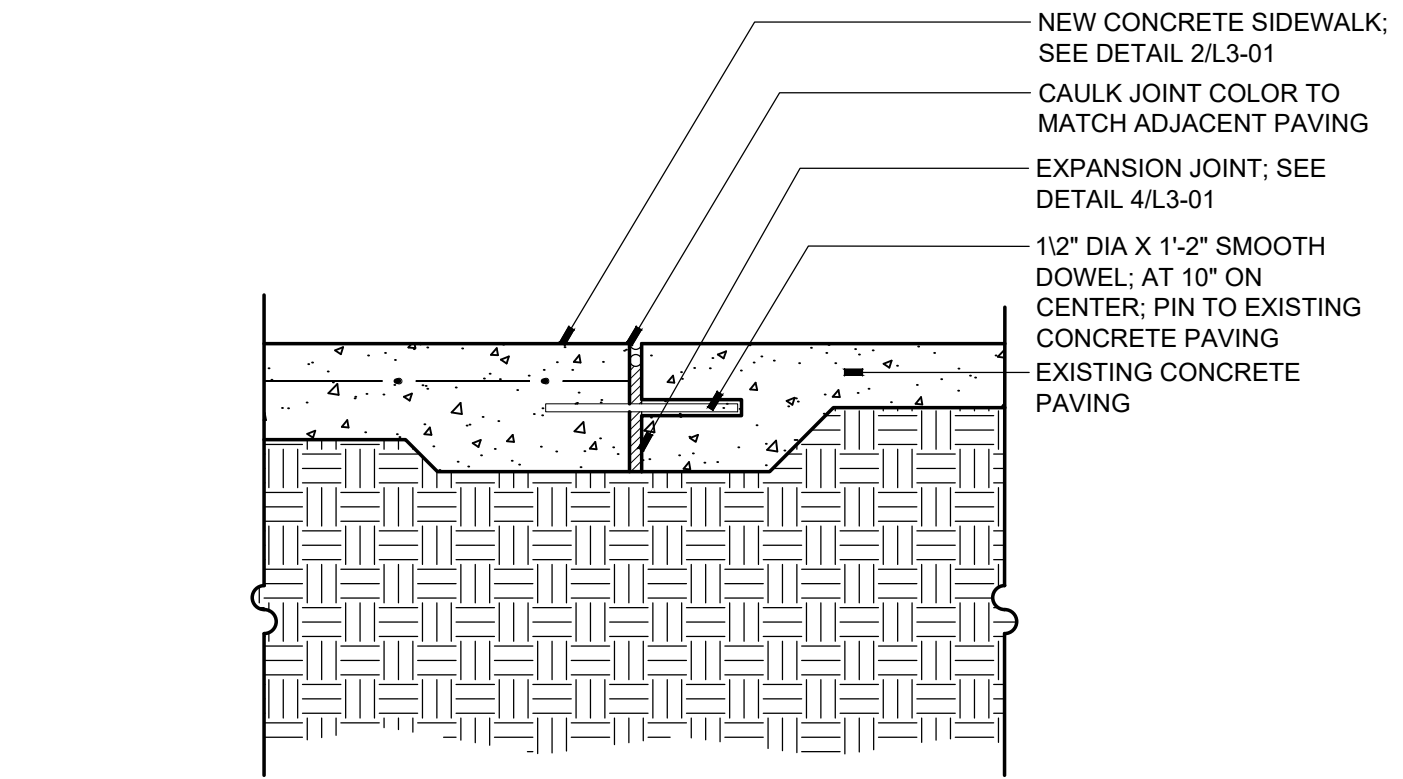
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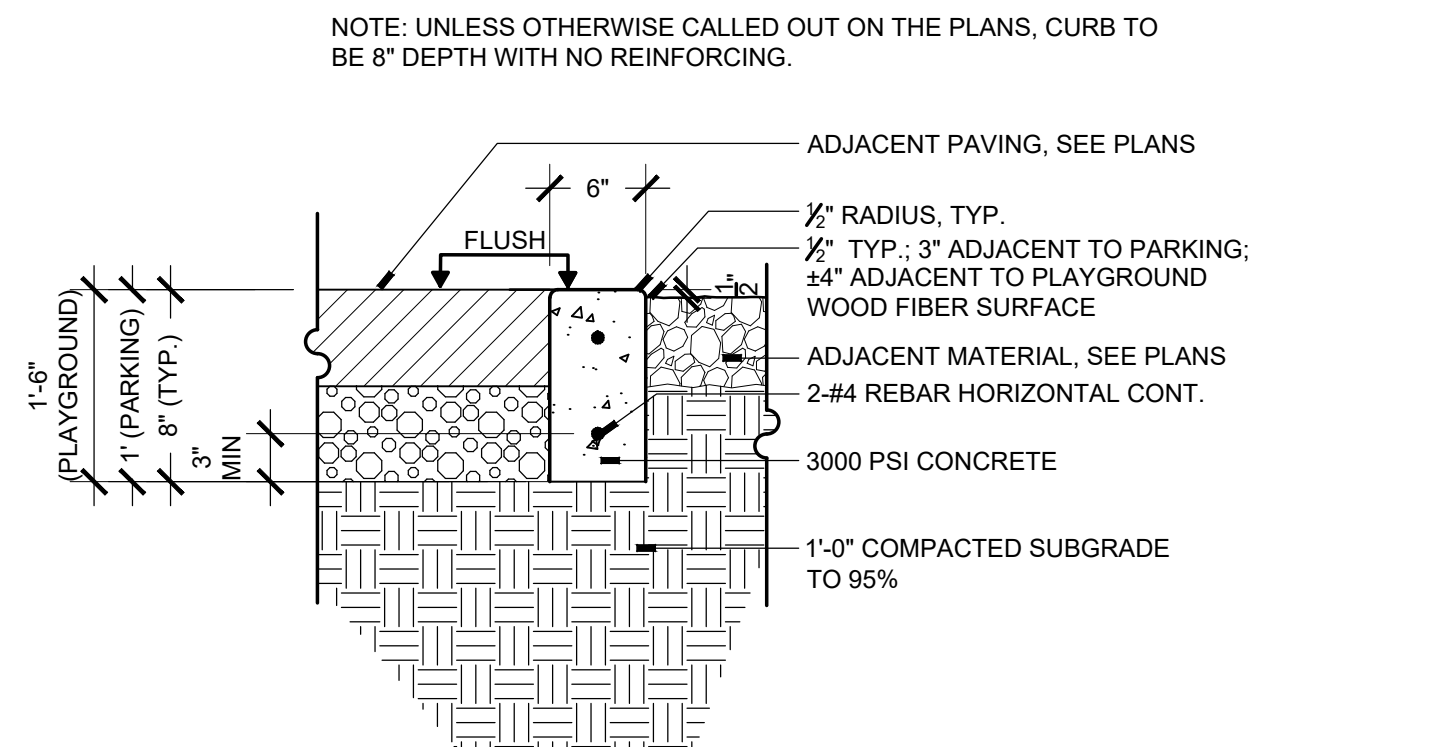
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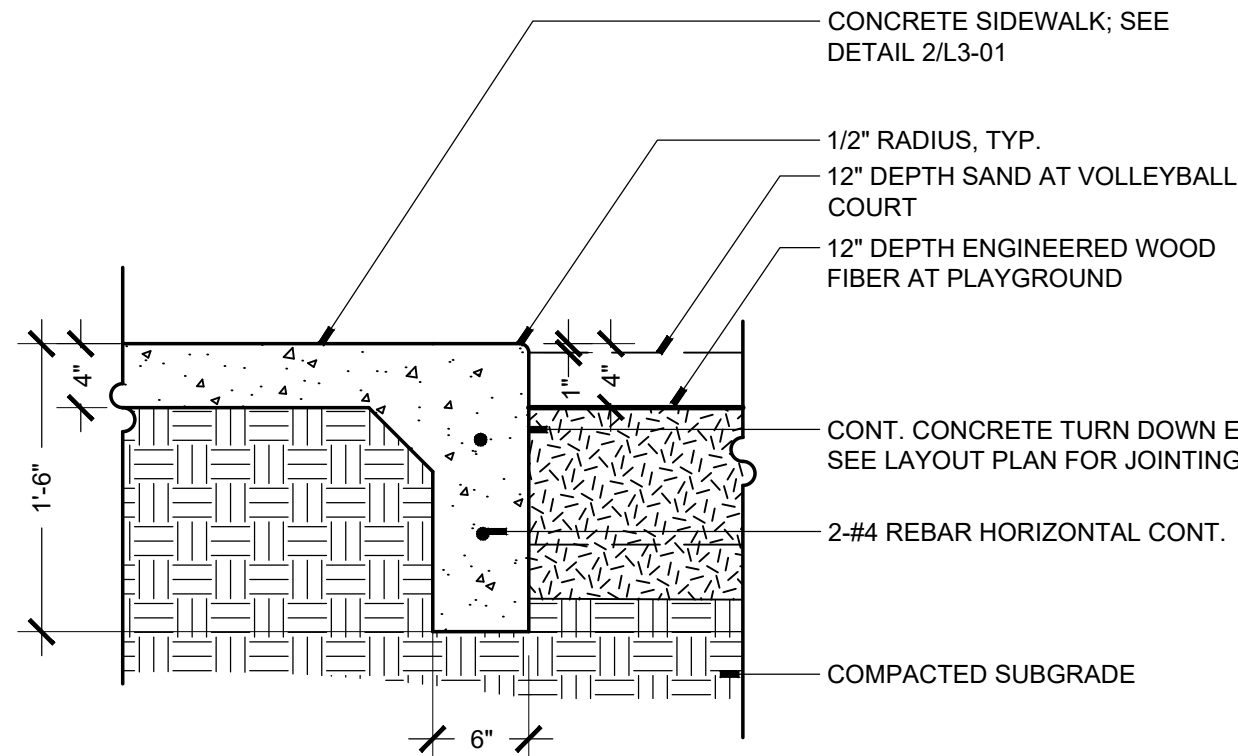
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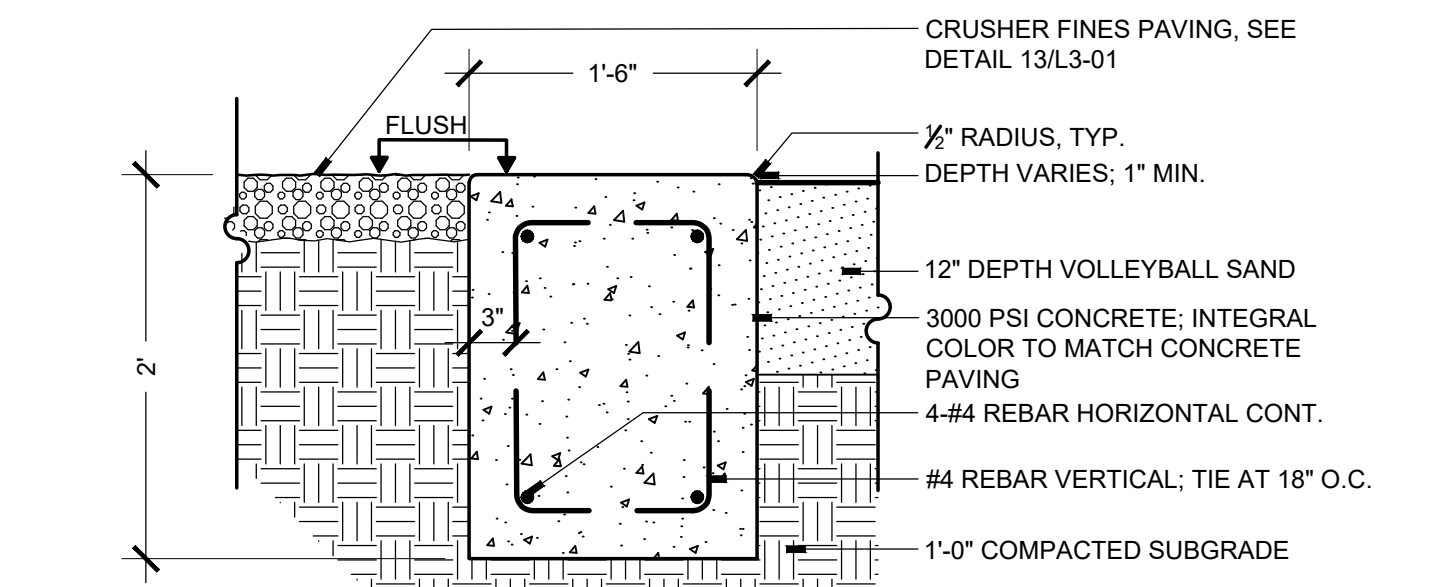
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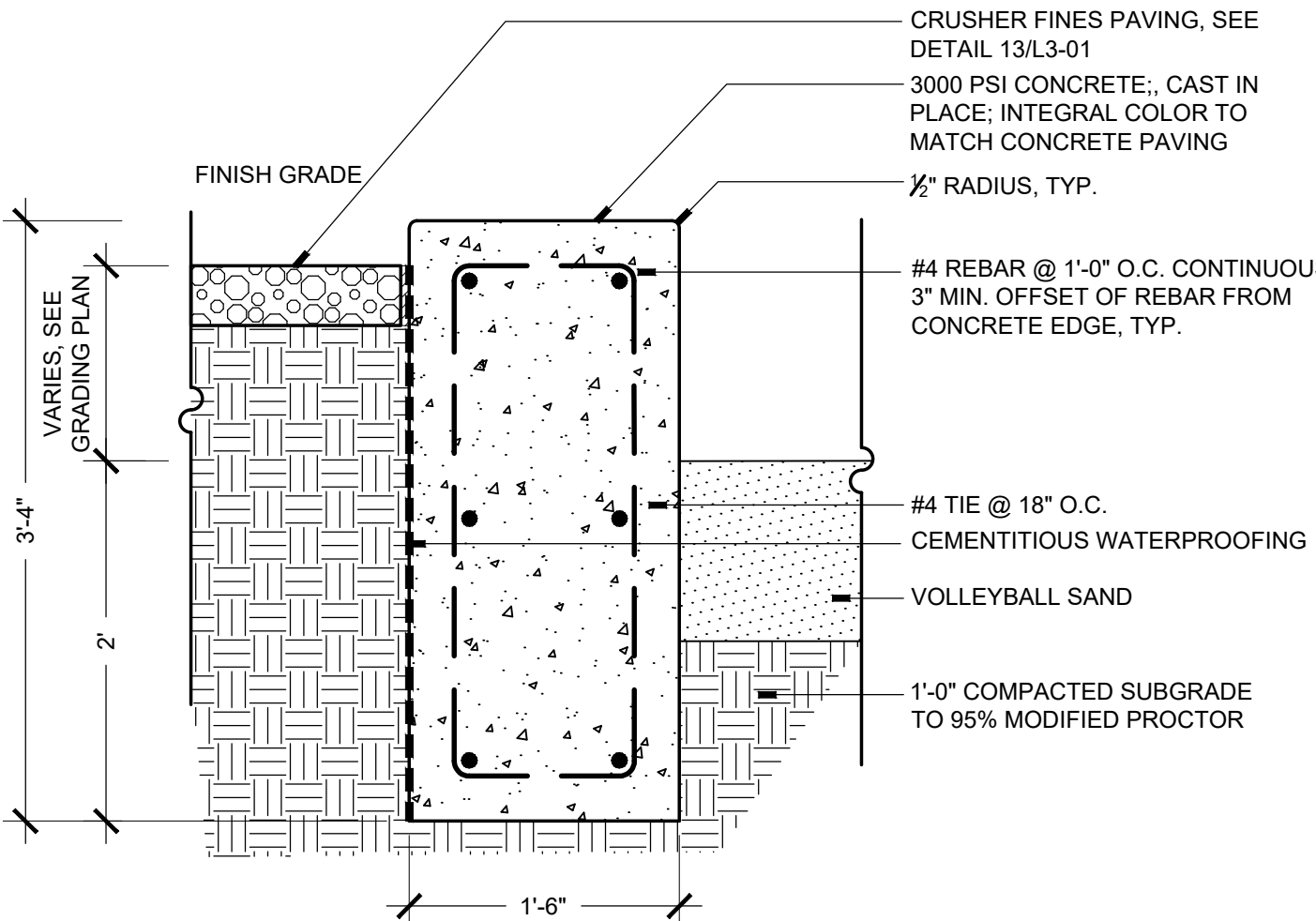
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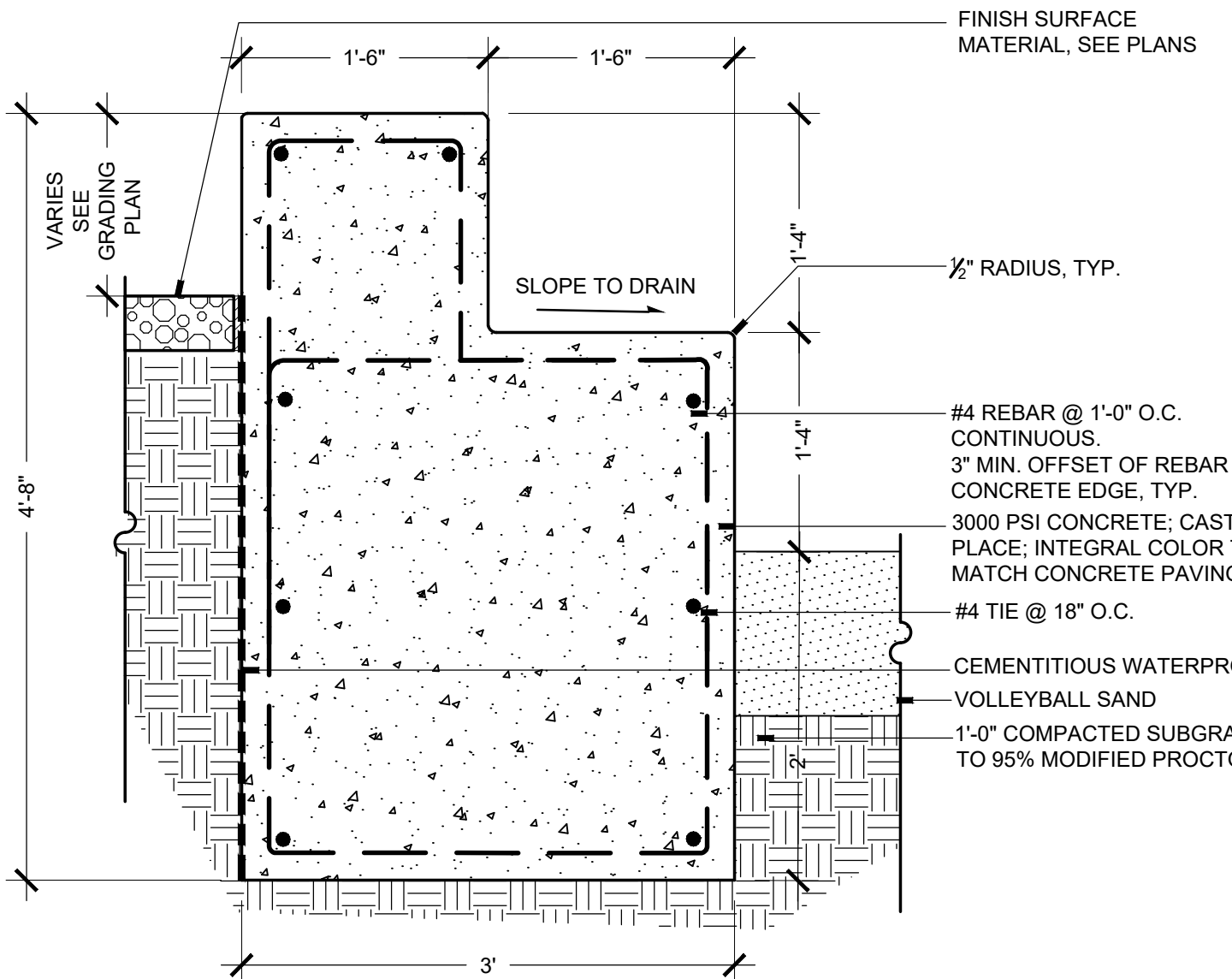
7 CONCRETE TURN-DOWN EDGE
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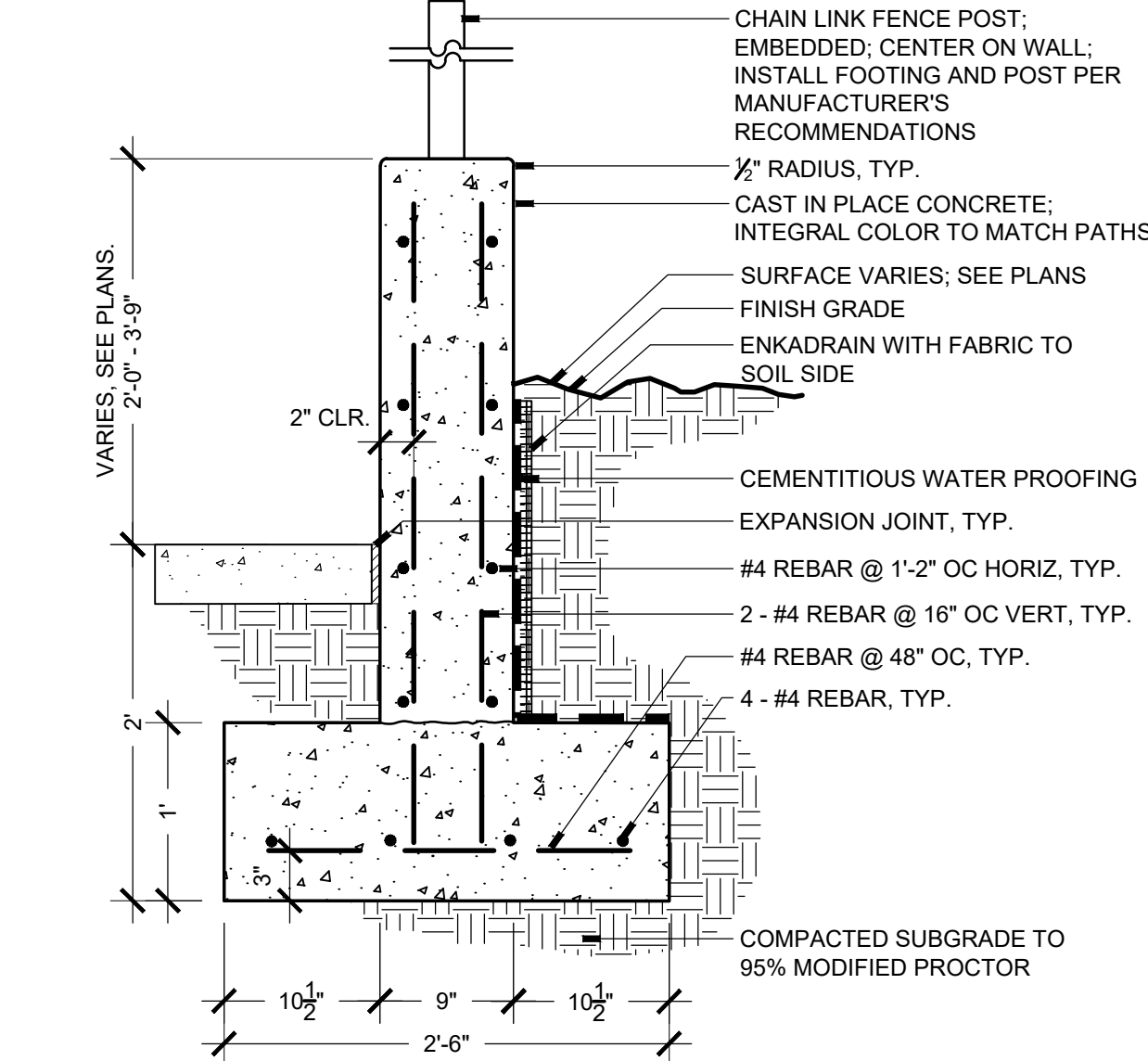
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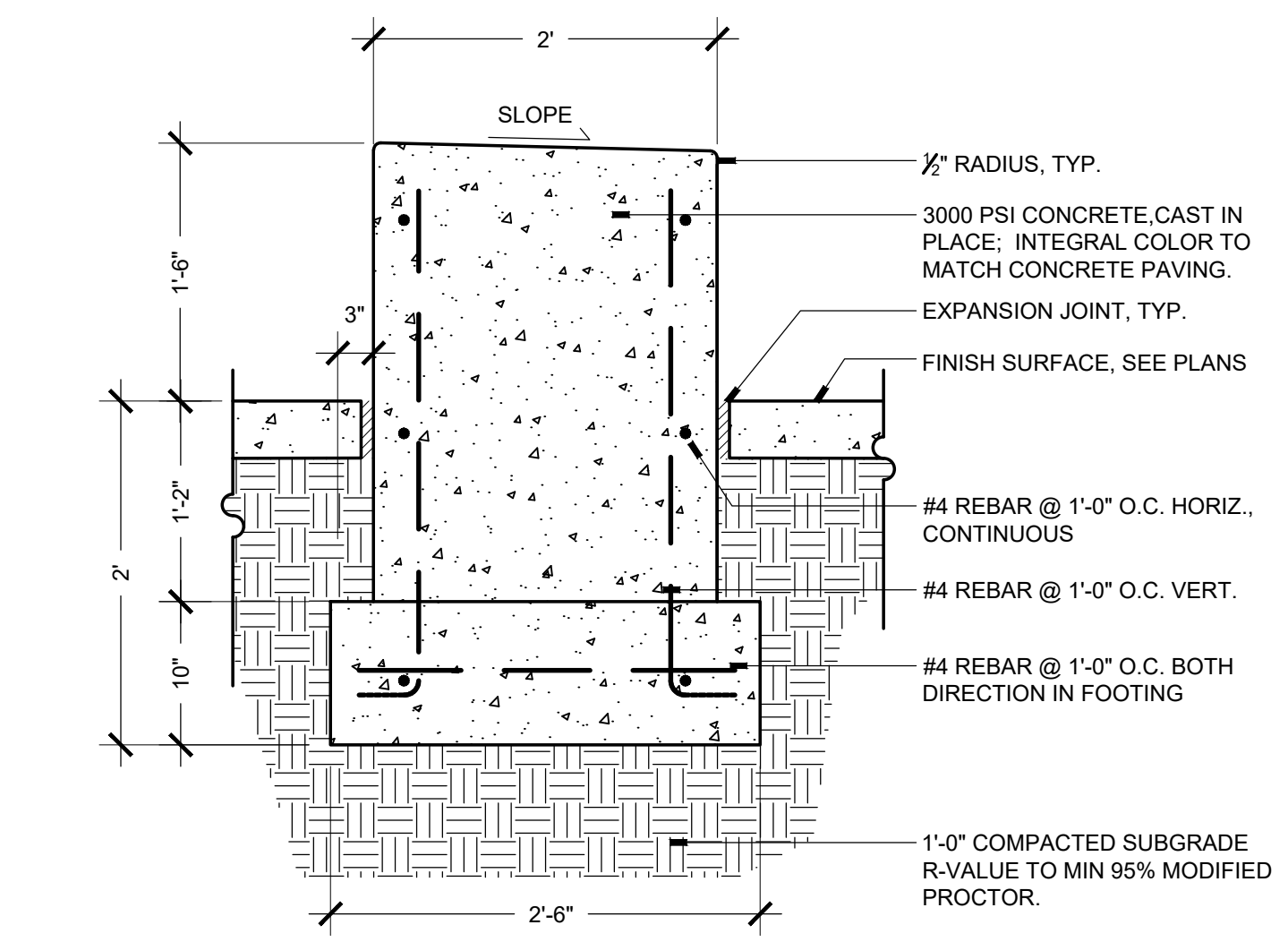
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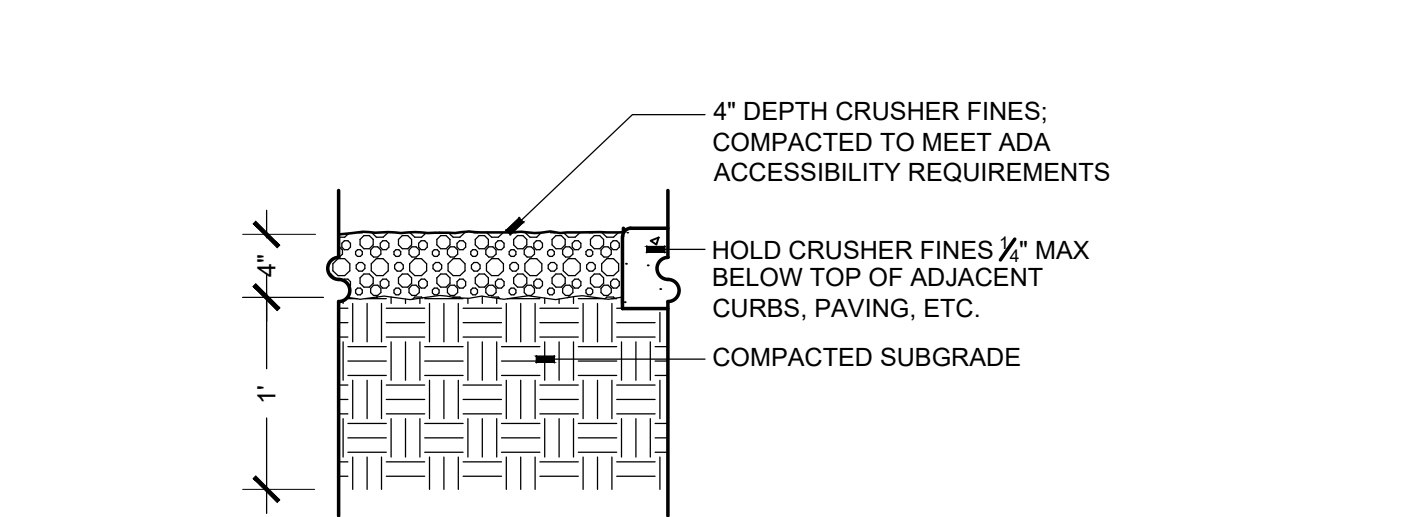
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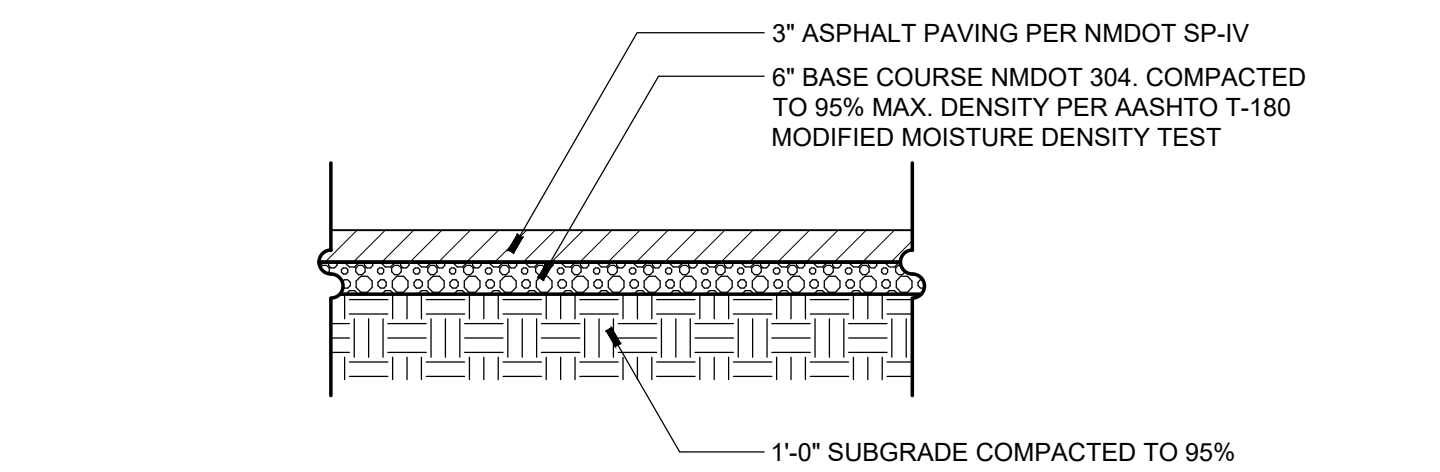
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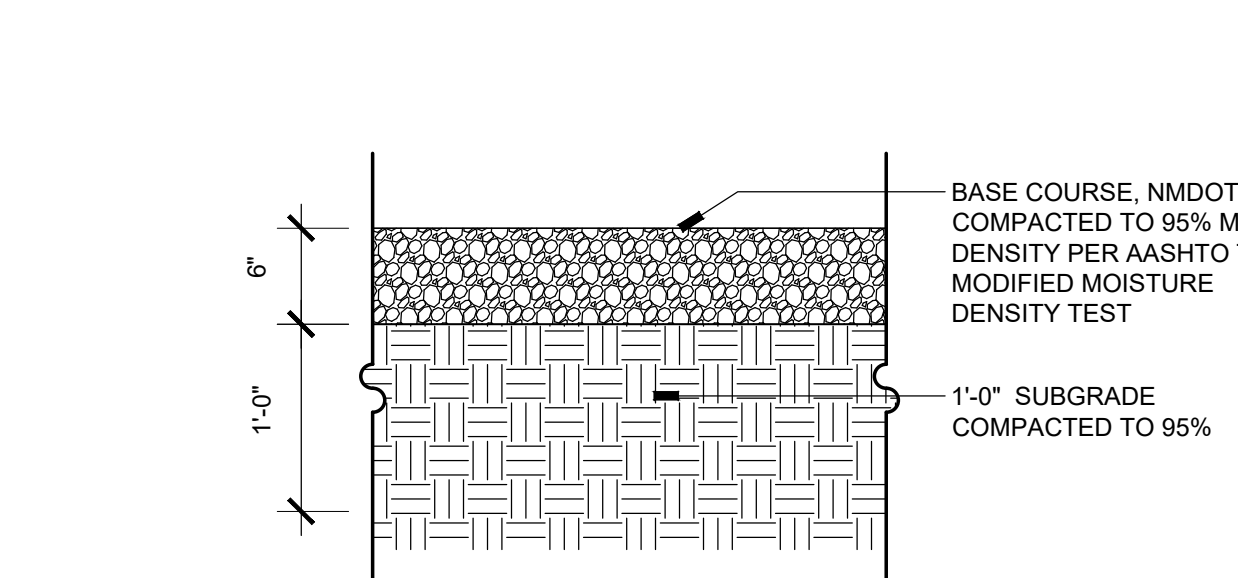
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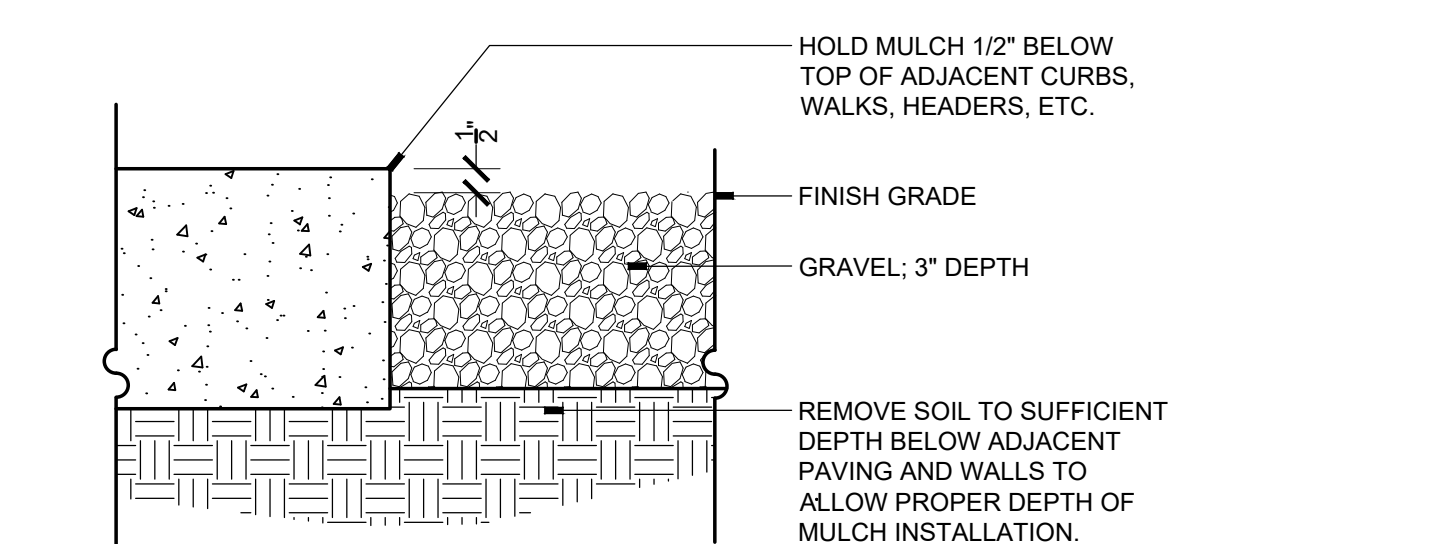
13 CRUSHER FINES PAVING
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14 ASPHALT PAVING SECTION
SCALE: 1/2"=1'-0" SECTION



15 ROADWAY SECTION
SCALE: 1"=1'-0" SECTION



16 GRAVEL MULCH
SCALE: 3"=1'-0" SECTION

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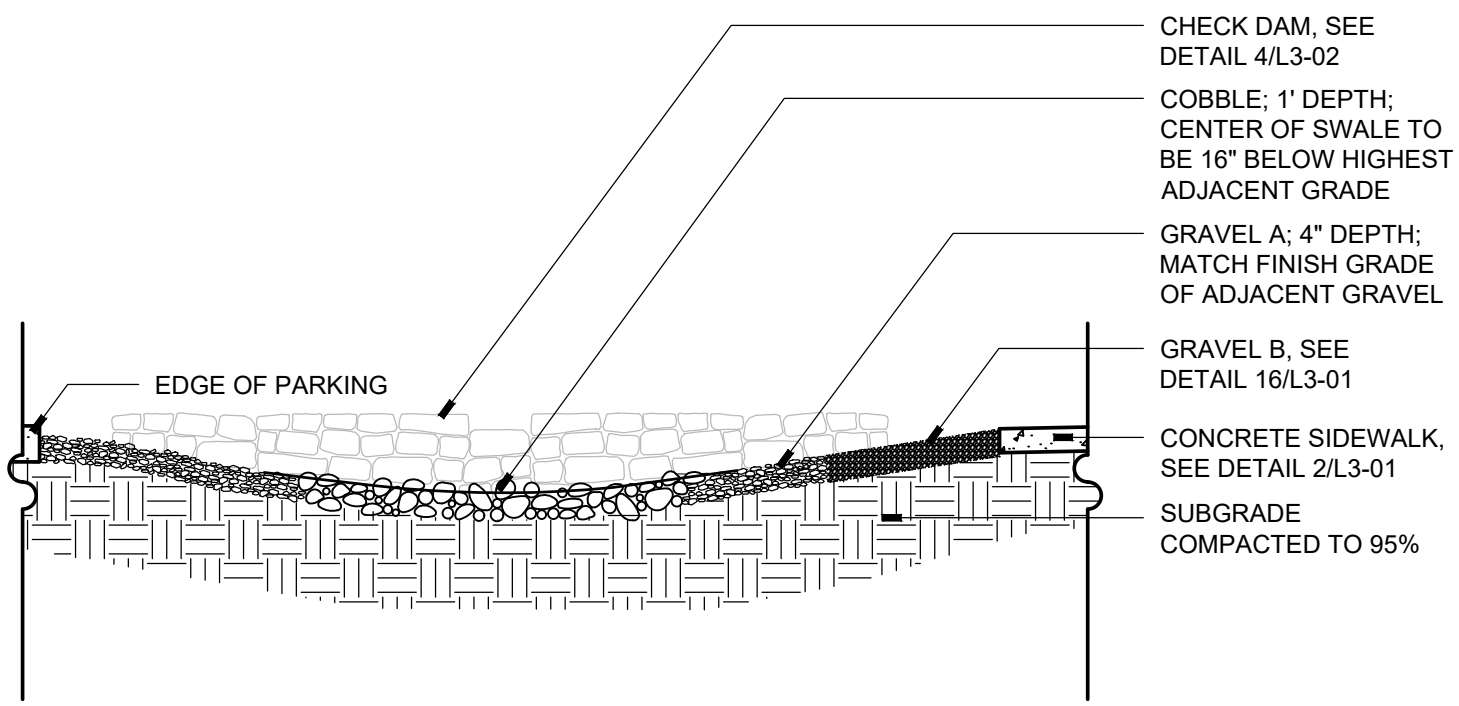
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STATE OF NEW MEXICO
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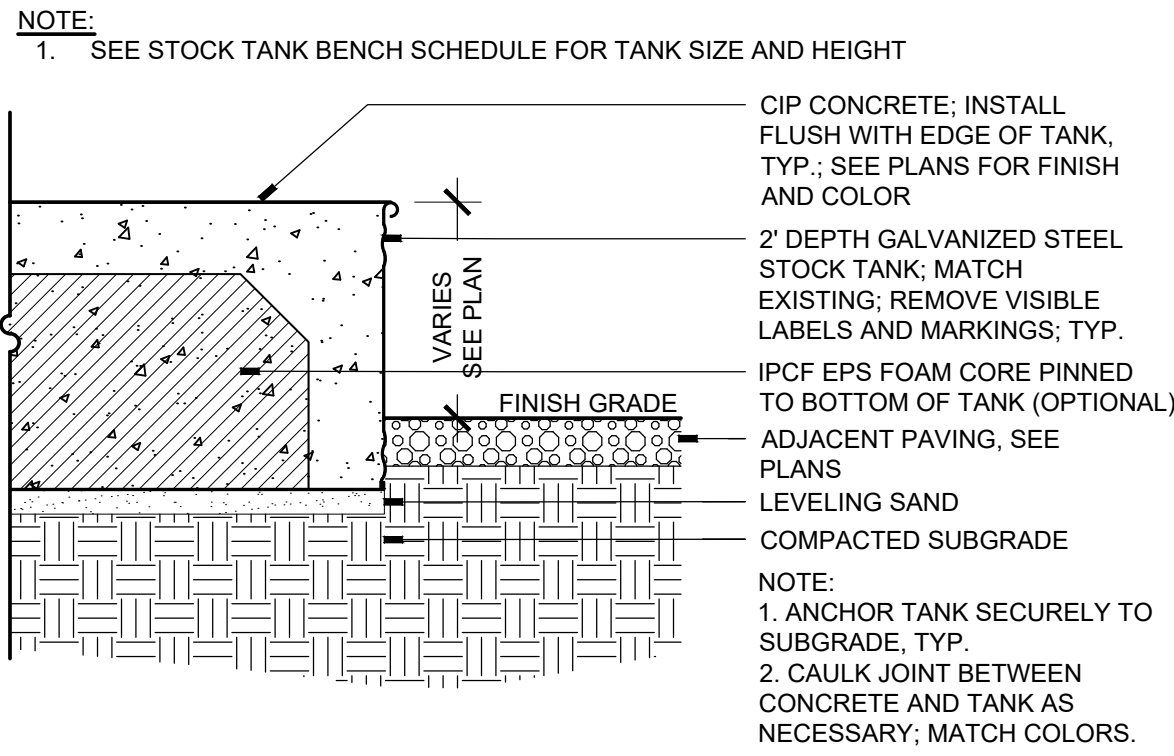
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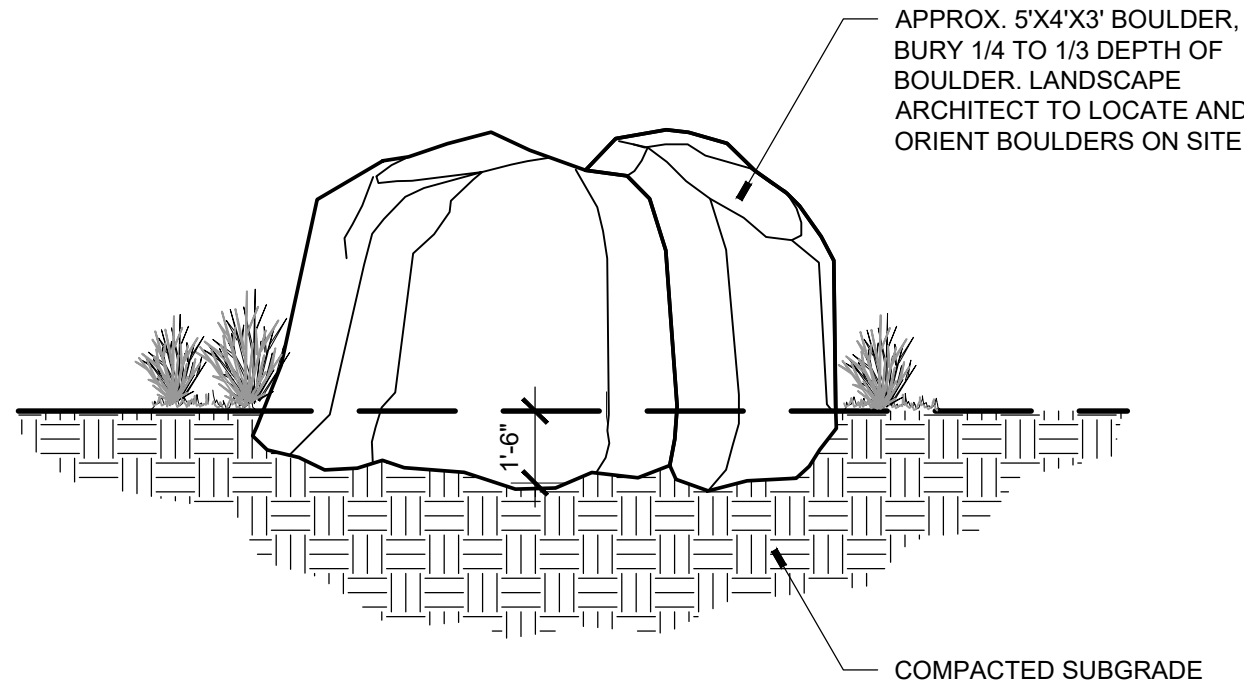


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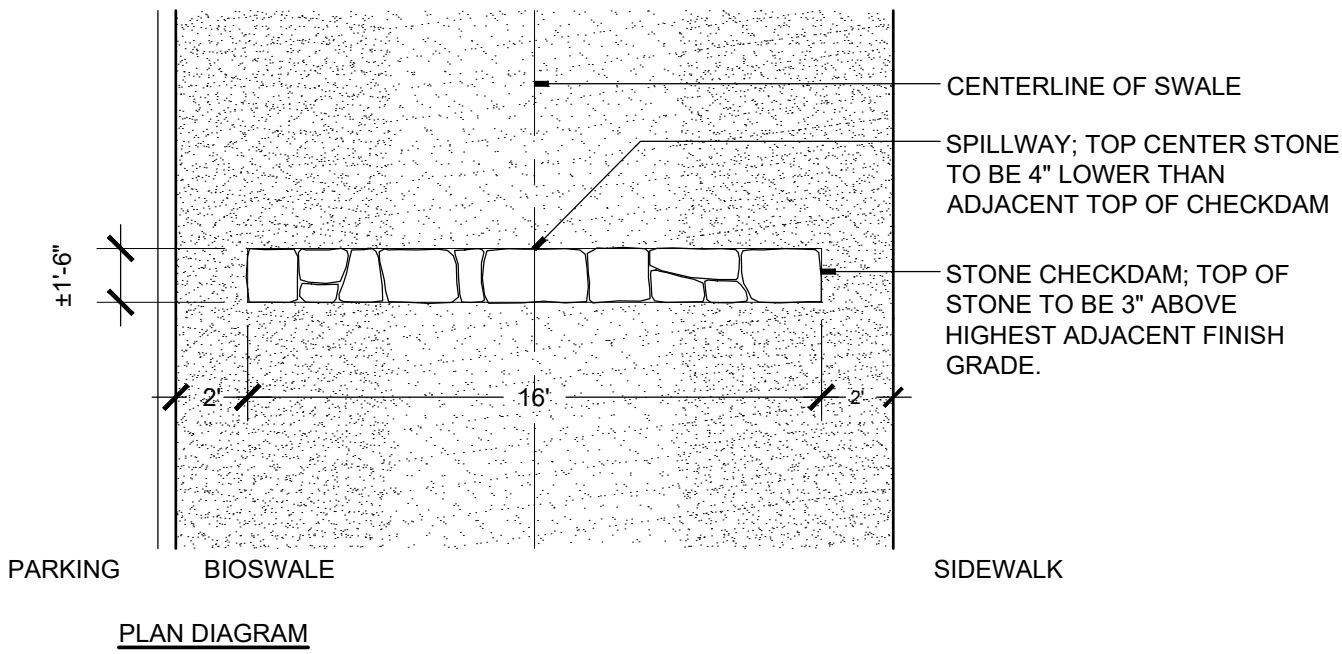
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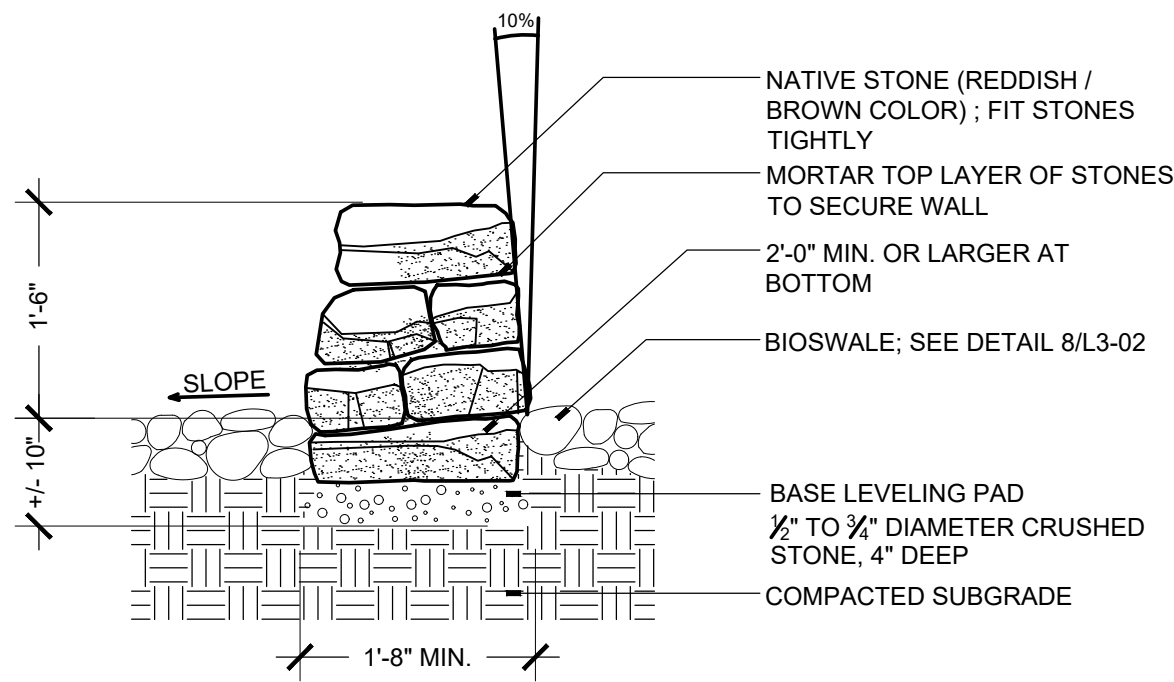
2 STOCK TANK BENCH
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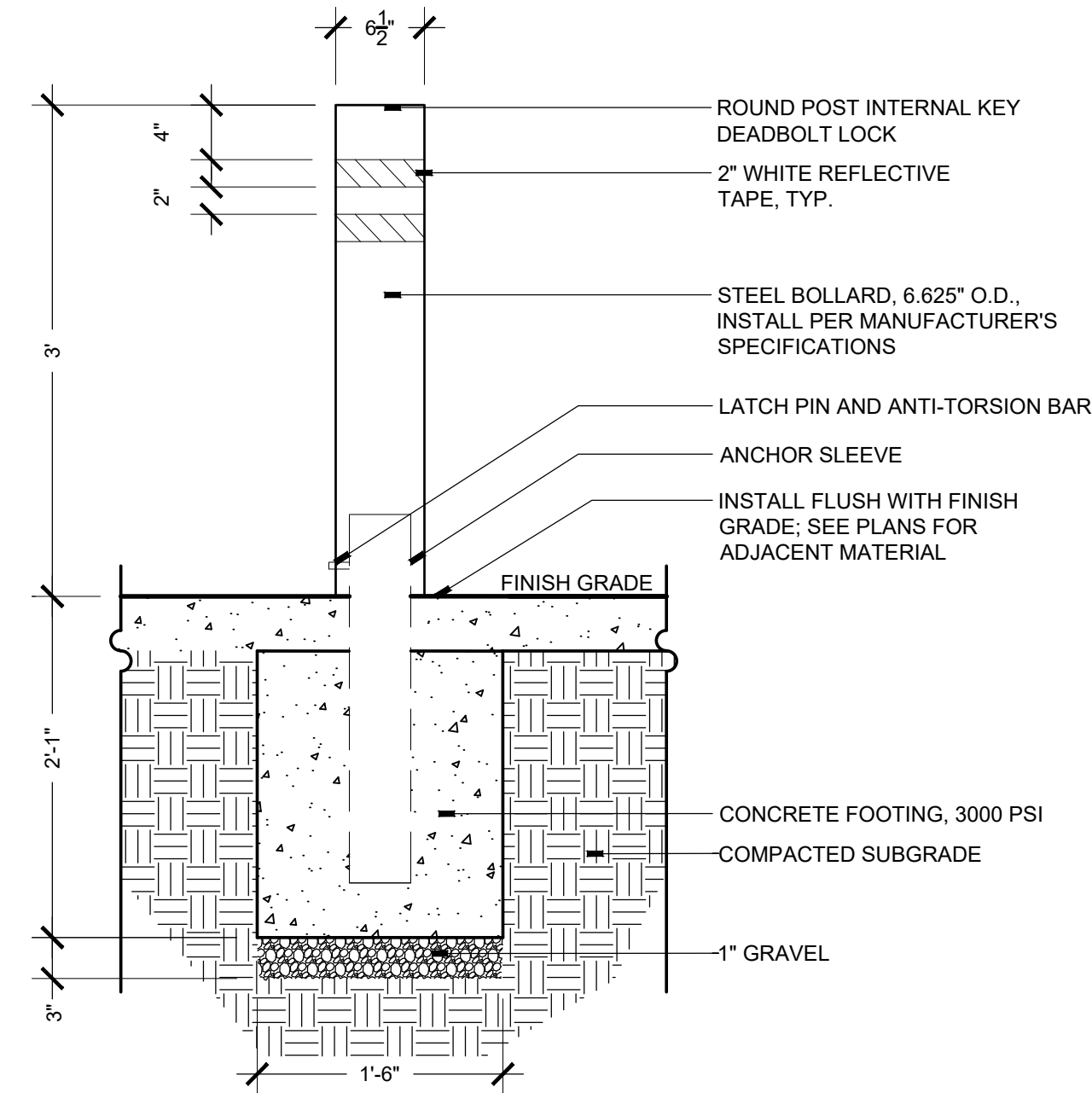
3 BOULDER
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PLAN DIAGRAM

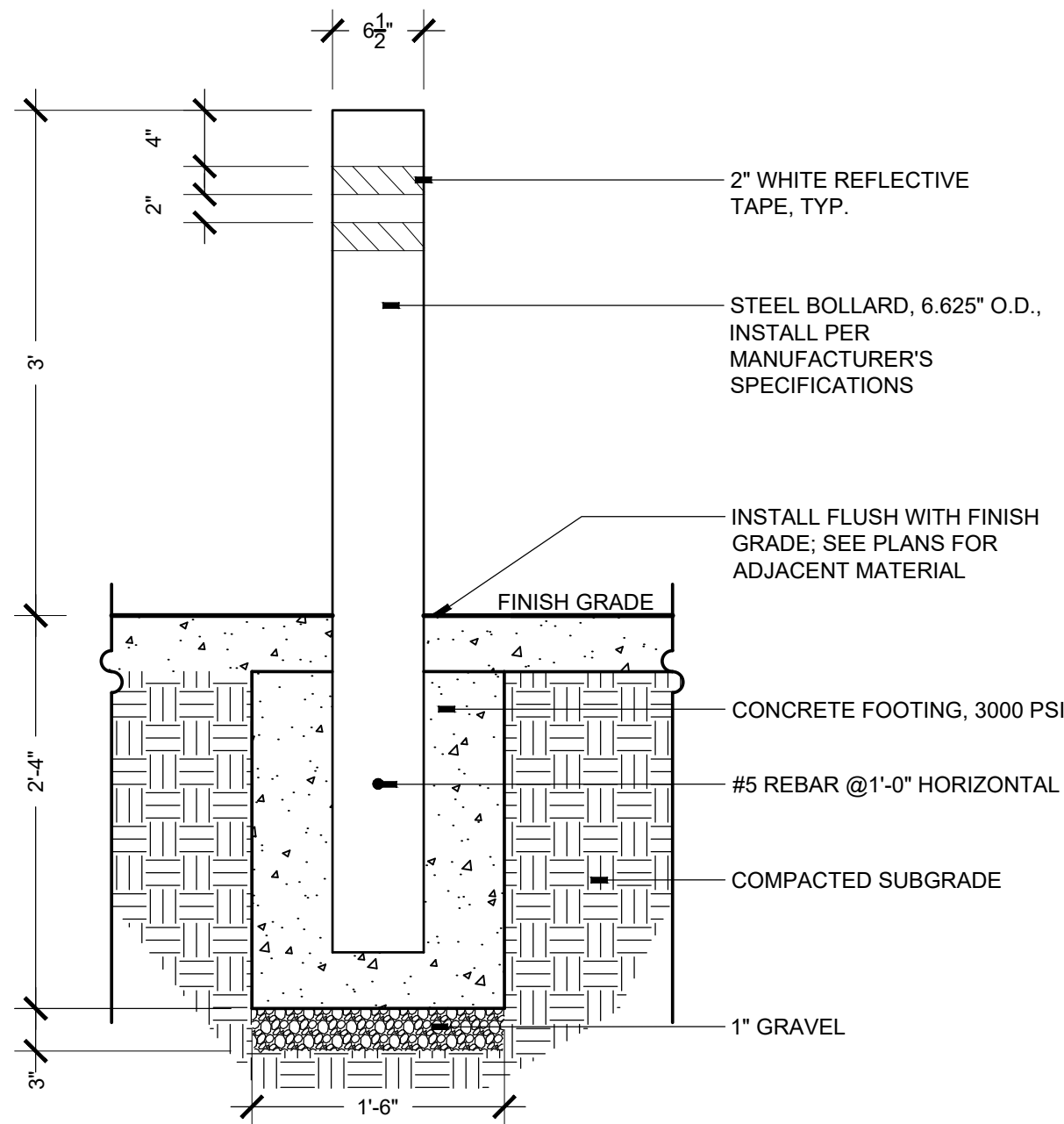


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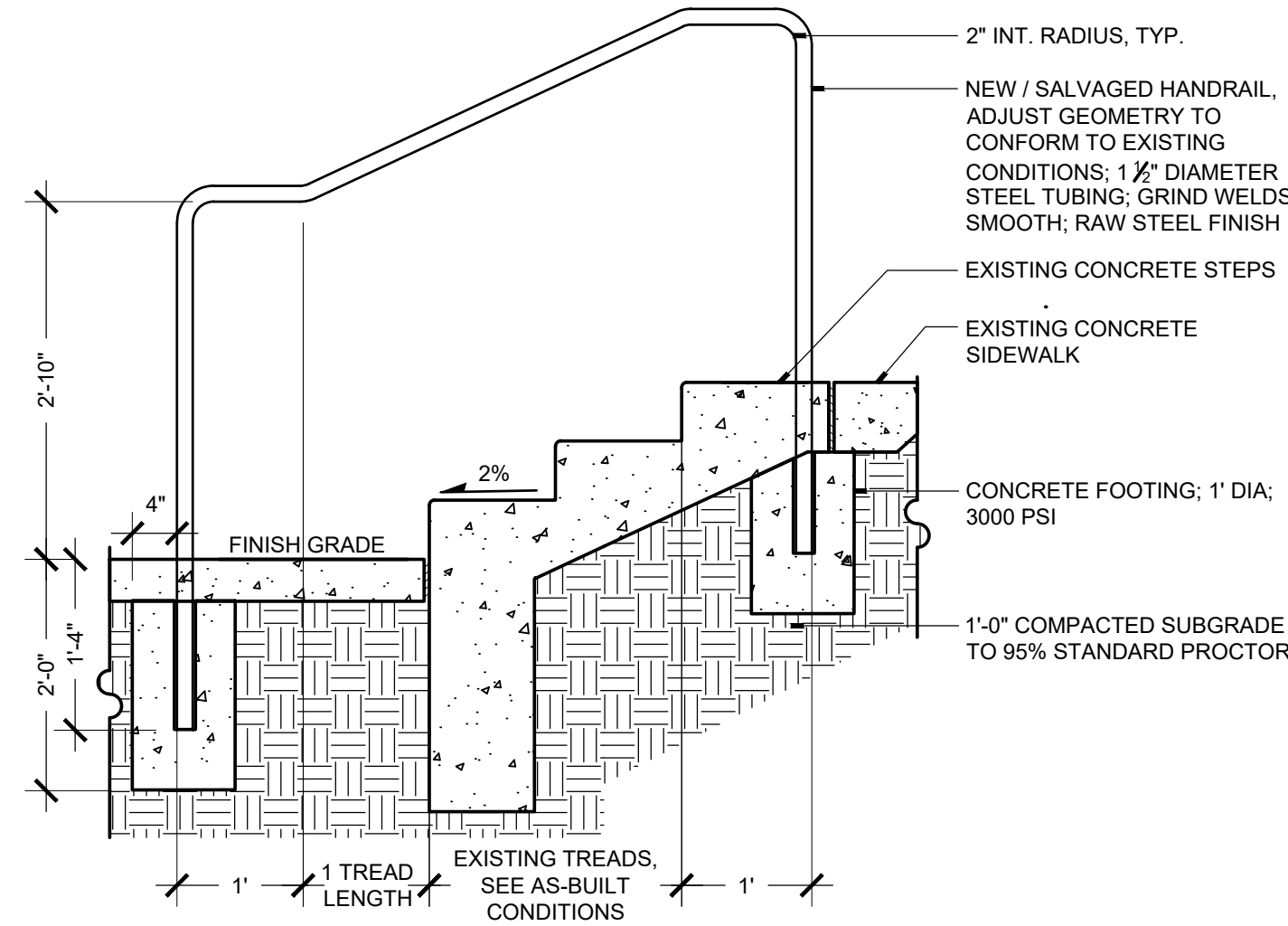
5 BOLLARD - REMOVEABLE
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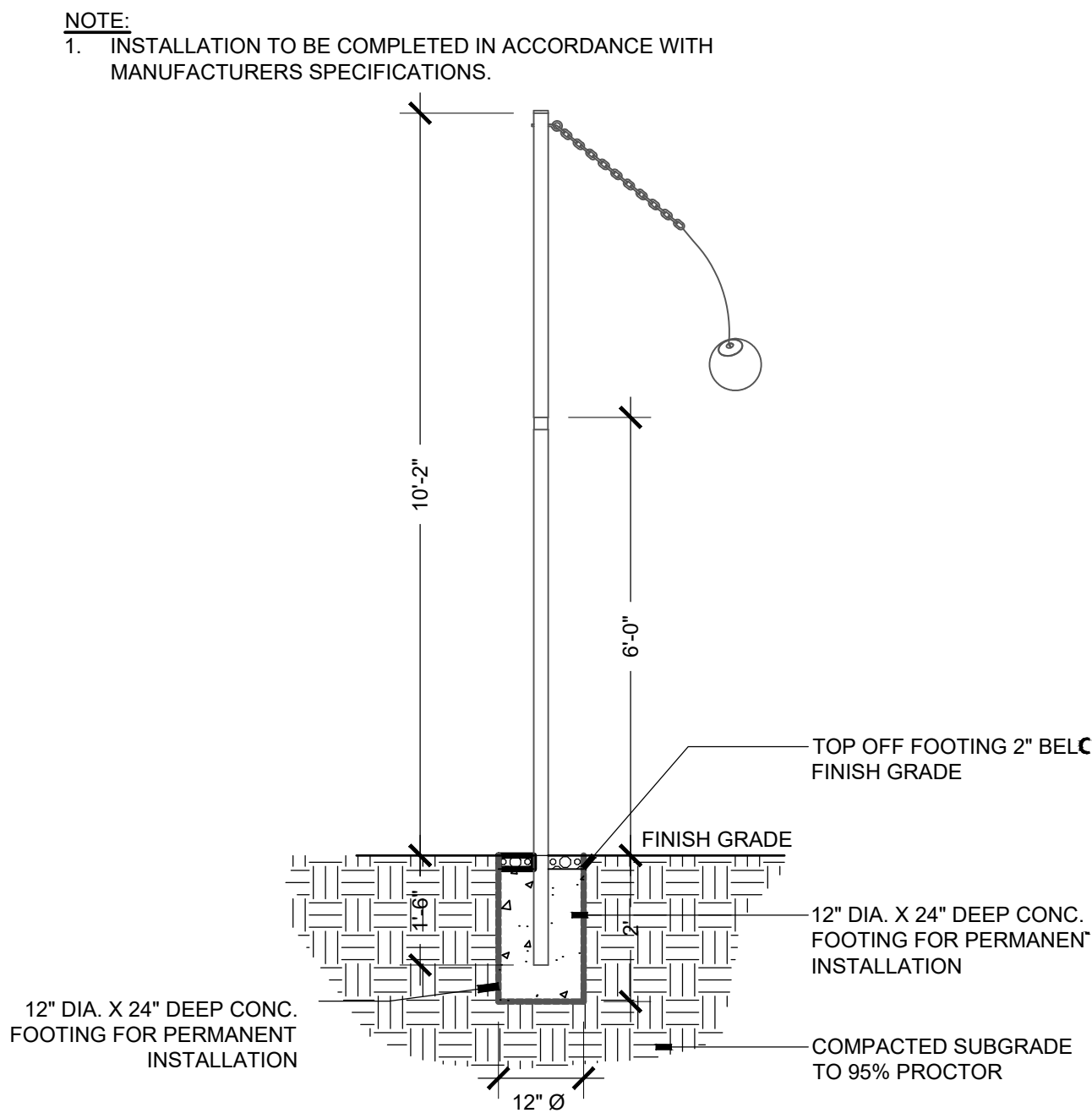
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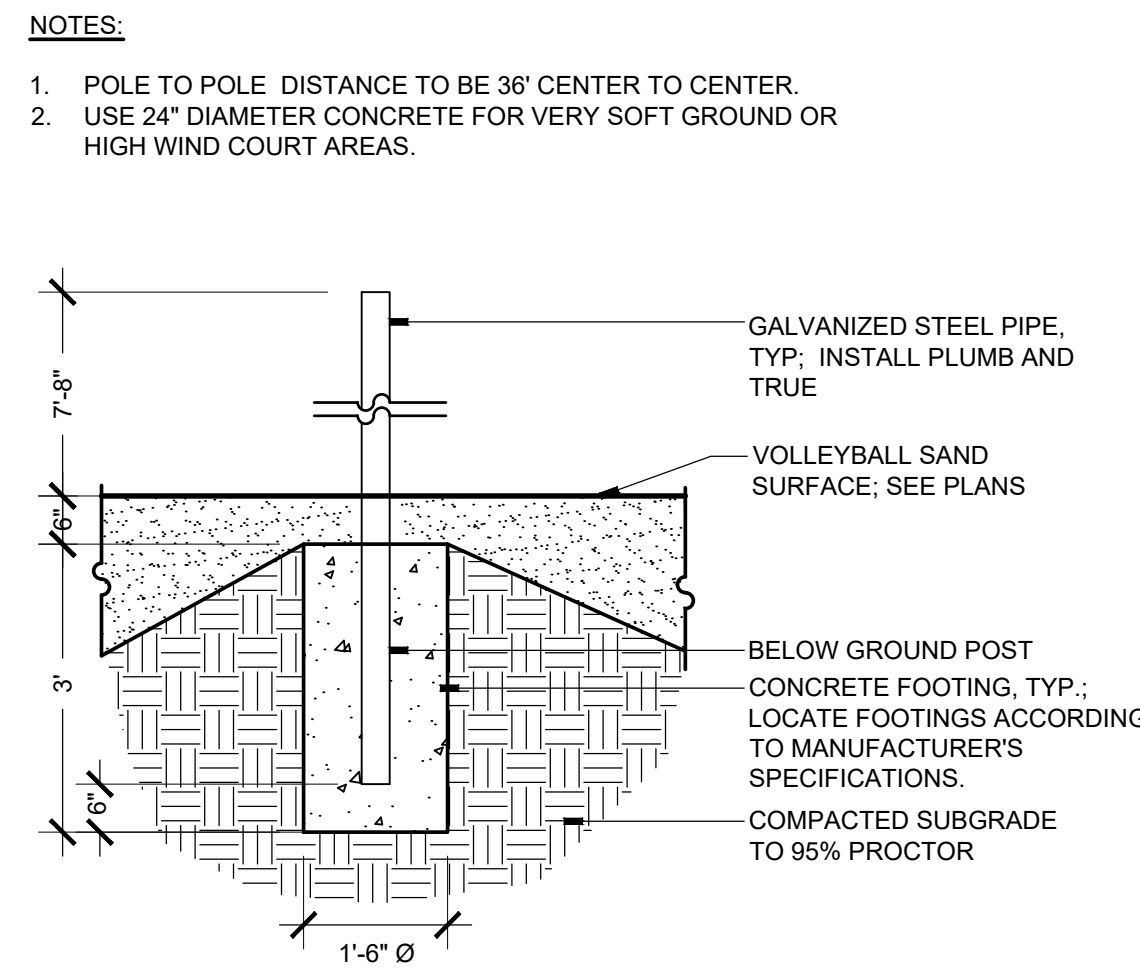
7 HANDRAIL
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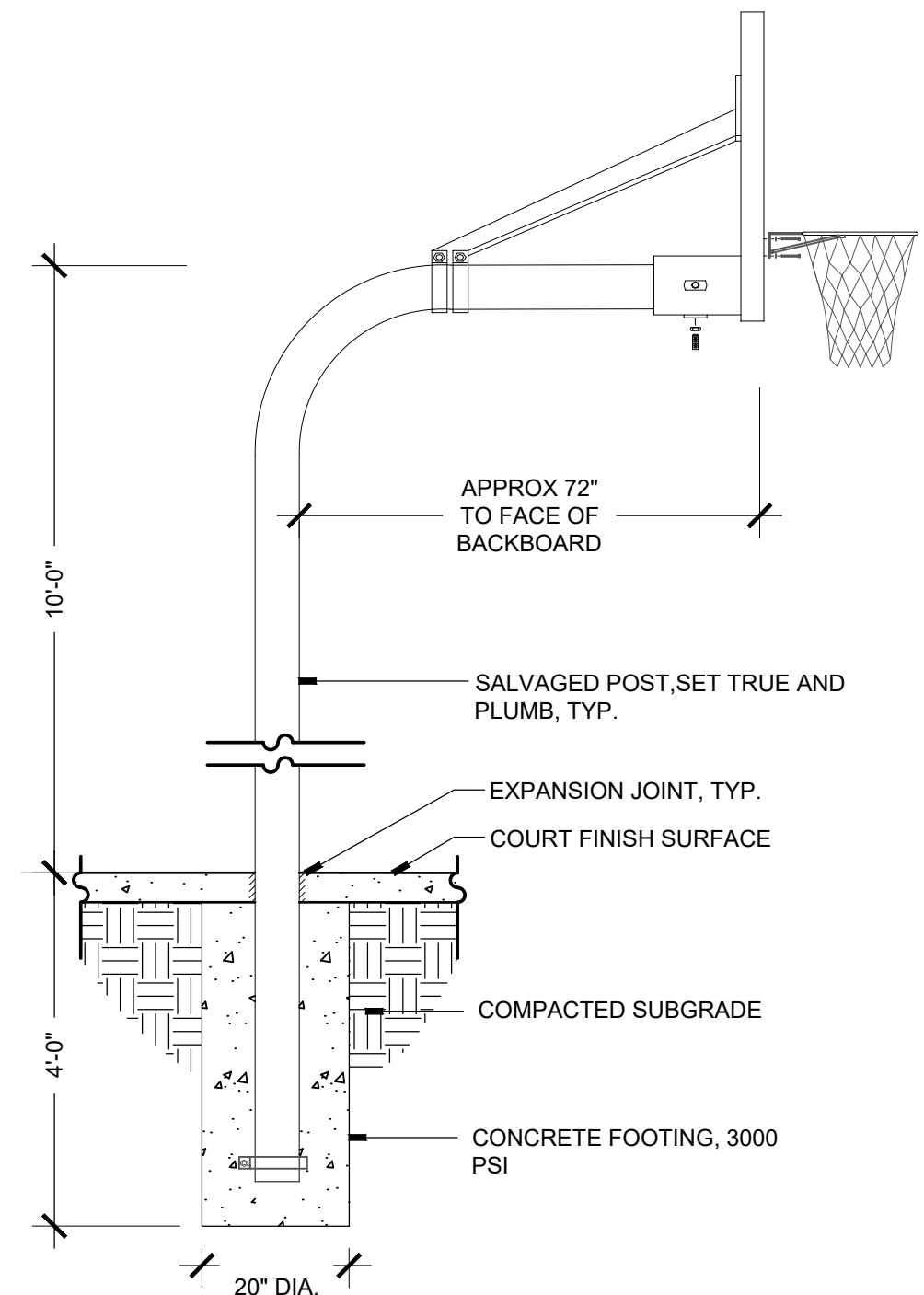
8 TETHERBALL
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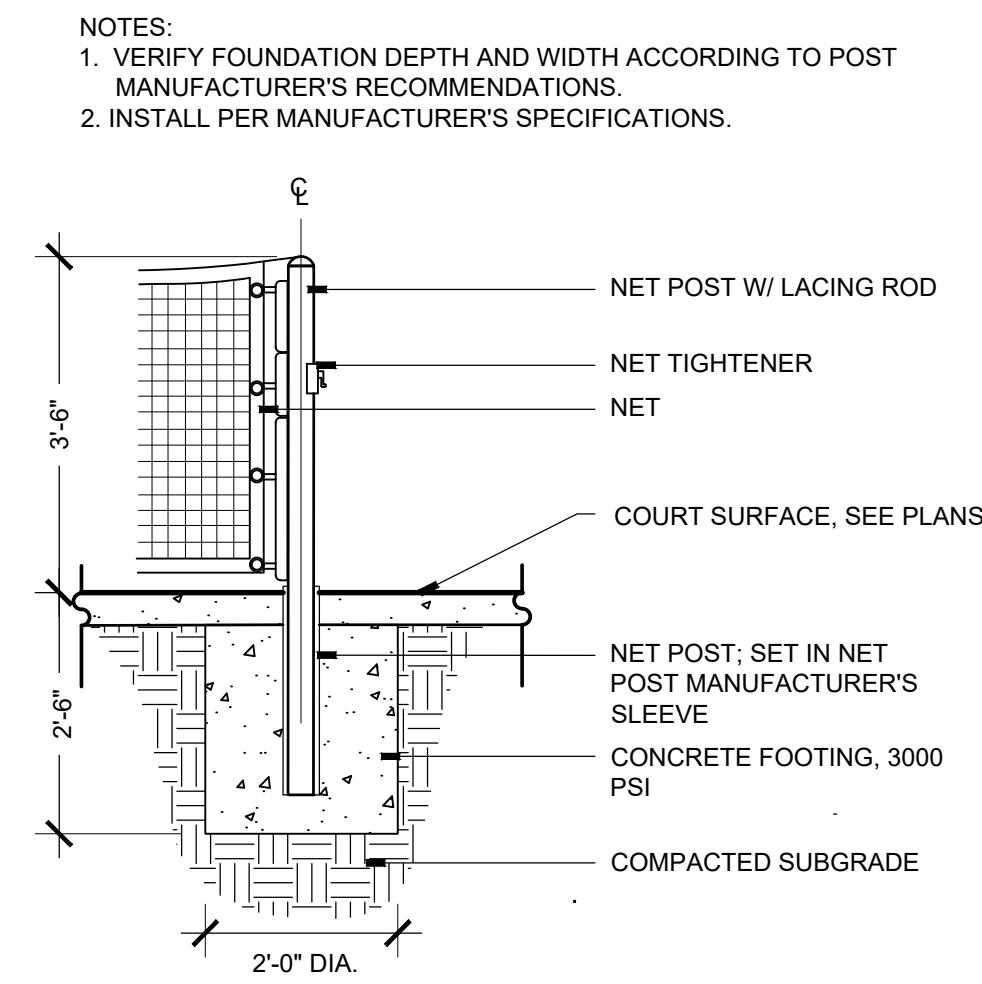
9 VOLLEYBALL NET POST
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SECTION



10 BASKETBALL HOOP POST
SCALE: 1/2"=1'-0"

SECTION



11 TENNIS/PICKLEBALL NET POST
SCALE: 1/2"=1'-0"

SECTION

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ROMERO PARK - SITE IMPROVEMENTS

SANTA FE COUNTY

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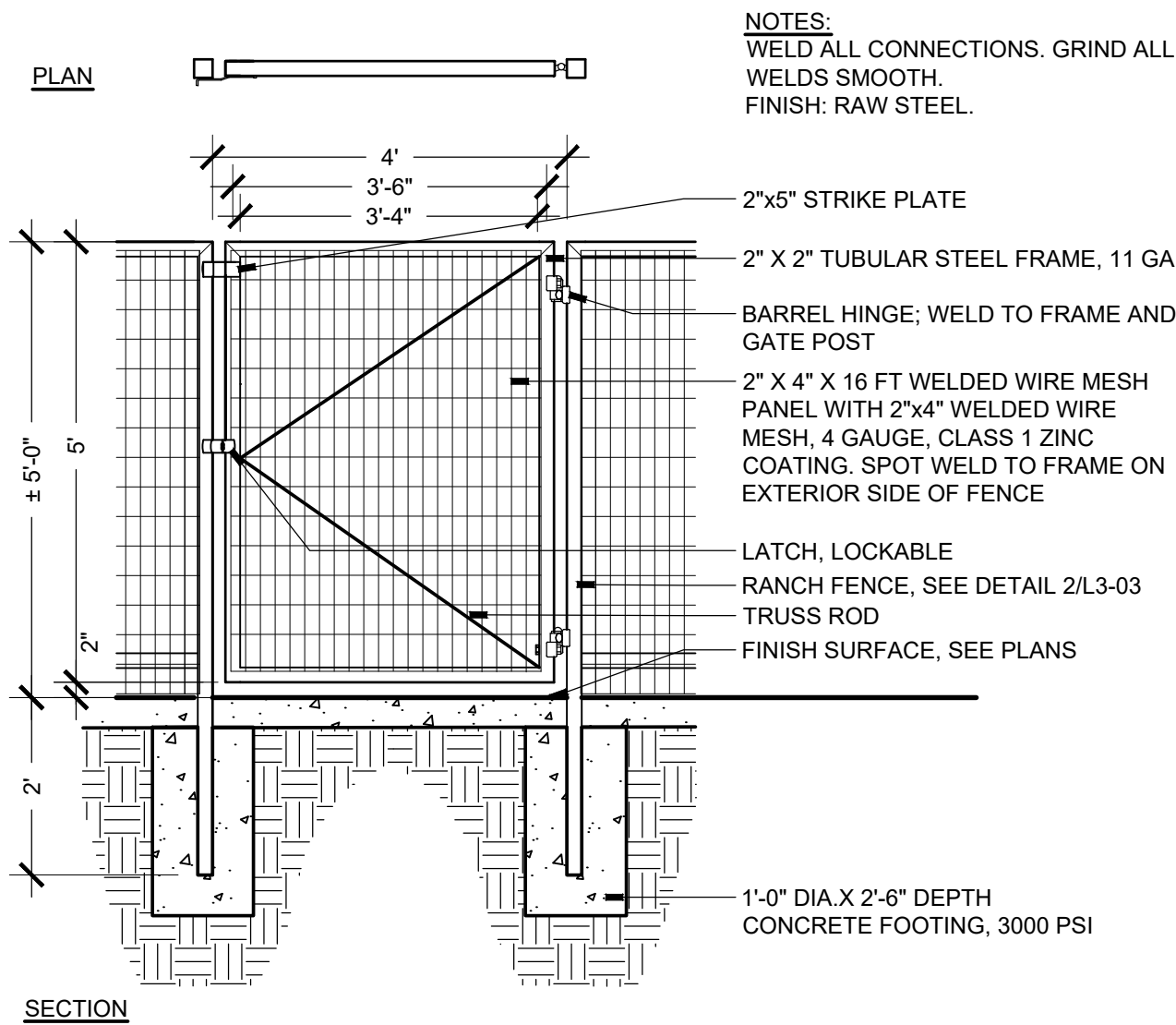
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SHEET TITLE

SITE DETAILS

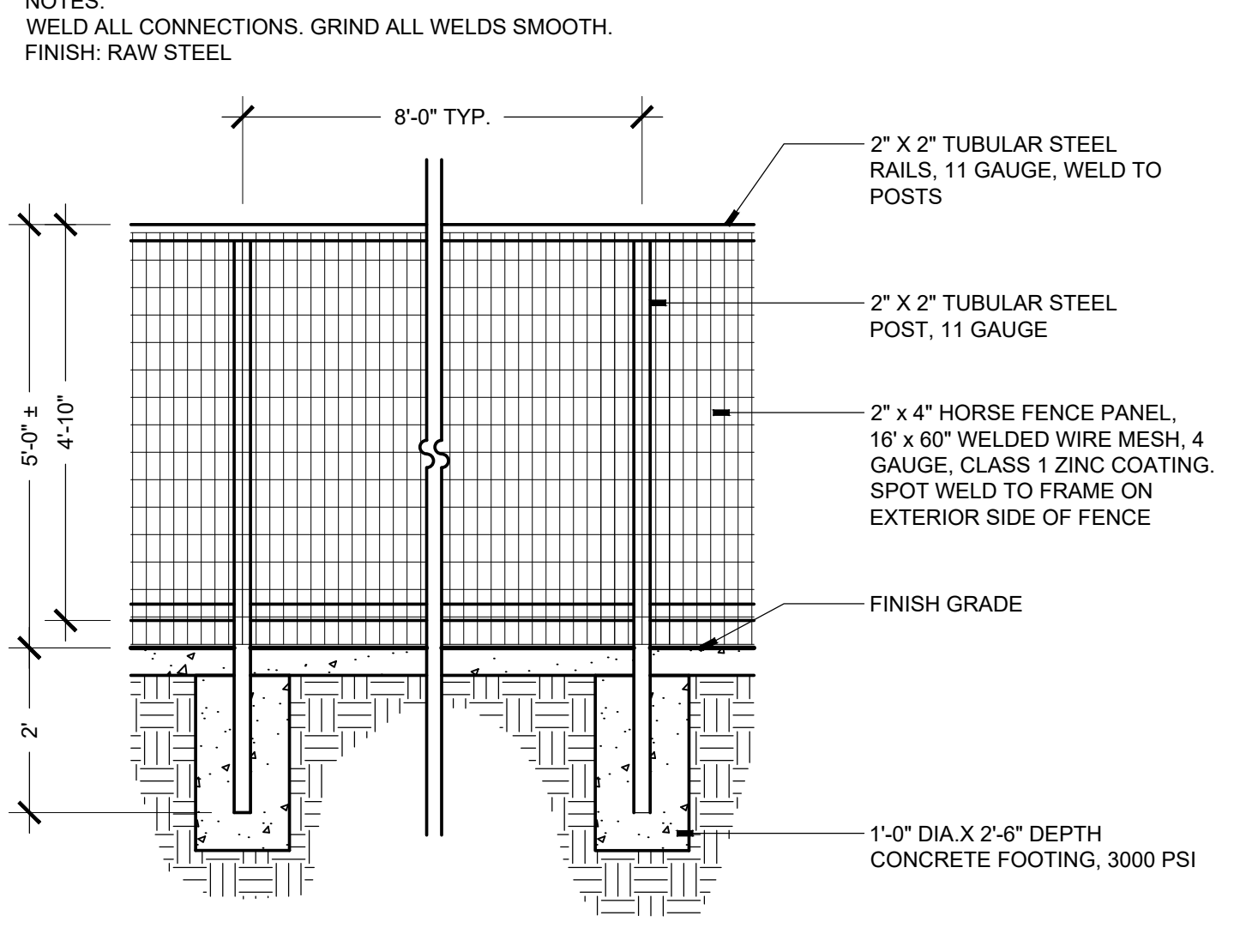
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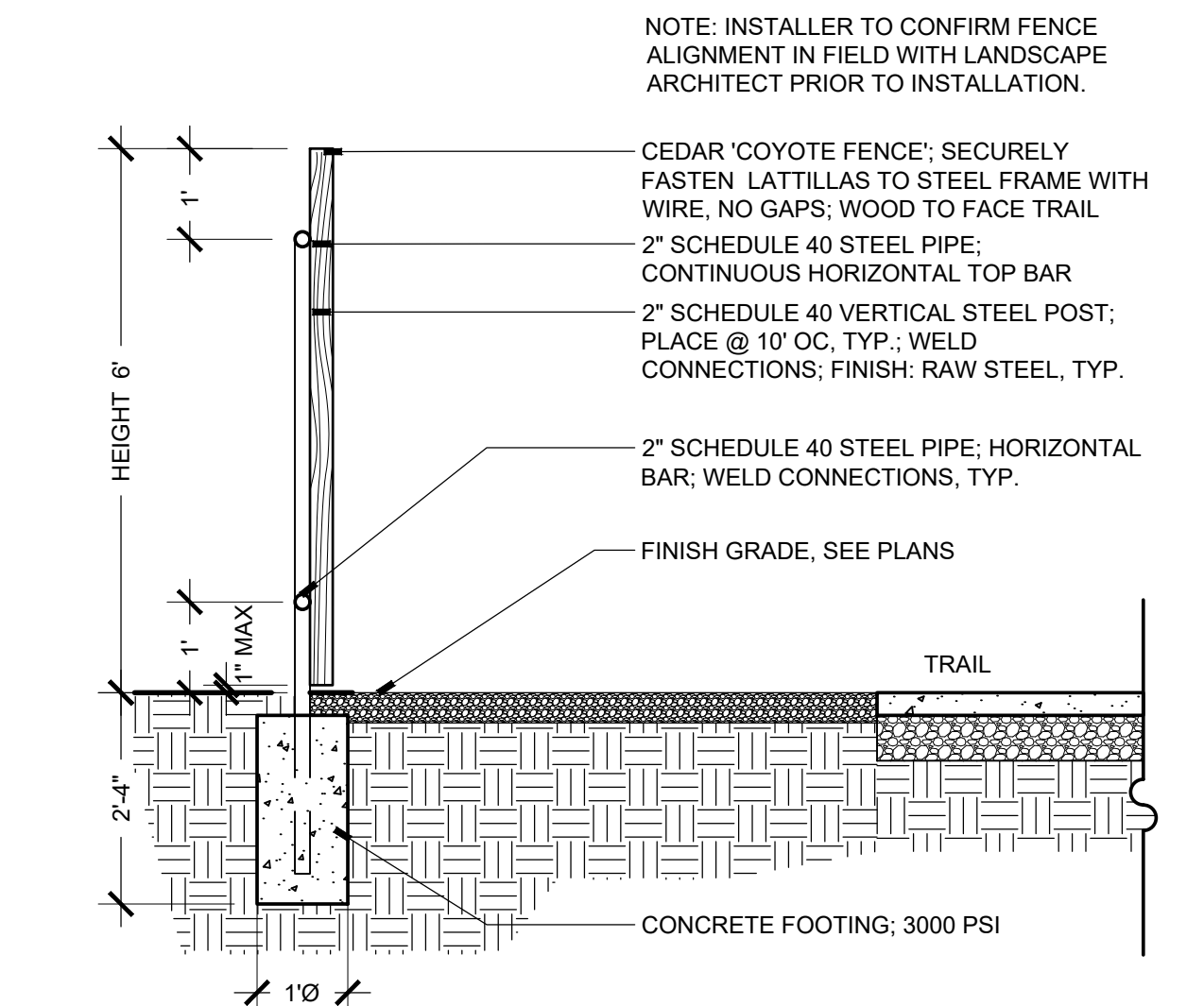
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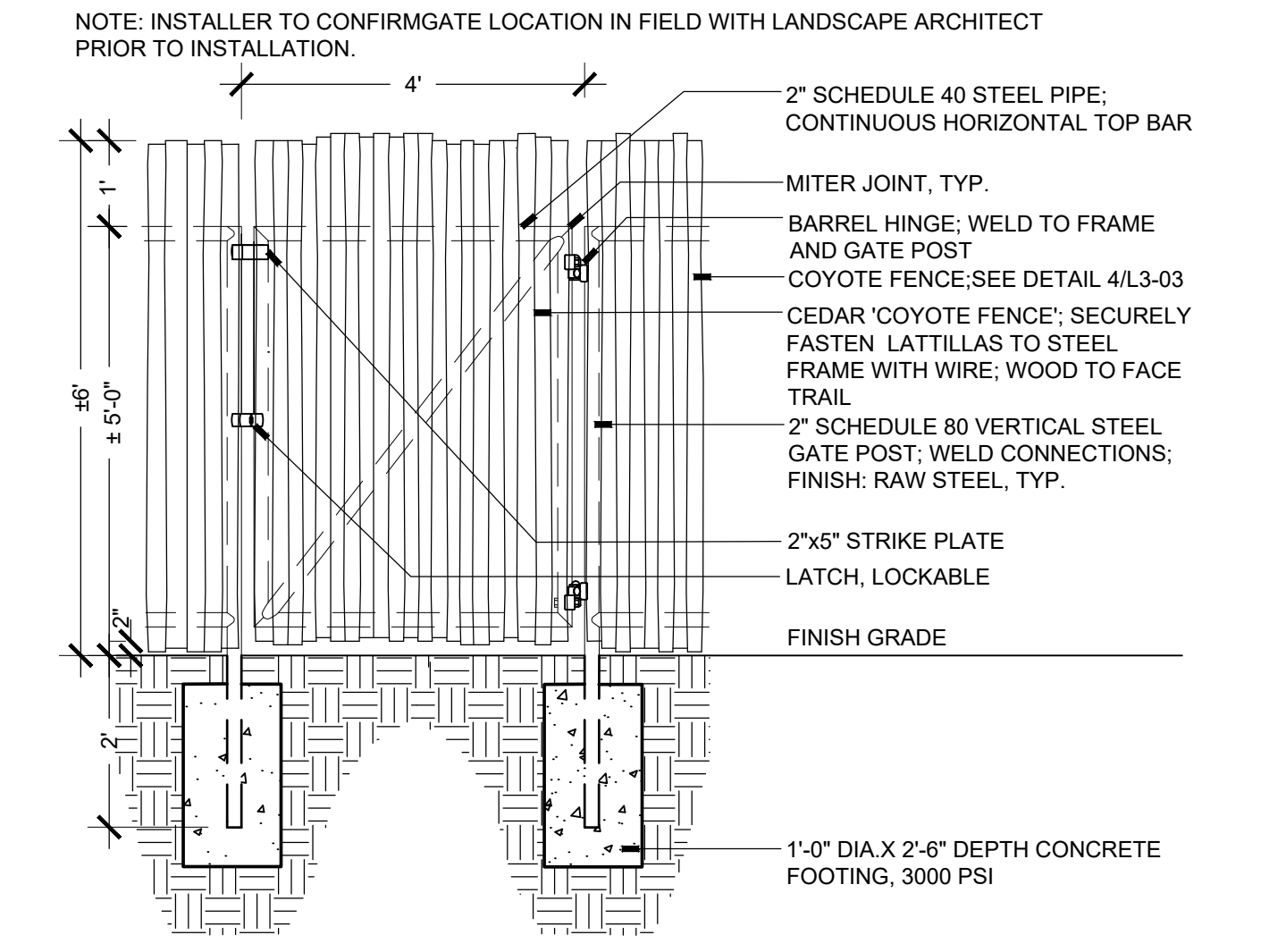
2 RANCH FENCE

SCALE: 1/2"=1'-0"



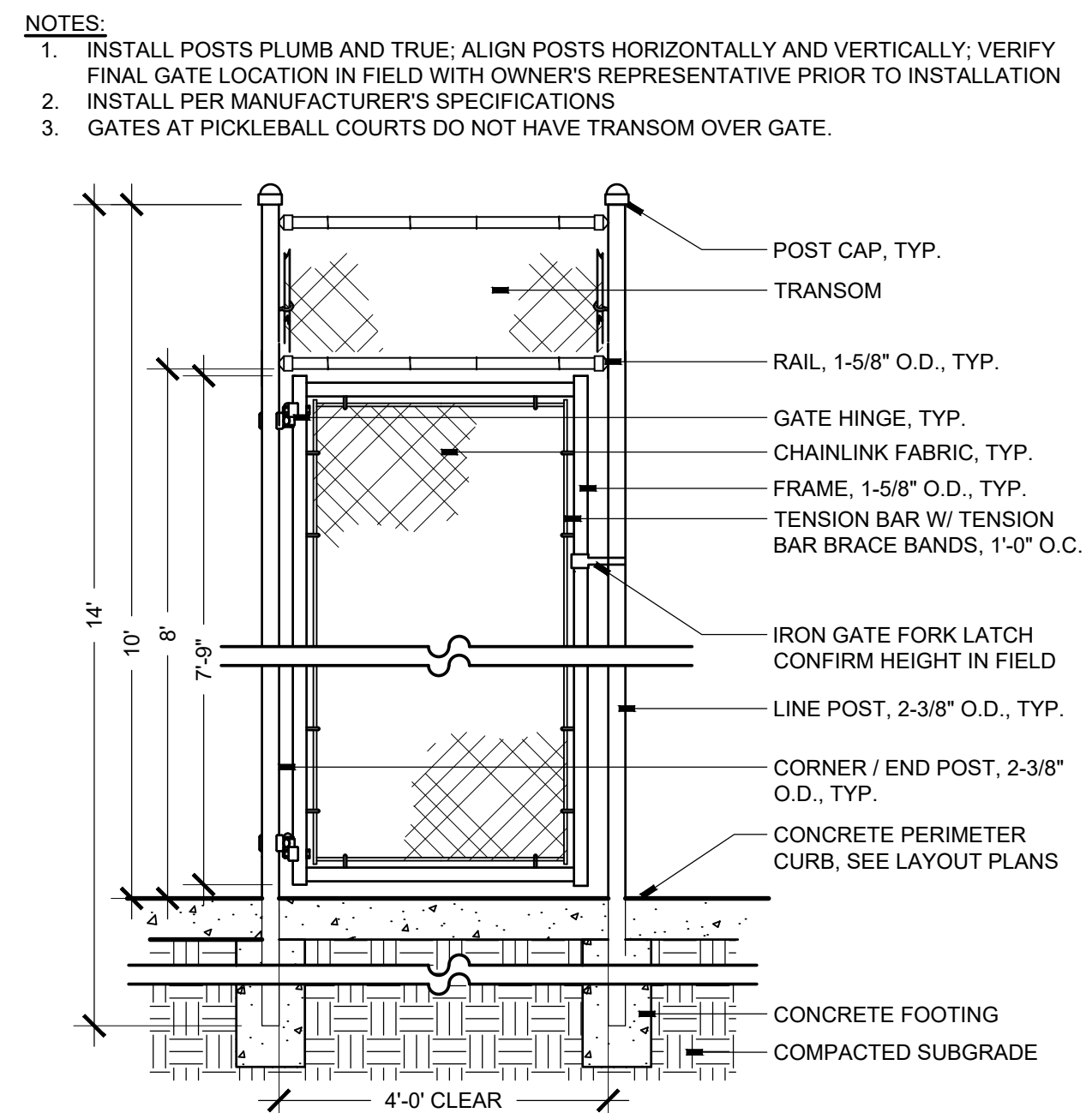
4 COYOTE FENCE

SCALE: 1/2"=1'-0"



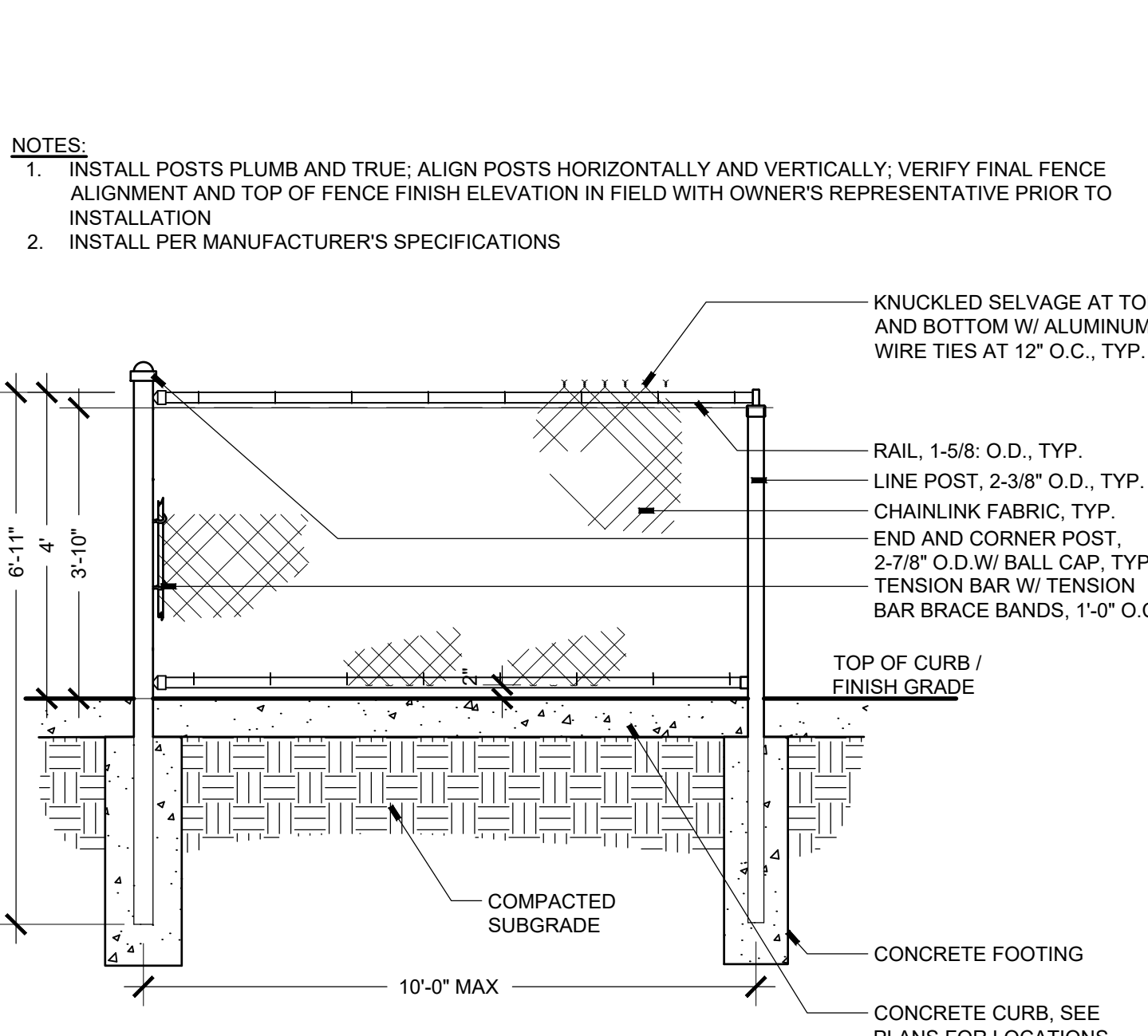
5 COYOTE FENCE - GATE

SCALE: 1/2"=1'-0"



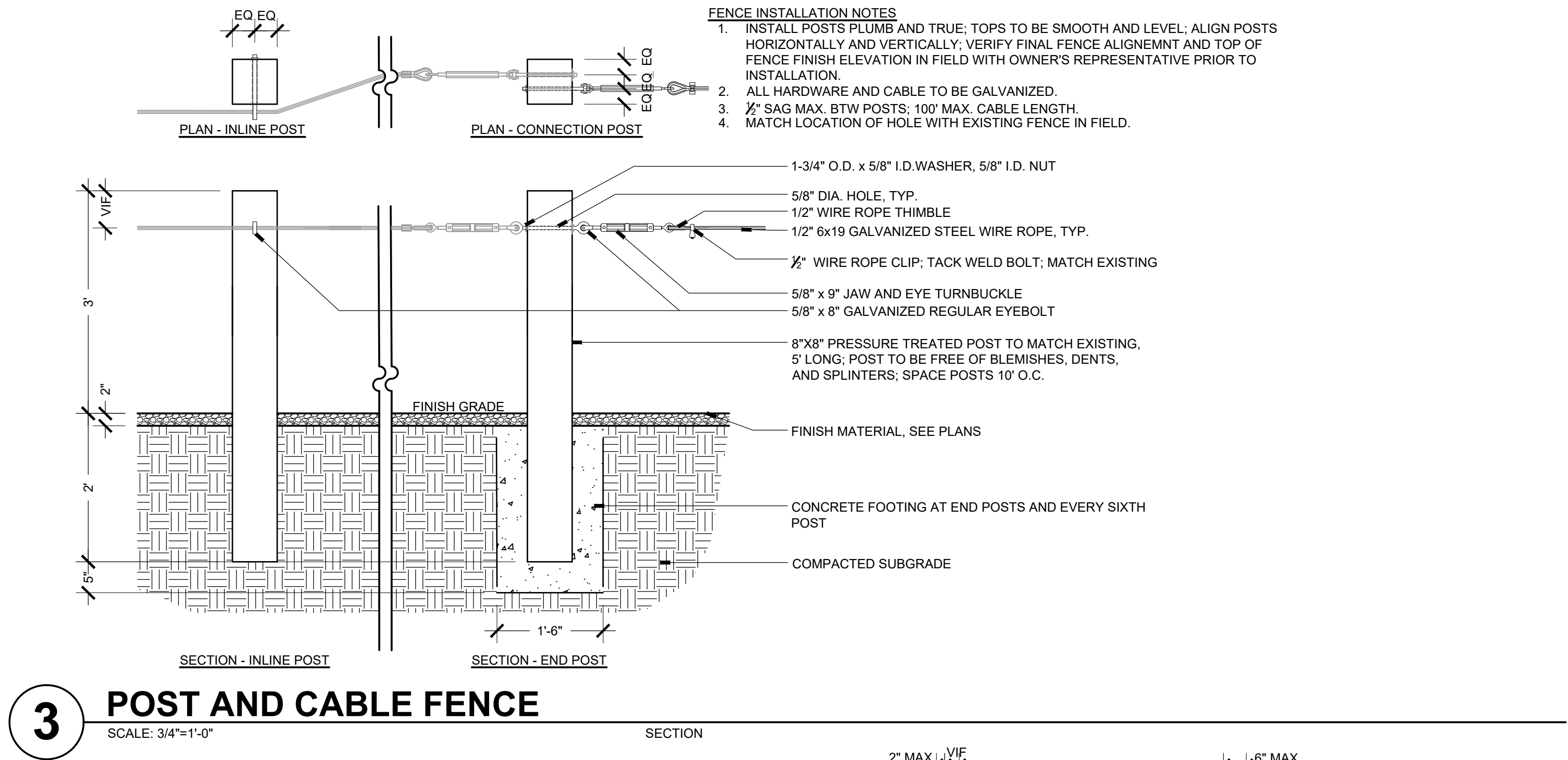
8 CHAIN LINK GATE

SCALE: 1/2"=1'-0"



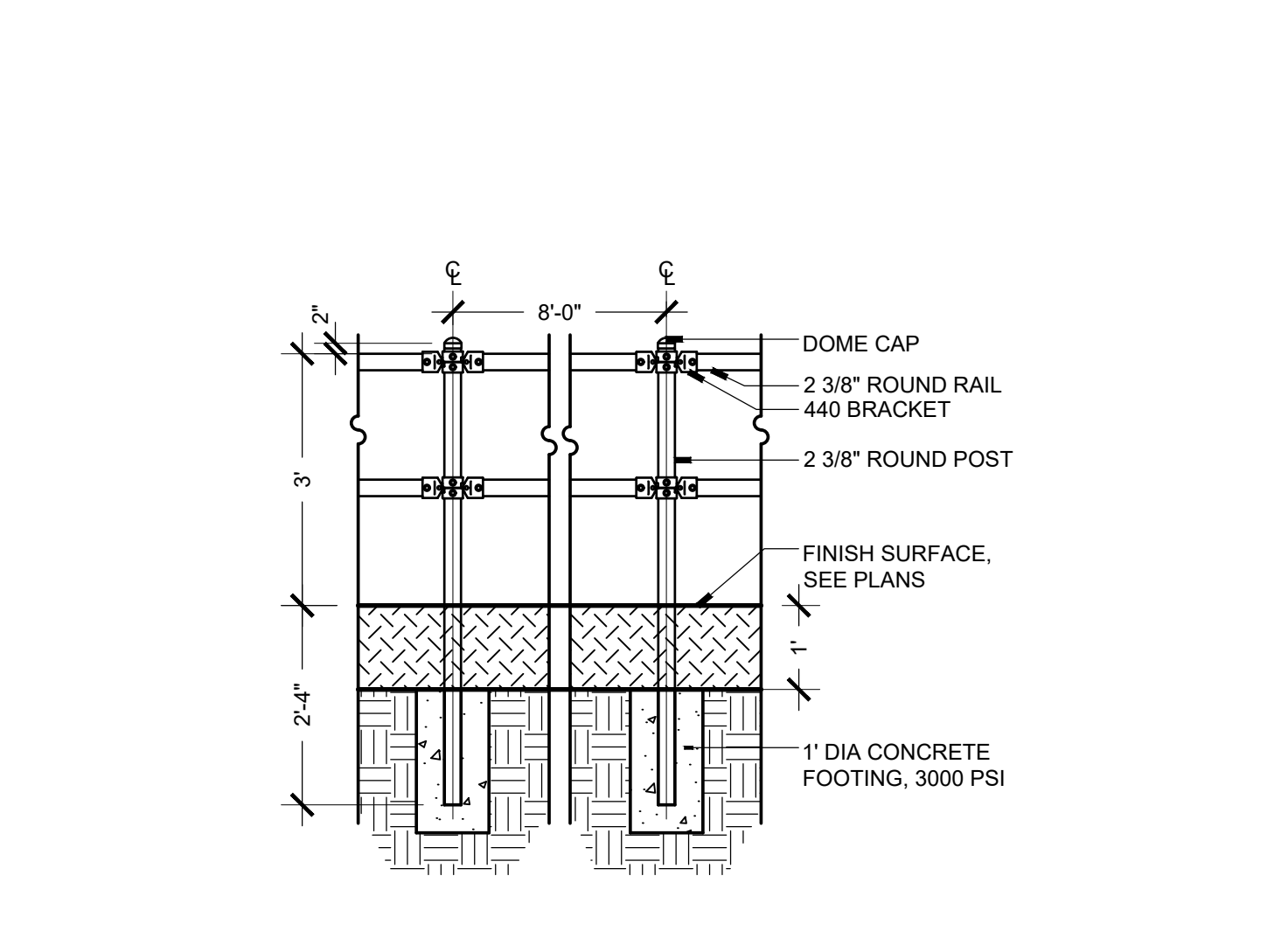
9 CHAIN LINK FENCE - 4' HEIGHT

SCALE: 1/2"=1'-0"



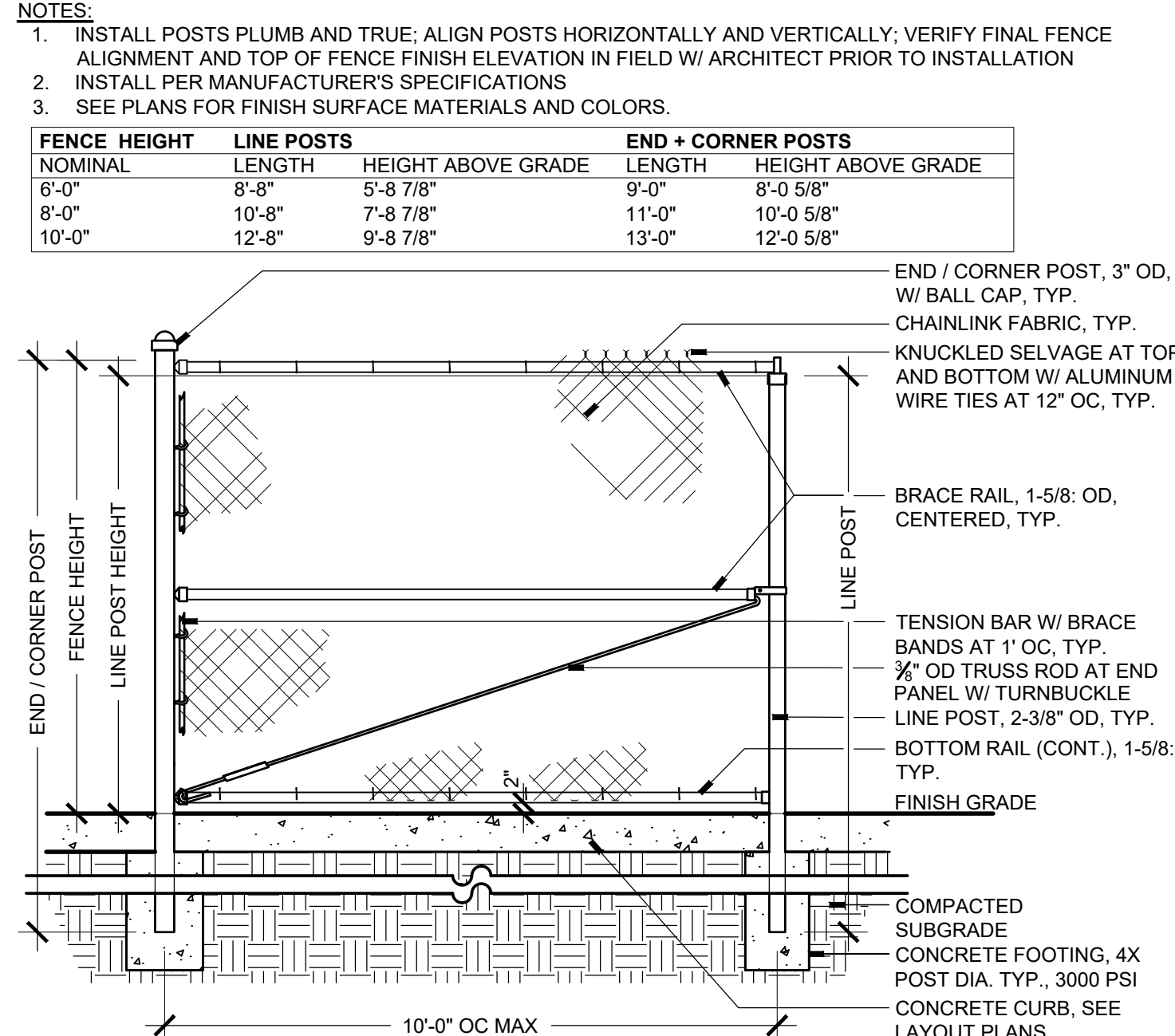
3 POST AND CABLE FENCE

SCALE: 3/4"=1'-0"



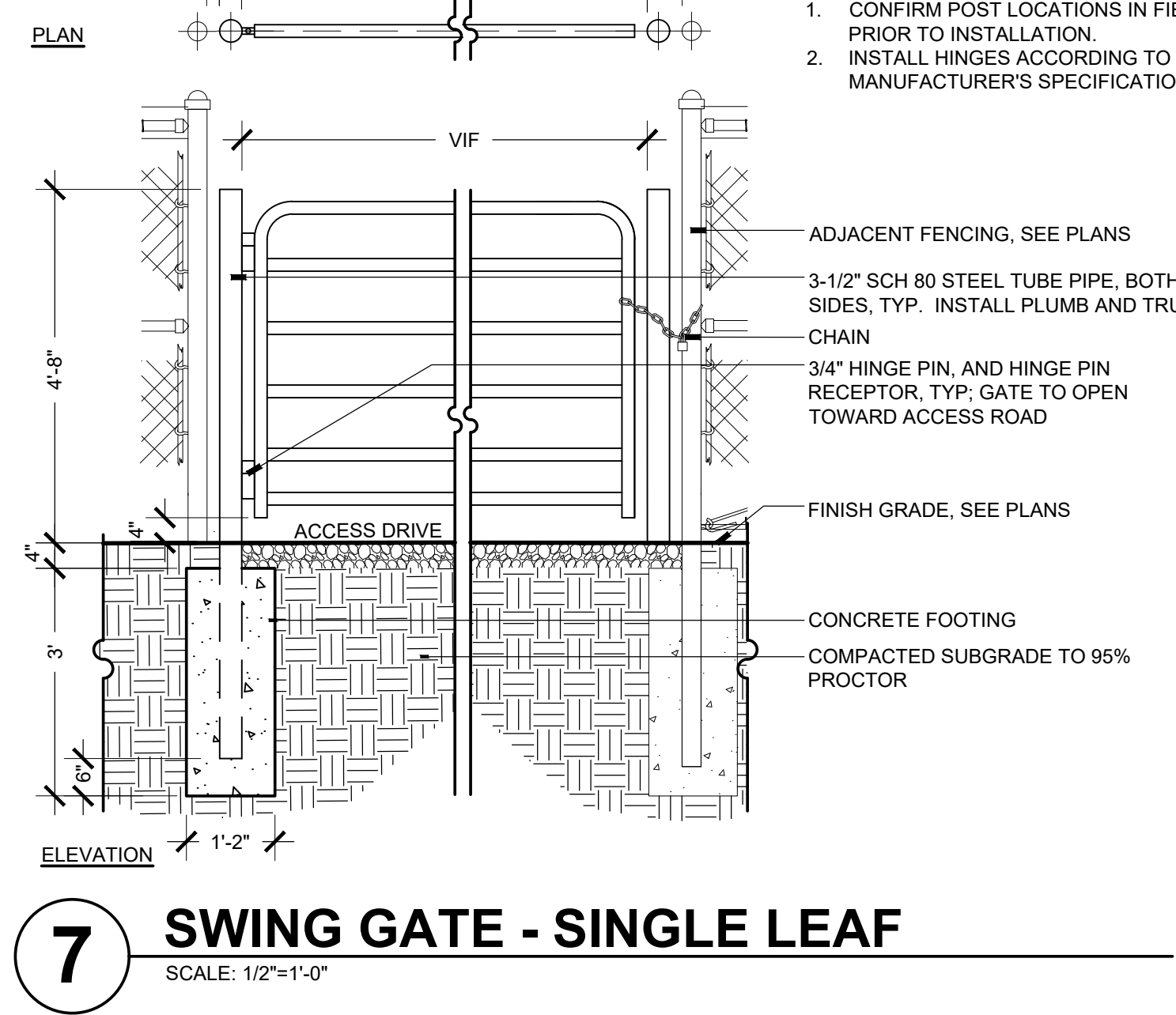
6 PIPE FENCE

SCALE: 1/2"=1'-0"



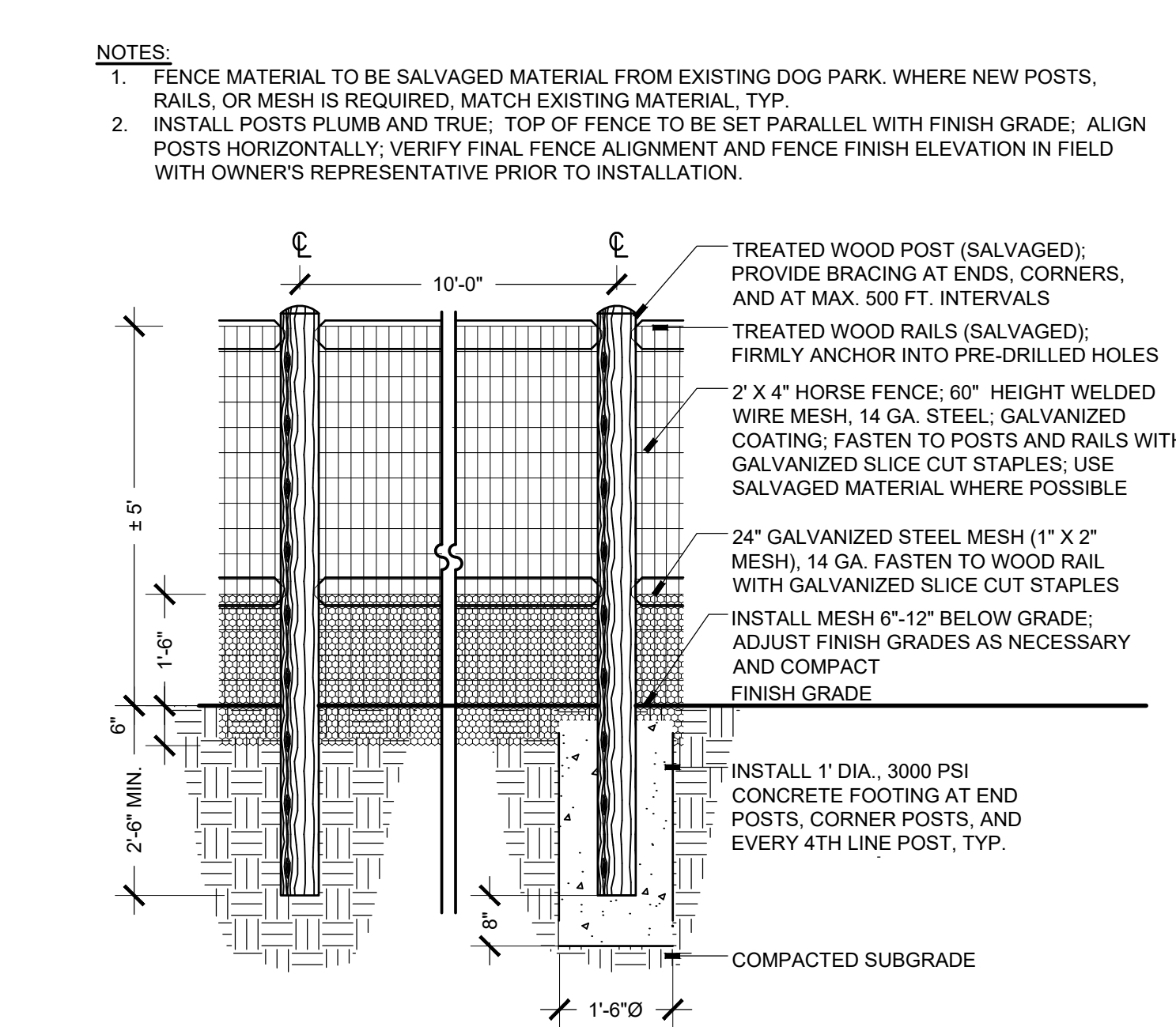
10 CHAIN LINK FENCE - 6', 8', 10' HEIGHT

SCALE: 1/2"=1'-0"



7 SWING GATE - SINGLE LEAF

SCALE: 1/2"=1'-0"



11 WOOD POST + RAIL FENCE - 5' HEIGHT

SCALE: 1/2"=1'-0"

REVISIONS

ISSUED	DATE	DESCRIPTION
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STATE OF NEW MEXICO
12.10.2019
CLAUDIA MEYER HORN
371
REGISTERED
LANDSCAPE ARCHITECT

ROMERO PARK - SITE IMPROVEMENTS

SANTA FE COUNTY

2100 CAJA DEL ORO GRANT ROAD
SANTA FE, NEW MEXICO 87507

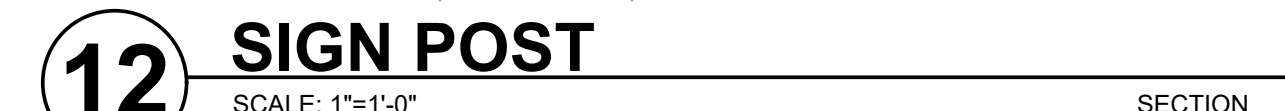
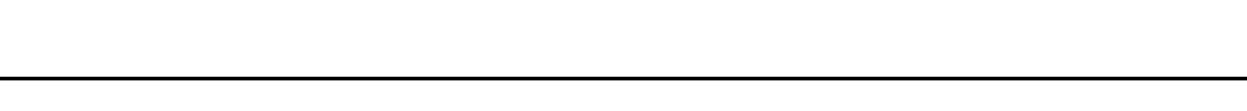
DRAWN BY CH DATE December 20, 2019

SHEET TITLE

SITE DETAILS

SHEET NUMBER

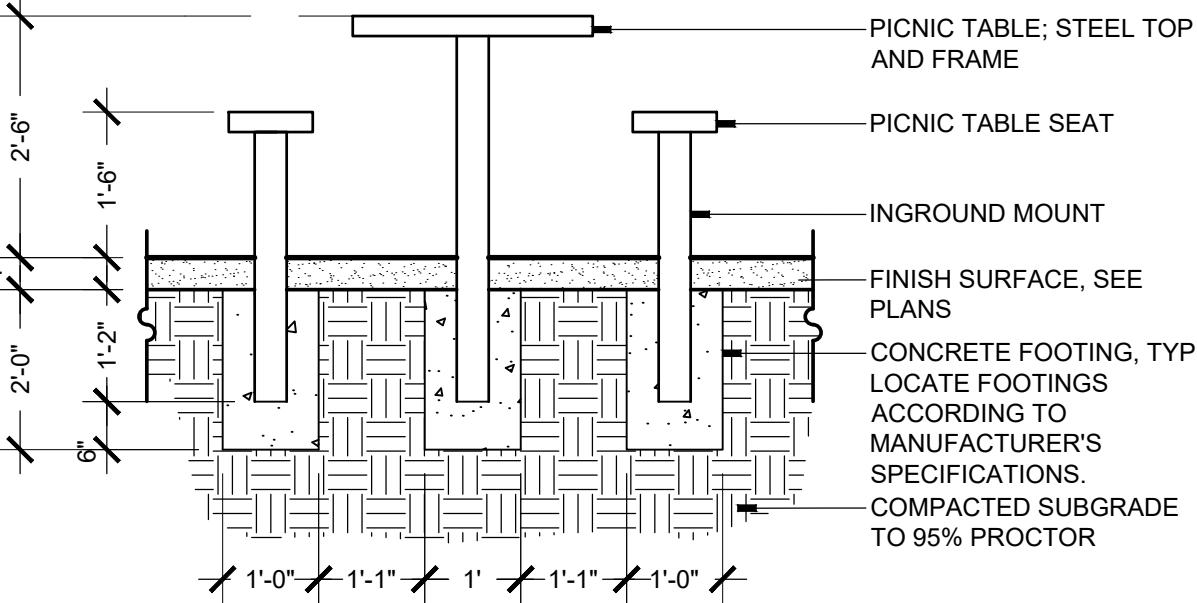
L3-03



REVISIONS		
ISSUED	DATE	DESCRIPTION

NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
2. WHERE TABLES AND BENCHES ARE PLACED IN LINE FOR A COMMUNITY TABLE, ALIGN TOPS AND SIDES, BUTT JOINT ENDS; FASTEN FRAMES AT SEAMS FROM BELOW.



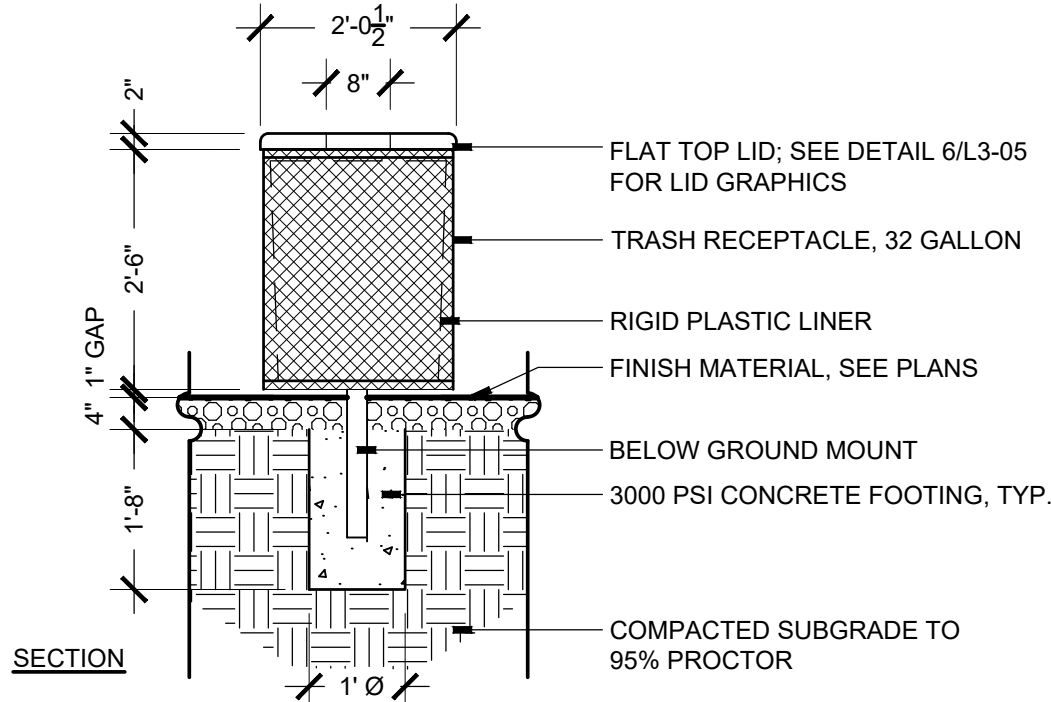
1 PICNIC TABLE

SCALE: 1/2"=1'-0"

SECTION

NOTE:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.



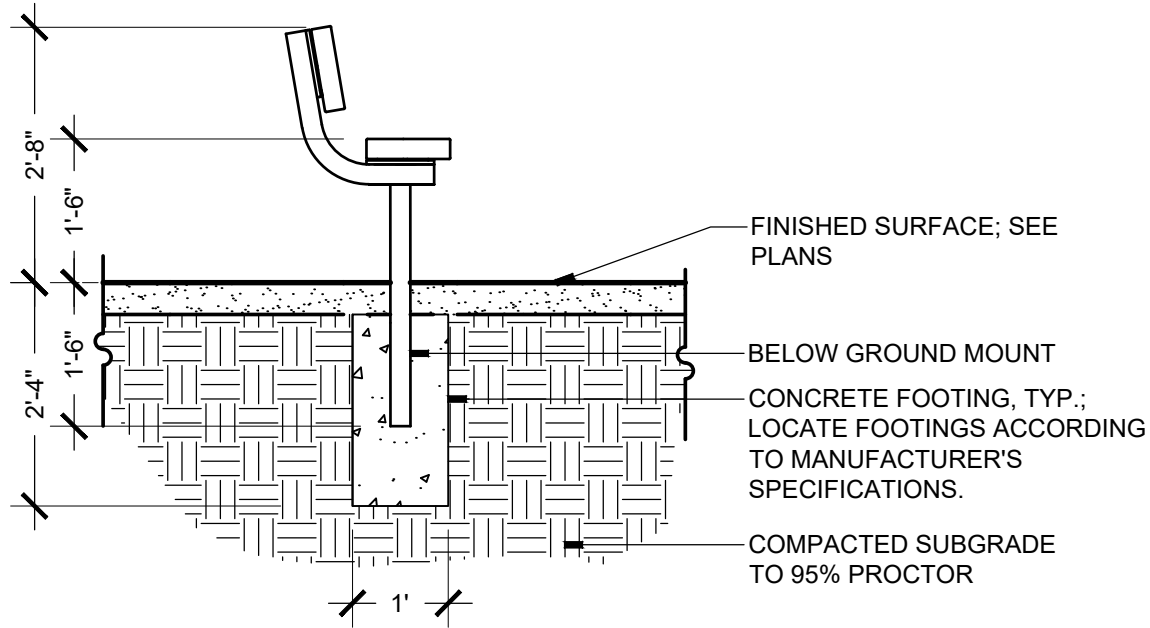
5 TRASH/RECYCLING RECEPTACLE

SCALE: 1/2"=1'-0"

SECTION

NOTES:

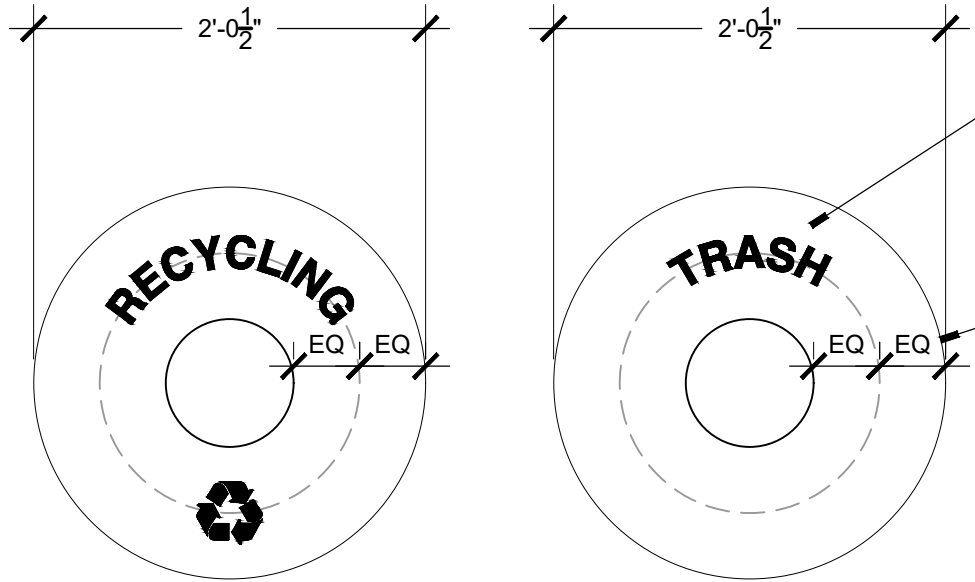
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.



2 BENCH

SCALE: 1/2"=1'-0"

SECTION



PLAN

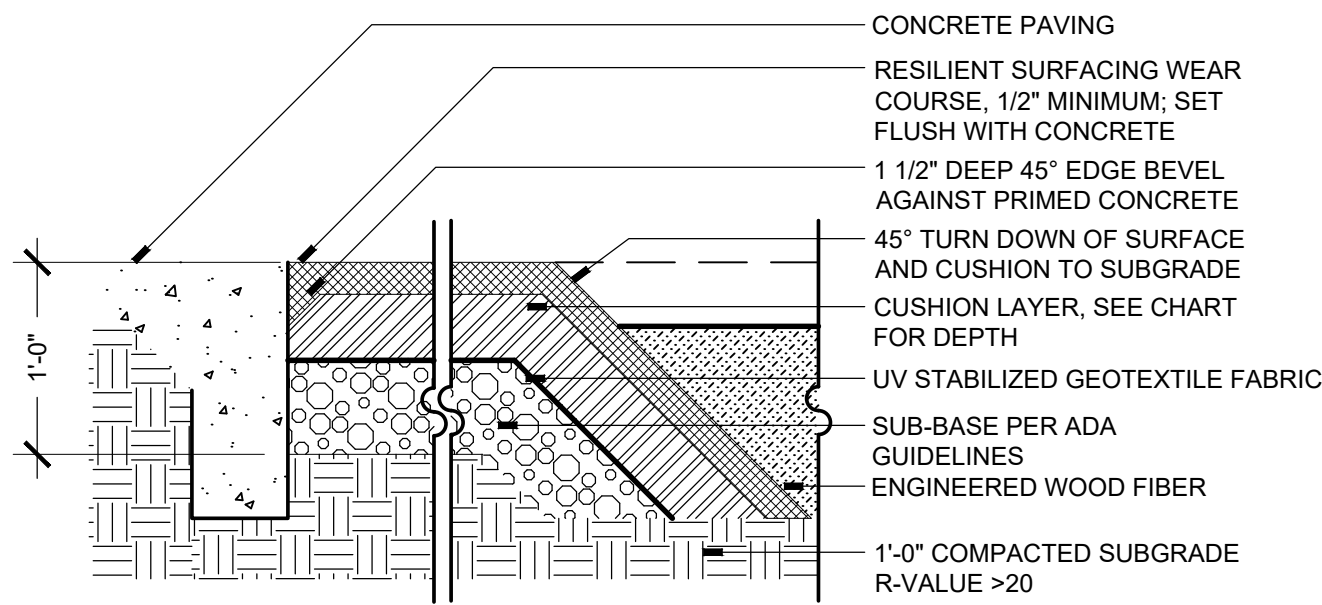
6 RECEPTACLE LID GRAPHICS

SCALE: 1"=1'-0"

PLAN

NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS



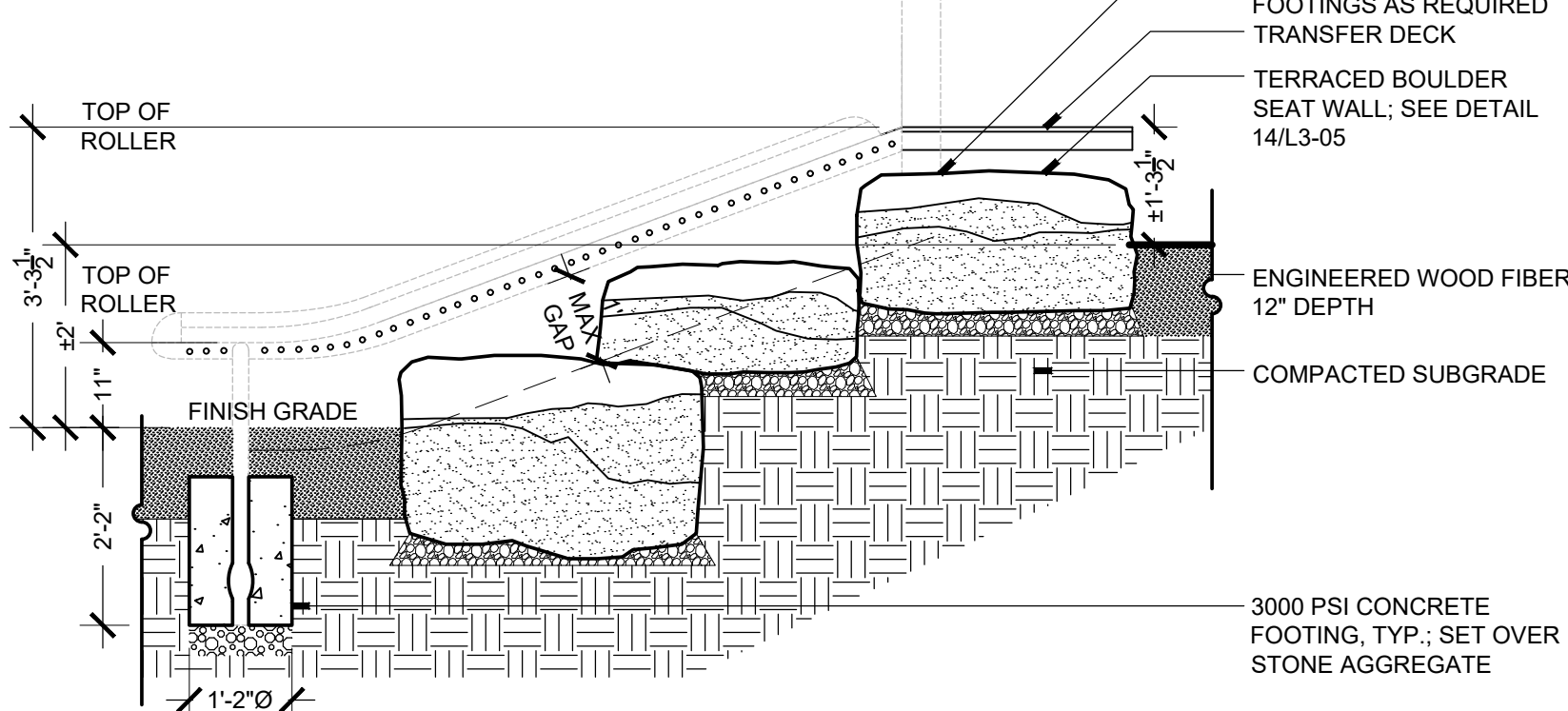
10 RESILIENT SURFACING - 45° EDGE

SCALE: 1"=1'-0"

SECTION

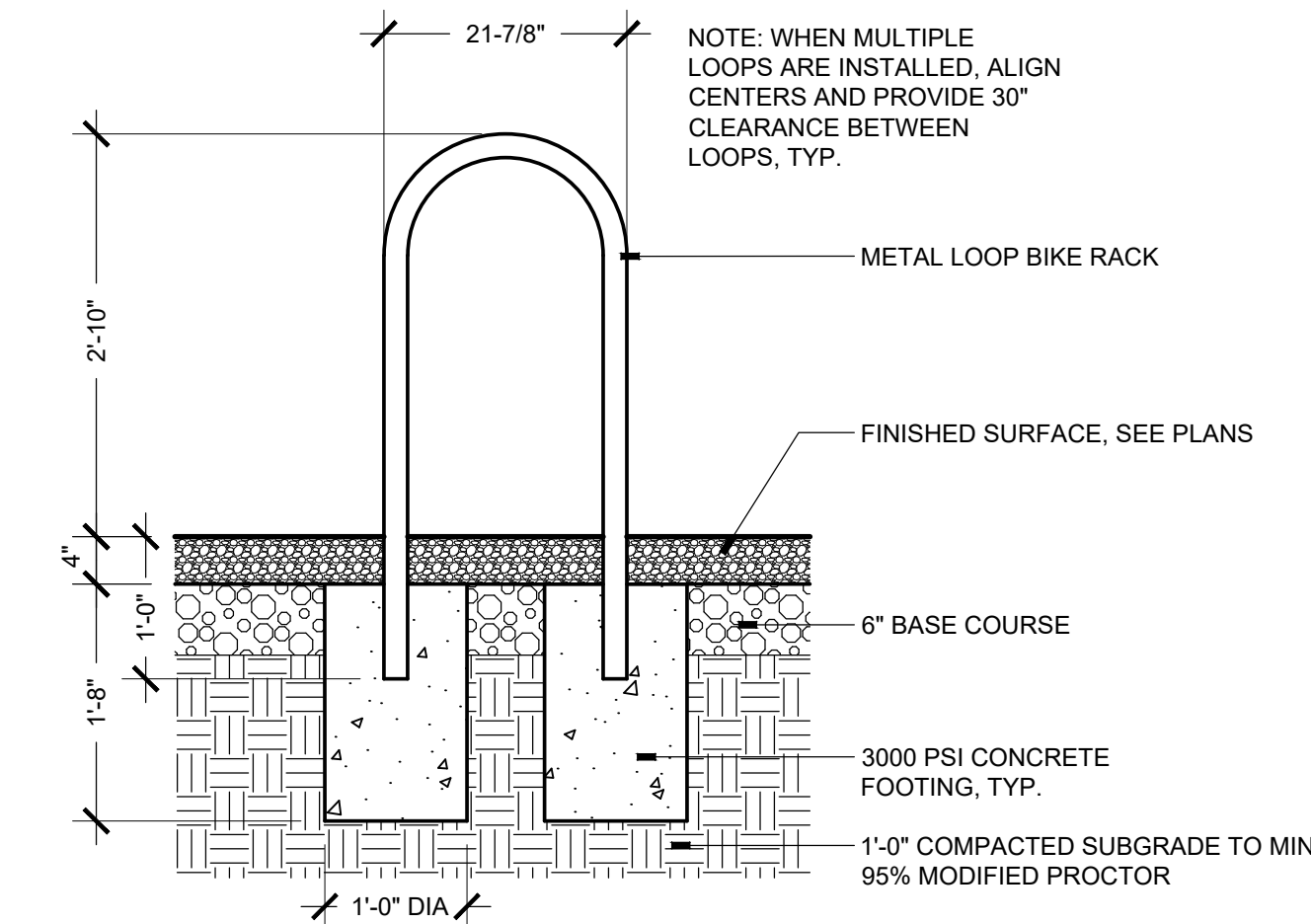
NOTE:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
2. EQUIPMENT INSTALLATION TO CONFORM TO ADA ACCESSIBILITY CODES FOR EQUIPMENT ACCESS. REVIEW NECESSARY ADJUSTMENTS TO DETAIL WITH LANDSCAPE ARCHITECT.



14 ROLLER SLIDE

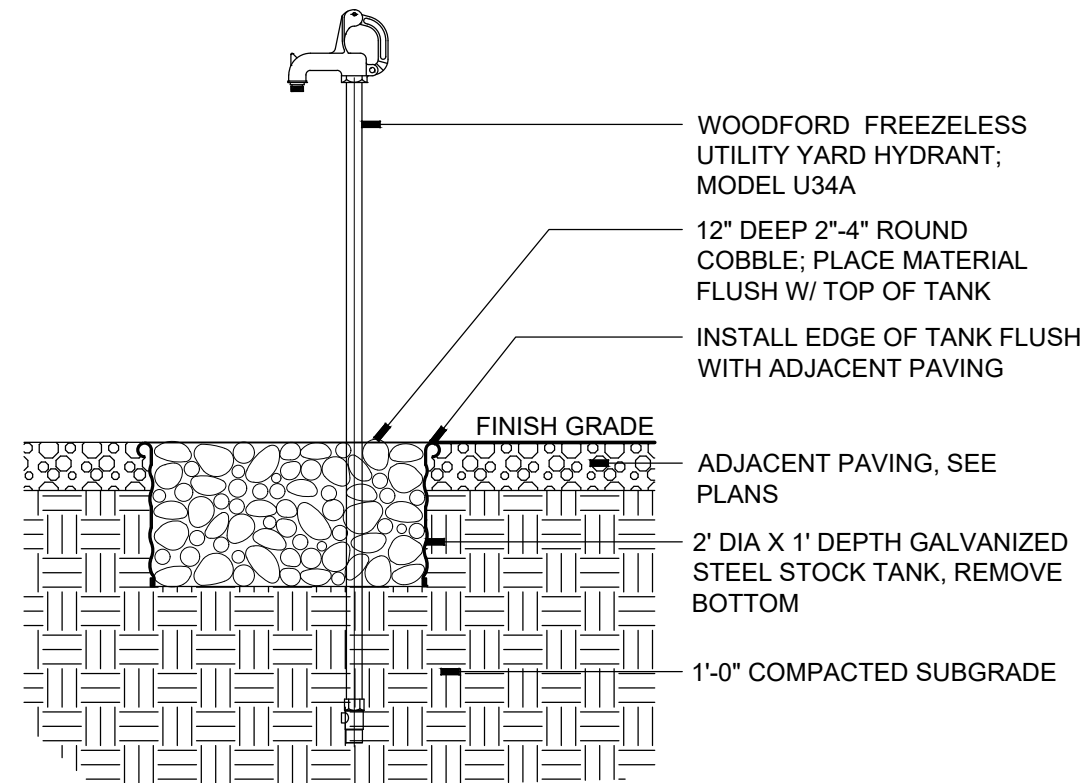
SCALE: 1/2"=1'-0"



3 BIKE LOOP

SCALE: 3/4"=1'-0"

SECTION



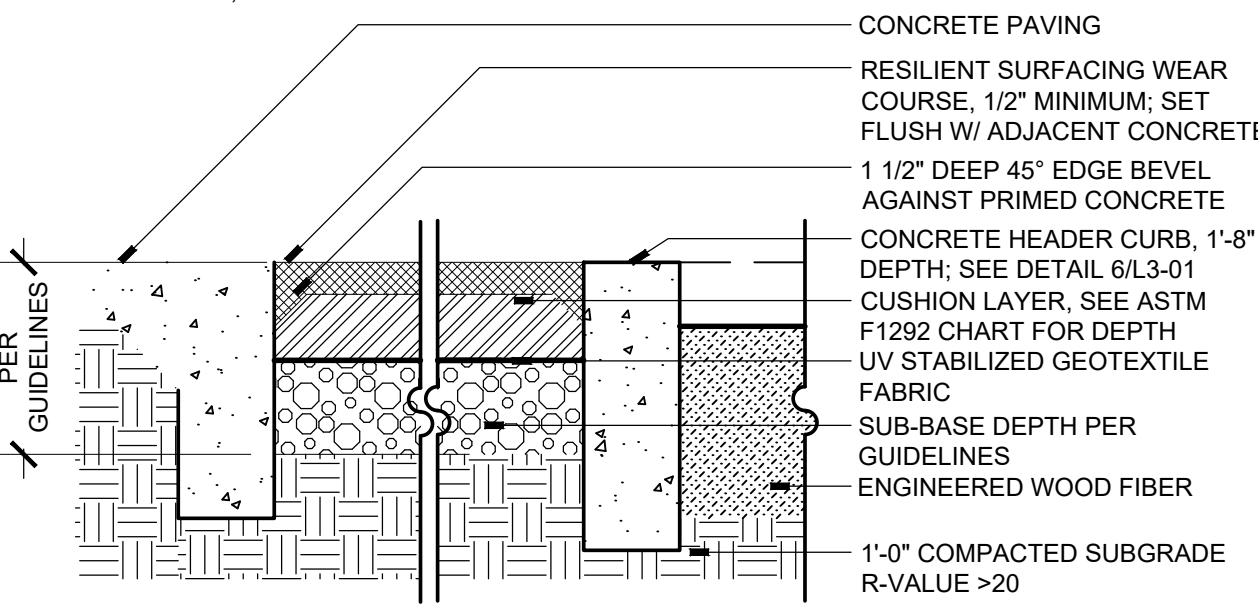
7 YARD HYDRANT

SCALE: 3/4"=1'-0"

SECTION

NOTES:

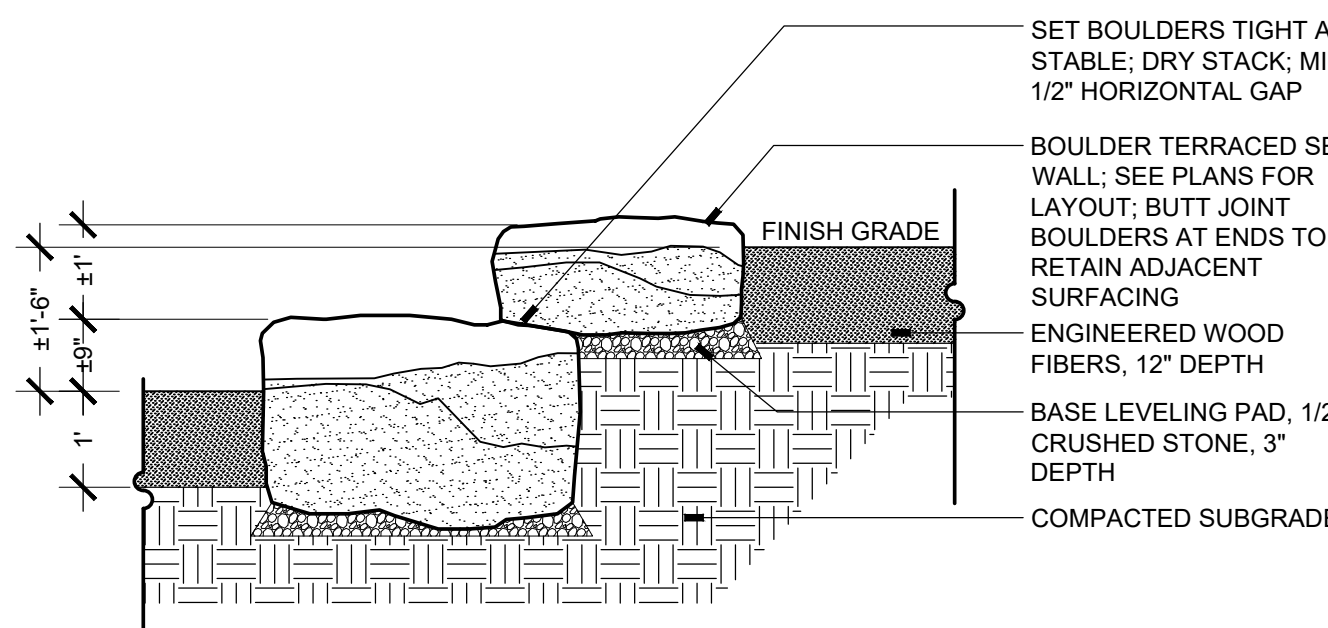
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
2. POURED IN PLACE SURFACING DEPTH TO BE DETERMINED BASED ON EQUIPMENT CRITICAL FALL HEIGHTS, TYP.



11 RESILIENT SURFACING

SCALE: 1"=1'-0"

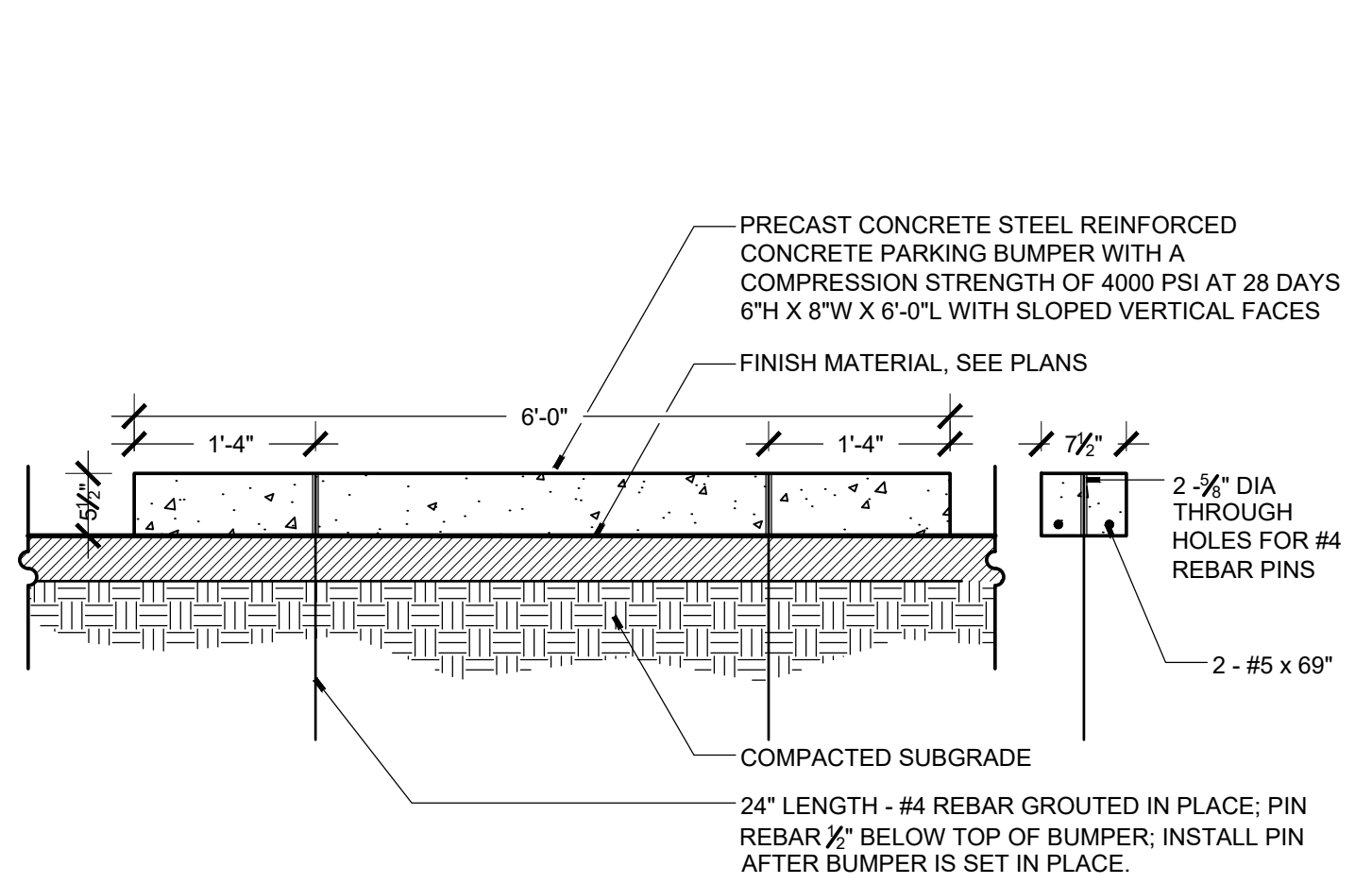
SECTION



15 BOULDER RETAINING WALL

SCALE: 1/2"=1'-0"

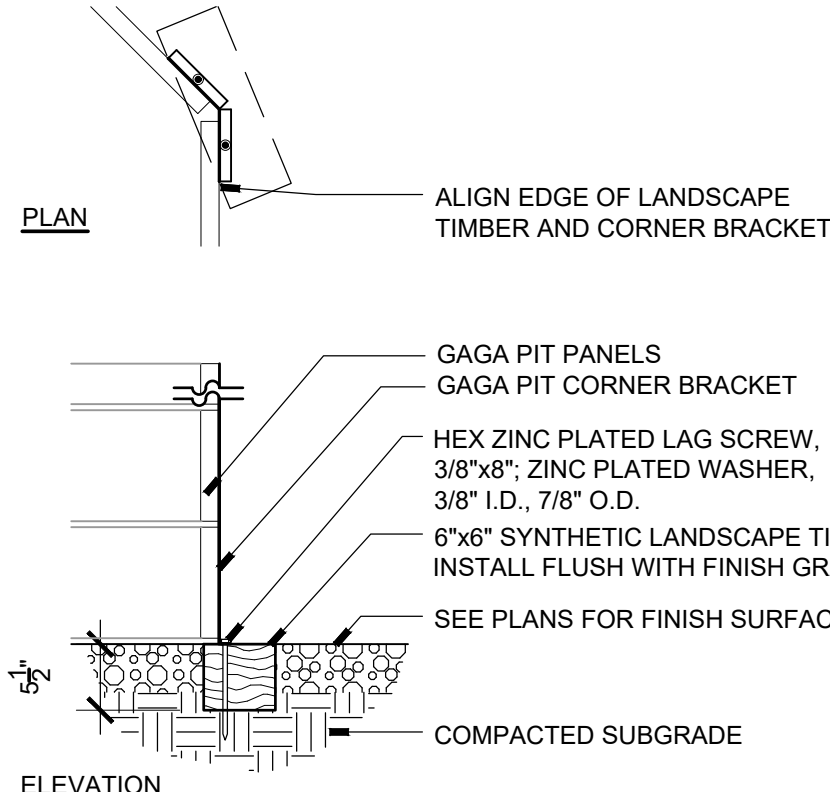
SECTION



4 PARKING BUMPER

SCALE: 3/4"=1'-0"

SECTION

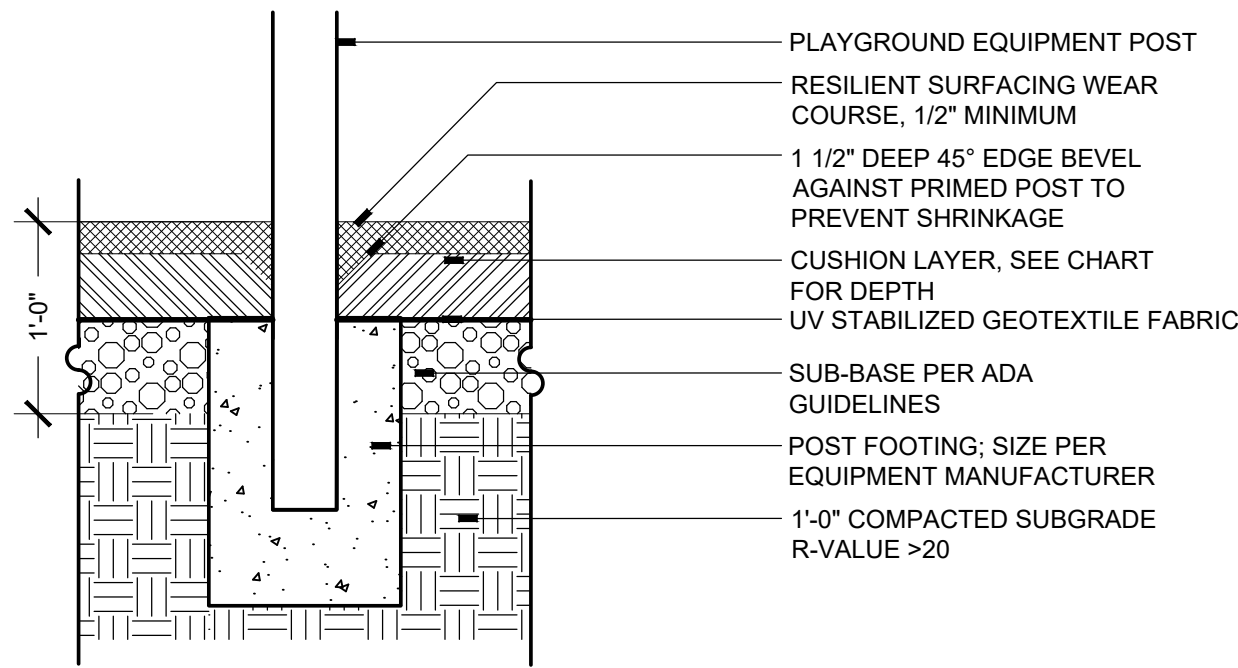


8 GAGA PIT ANCHOR

SCALE: 3/4"=1'-0"

SECTION

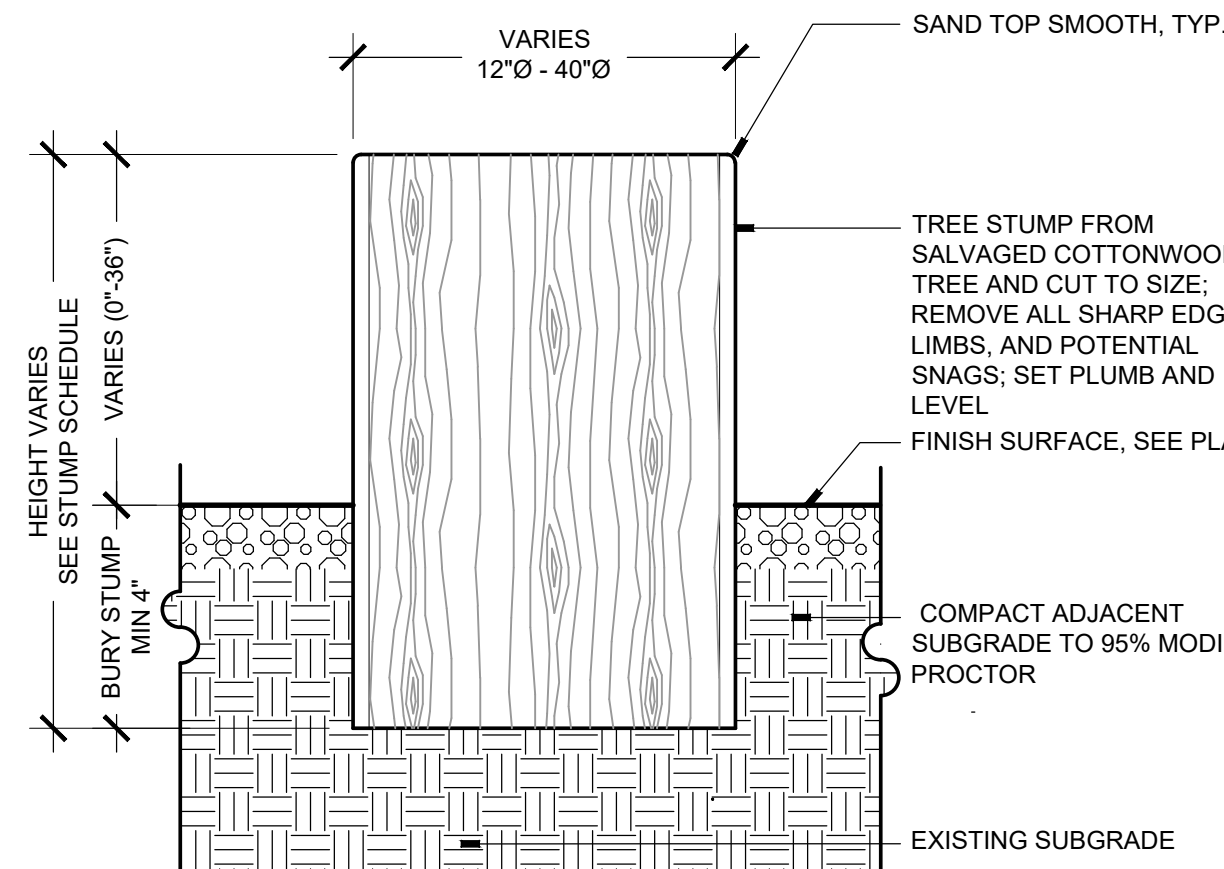
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS



12 RESILIENT SURFACING - POST

SCALE: 1"=1'-0"

SECTION



16 WOOD STUMP

SCALE: 3/4"=1'-0"

SECTION

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