

*Santa Fe County, NM
Monday, July 21, 2025*

Exhibit 150A. Sustainable Land Development Code

CHAPTER 8. ZONING

§ 8.1. PURPOSE.

This chapter is adopted to promote and protect the public health, safety and general welfare through orderly zoning regulation of land uses throughout the unincorporated area of the County. In addition to the other purposes of the SLDC as described in Chapter 1 and succeeding chapters, the following additional specific purposes are hereby adopted:

- 8.1.1 Provide for consistency with the SGMP, and any applicable area, district and community plans, and internally with the SLDC;
- 8.1.2 Divide the County into base, planned development and overlay zoning districts of a number, size and location deemed necessary to carry out the purposes of the SGMP and the SLDC;
- 8.1.3 Provide for a system of Sustainable Development Areas (SDAs) that are established by the SGMP to guide orderly development when infrastructure and services become available and time and sequence development so that infrastructure and services are available when needed;
- 8.1.4 Promote and incentivize infill into SDA-1 and SDA-2 areas where adequate public facilities and services presently exist;
- 8.1.5 Balance residential development with economic development where appropriate to assure County fiscal integrity;
- 8.1.6 Promote and incentivize flexible planned mixed-use buildings, centers and neighborhoods;
- 8.1.7 Protect environmentally sensitive lands, and the preservation of natural, archaeological, cultural and historical resources pursuant to the Land Development Suitability Analysis contained in the SGMP;
- 8.1.8 Promote sustainable design and improvement standards;
- 8.1.9 Provide adequate light and air; and
- 8.1.10 Determine the location, density, height, mass, minimum lot size and use of buildings, structures and land for residential, commercial, industrial and other purposes.

(Ordinance 2016-9 adopted 12/13/16; Ordinance 2021-03 adopted 7/30/21)

§ 8.2. GENERAL REQUIREMENTS.

- 8.2.1 No land shall be used or occupied and no structures shall be designed, erected, altered, used or occupied, including all lands, lots, parcels or tracts created through an exemption to the parcel division and subdivision process, except in conformity with all of the zoning regulations, standards and procedures, compliance with all sustainable design and improvement standards, and upon performance of all conditions attached to any zoning map or text amendment, conditional use

permit, variance, beneficial use determination statement, development approval, voluntary development agreement, and/or site development plan approved pursuant to the SLDC, or otherwise.

8.2.2 No person, firm, or corporation and no officer or employee (either as owner or as participating principal, agent, servant, or employee of such owner) shall sell, rent, lease, or offer to sell, rent, or lease any land or structure upon the representation, falsely made and known to be false, that such land or structure may be used or occupied in a manner or for a use prohibited by this chapter or by the SLDC.

(Ordinance 2016-9 adopted 12/13/16; Ordinance 2021-03 adopted 7/30/21)

§ 8.3. ESTABLISHMENT OF ZONING DISTRICTS.

This chapter establishes base zoning districts, planned development districts and overlay zones and describes use and design requirements that apply to each. All land in the unincorporated area of the County to which this SLDC applies is located within a base zoning district or a planned development district, and may be additionally subject to an overlay zoning designation.

8.3.1 Base Zoning Districts. Base zoning districts divide the County into agricultural, residential, commercial, industrial and mixed-use zones with established boundaries and specified development uses. Base zoning districts approved for use in the County are listed in Table 8-1.

Table 8-1: Base Zoning Districts	
Residential:	
A/R	Agriculture/ranching
RUR	Rural
RUR-F	Rural Fringe
RUR-R	Rural Residential
RES-F	Residential Fringe
RES-E	Residential Estate
RES-C	Residential Community
TC	Traditional Community
Nonresidential:	
CG	Commercial General
CN	Commercial Neighborhood
I	Industrial General
IL	Industrial Light
P/I	Public/Institutional
Mixed Use:	
MU	Mixed Use

8.3.2 Planned Development Districts. Planned Development Districts may be established in appropriate areas in lieu of the base district zoning in accordance with Section 8.10 Planned development districts approved for use in the County are listed in Table 8-2.

Table 8-2: Planned Development Districts	
PD	Planned Development
PD-NC	Planned - Neighborhood Center

Table 8-2: Planned Development Districts

PD-TND	Planned - Traditional Neighborhood District
PD-RC	Planned - Regional Center
PD-CS	Planned - Conservation Subdivision
PD-C/O	Planned - Campus/Opportunity Center
PD-TOD	Planned - Transit Oriented Development

8.3.3 Overlay Zones. Overlay zones may be established over existing base zoning districts and planned development districts, as appropriate. Within an overlay zone, the standards of the underlying district shall apply, but as modified by the additional requirements and standards of the overlay zone. Overlay zones may be used to address special situations related to: providing commercial uses in rural areas; preserving community development and use patterns; preserving historic areas and buildings, preserving environmentally sensitive lands and cultural resources; or regulating developments of countywide impact to protect public health, safety and welfare. Overlay zones approved for use are listed in Table 8-3.

Table 8-3: Overlay Zones

O-RC	Rural Commercial
O-CD	Community District
O-ERP	Environmental and Resource Protection
O-HP	Historic Preservation
O-DCI	Development of Countywide Impact
O-AN	Airport Noise Overlay

(Ordinance 2016-9 adopted 12/13/16; Ordinance 2021-03 adopted 7/30/21)

§ 8.4. ZONING MAP.

8.4.1 Adoption of Zoning Map. All land in the unincorporated area of the County to which this SLDC applies shall be set forth on the County's zoning map, which will designate base zoning districts, planned development districts and, as applicable, overlay zones. All lands shall be zoned as set forth on the zoning map.

8.4.2 Zoning District Boundaries. Where uncertainty exists as to the boundaries of any zoning district shown on the zoning map, the following rules shall apply:

8.4.2.1 Where zoning district boundaries are indicated as approximately following road, highway, railroad or lot lines, such lines shall be construed as extending to the centerline of such road or highway, or lot line.

8.4.2.2 In property that has not been subdivided or where a zoning district boundary divides a lot, the location of the zoning district boundary, unless specified by dimensions, shall be determined by use of the scale appearing on the map.

8.4.2.3 Where a public road is officially vacated or abandoned, the regulations applicable to abutting property shall apply to the vacated or abandoned road.

8.4.2.4 Where any private right-of-way or easement of any railroad, acequia or public utility company is vacated or abandoned, the rules applicable to abutting properties shall apply to the vacated right-of-way or easement.

8.4.2.5 In case uncertainty exists after application of these rules, the Administrator shall determine the location of district boundaries, subject to appeal to the planning commission.

8.4.3 Default Zoning. Any property to which the SLDC applies that is not depicted on the zoning map within a zoning district established in Chapter 8 of the SLDC, shall be deemed to be located in the A/R Zoning District unless otherwise specifically provided for herein.

8.4.4 Interpretation of Zoning District Densities. Maximum densities that are specified for zoning districts in this chapter are maximum gross densities that apply to the entire area within a development project or subdivision and are not necessarily minimum lot sizes for individual lots.

(Ordinance 2016-9 adopted 12/13/16; Ordinance 2021-03 adopted 7/30/21)

§ 8.5. USE REGULATIONS.

8.5.1 Use Matrix. Uses permitted in the base zones and planned development zoning districts are shown in the use matrix in Appendix B.^[1] All uses are designated as permitted, accessory, or conditional, as further explained in Table 8-4. Accessory uses may be subject to specific regulations as provided in Chapter 10, and conditional uses are subject to the conditional use permit standards provided in Chapter 4. In addition, uses may be subject to modification by the overlay zoning regulations included in this chapter.

Table 8-4: Use Matrix Labels	
P	Permitted Use: The letter “P” indicates that the listed use is permitted by right within the zoning district. Permitted uses are subject to all other applicable standards of the SLDC.
A	Accessory Use: The letter “A” indicates that the listed use is permitted only where it is accessory to a use that is permitted or conditionally approved for that district. Accessory uses shall be clearly incidental and subordinate to the principal use and located on the same tract or lot as the principal use.
C	Conditional Use: The letter “C” indicates that the listed use is permitted within the zoning district only after review and approval of a Conditional Use Permit in accordance with Chapter 4.
DCI	Development of Countywide Impact: The letters “DCI” indicate that the listed use is permitted within the zoning district only after review and approval as a Development of Countywide Impact.
X	Prohibited Use: The letter “X” indicates that the use is not permitted within the district.

[1] *Editor’s note—Appendix B is included as an attachment to this exhibit.*

8.5.2 Agriculture, Grazing and Ranching Uses. Agriculture, grazing and ranching of livestock shall be allowed anywhere in the County. A development permit is not required for this use, however, a development permit is required for any structure(s) related to this use in accordance with the siting and design standards of this SLDC.

8.5.3 Uses not specifically enumerated. When a proposed use is not specifically listed in the use matrix, the Administrator may determine that the use is materially similar to an allowed use if:

8.5.3.1 The use is listed as within the same structure or function classification as the use specifically enumerated in the use matrix as determined by the Land-Based Classification Standards (LBCS) of the American Planning Association (APA). See <http://www.planning.org/lbcs/standards/>^[2]

[2] *Editor’s note—Original has this as Subsection 8.5.2.1.*

8.5.3.2 If the use cannot be located within one of the LBCS classifications, the Administrator shall refer to the most recent manual of the North American Industry Classification System (NAICS). If the use cannot be located within the NAICS, the Administrator shall make a determination whether the proposed use is materially similar to a use within the same industry classification of the NAICS manual; if so, the Administrator shall approve the use. If not, the Administrator shall deny the use.

See <http://www.census.gov/cgi-bin/sssd/naics/naicsrch>^[3]

[3] *Editor's note—Original has this as Subsection 8.5.2.2.*

(Ordinance 2016-9 adopted 12/13/16; Ordinance 2021-03 adopted 7/30/21)

§ 8.6. RESIDENTIAL ZONING DISTRICTS.

8.6.1 Agriculture/Ranching (A/R).

8.6.1.1 Purpose. The purpose of the Agriculture/Ranching (A/R) district is to designate areas suitable for agricultural, ranching and residential uses, and to prevent encroachment of incompatible uses and the premature conversion of agricultural and ranch lands to nonagricultural uses. Uses in the A/R district are limited to agricultural, ranch, residential and other compatible uses. This designation reflects areas whose present use is agricultural, such as grazing or dry land farming. Density transfers and clustered development shall be allowed in order to support continued farming and/or ranching activities, conserve open space or protect scenic features and environmentally sensitive areas.

8.6.1.2 Permitted Uses. Appendix B contains a list of all permitted, accessory, and conditional uses allowed within the A/R district.

8.6.1.3 Dimensional Standards. The dimensional standards within the A/R district are outlined in Table 8-5.

Table 8-5: Dimensional Standards - A/R (Agriculture/Ranching)	
Zoning District	A/R
Density (# of acres per dwelling unit)	160
Lot width (minimum, feet)	400
Lot width (maximum, feet)	n/a
Height (maximum, feet)	36
Height (maximum, feet), hay or animal barn, silo	50

8.6.2 Rural (RUR).

8.6.2.1 Purpose. The purpose of the Rural (RUR) district is to designate areas suitable for a combination of agricultural, equestrian, residential and other compatible uses. The intent of the RUR district is to protect agricultural uses from encroachment by development and to support agricultural, ranch, very large lot residential, eco-tourism and equestrian uses. Density transfers and clustered development shall be allowed in order to support continued farming and/or ranching activities, conserve open space or protect scenic features and environmentally sensitive areas.

8.6.2.2 Permitted Uses. Appendix B contains a list of all permitted, accessory and conditional uses allowed within the within the [sic] RUR district.

8.6.2.3 Dimensional Standards. The dimensional standards within the RUR district are outlined in Table 8-6.

Table 8-6: Dimensional Standards - RUR (Rural)	
Zoning District	RUR
Density (# of acres per dwelling unit)	40
Lot width (minimum, feet)	150
Lot width (maximum, feet)	n/a

Table 8-6: Dimensional Standards - RUR (Rural)

Zoning District	RUR
Height (maximum, feet)	36
Height (maximum, feet), hay or animal barn, silo	50

8.6.3 Rural Fringe (RUR-F).

8.6.3.1 Purpose. The purpose of the Rural Fringe (RUR-F) district is to designate areas suitable for a combination of estate-type residential development, agricultural uses and other compatible uses. The RUR-F designation provides an intermediate step in development density between typical open space and agricultural/ranching lands and primarily residential (low density) parcels. This zone also serves to protect agricultural and environmental areas that are inappropriate for more intense development due to their sensitivity. The RUR-F zone accommodates primarily large lot residential, eco-tourism, equestrian uses and renewable resource-based activities, seeking a balance between conservation, environmental protection and reasonable opportunity for development. Density transfers and clustered development shall be allowed in order to support continued farming and/or ranching activities, conserve open space or protect scenic features and environmentally sensitive areas.

8.6.3.2 Permitted Uses. Appendix B contains a list of all permitted, accessory, and conditional uses allowed within the within the [sic] RUR-F district.

8.6.3.3 Dimensional Standards. The dimensional standards within the RUR-F district are outlined in Table 8-7.

Table 8-7: Dimensional Standards - RUR-F (Rural Fringe)

Zoning District	RUR-F
Density (# of acres per dwelling unit)	20
Lot width (minimum, feet)	100
Lot width (maximum, feet)	n/a
Height (maximum, feet)	36
Height (maximum, feet), hay or animal barn, silo	50

8.6.4 Rural Residential (RUR-R).

8.6.4.1 Purpose. The purposes of the Rural Residential (RUR-R) district are: to provide for the development of single-family homes on large lots, either individually or as part of rural subdivisions; to preserve the scenic and rural character of the County; to provide consolidated open space and agricultural lands; and to recognize the desirability of carrying on compatible agricultural operations and home developments in areas near the fringes of urban development while avoiding unreasonable restrictions on farming or ranching operations. Uses that support rural character of the broader area shall be allowed including agricultural production, small-scale renewable energy production, home-based businesses, bed and breakfasts, agro-tourism, equestrian and boarding facilities, farmers' markets and produce stands. Density transfers and clustered development shall be allowed in order to support continued farming and/or ranching activities, conserve open space or protect scenic features and environmentally sensitive areas.

8.6.4.2 Permitted Uses. Appendix B contains a list of all permitted, accessory, and conditional uses allowed within the within the [sic] RUR-R district.

8.6.4.3 Dimensional Standards. The dimensional standards within the RUR-R district are outlined in Table 8-8.

Table 8-8: Dimensional Standards - RUR-R (Rural Residential)	
Zoning District	RUR-R
Density (# of acres per dwelling unit)	10
Lot width (minimum, feet)	100
Lot width (maximum, feet)	n/a
Height (maximum, feet)	24

8.6.5 Residential Fringe (RES-F).

8.6.5.1 Purpose. The purpose of the Residential Fringe (RES-F) district is to designate areas suitable for a combination of estate-type residential development, smaller-scale agricultural uses, ranchettes and other compatible uses. The RES-F district provides an intermediate step in single-family residential development between open space and/or agricultural/ranching lands, and typically suburban residential densities. The RES-F district may be comprised of a variety of residential lot sizes, clustered housing and community open space and can include limited agricultural use accessory to residential uses. Density transfers and clustered development shall be allowed in order to support continued farming and/or ranching activities, conserve open space or protect scenic features and environmentally sensitive areas.

8.6.5.2 Permitted Uses. Appendix B contains a list of all permitted, accessory and conditional uses allowed within the within the [sic] RES-F district.

8.6.5.3 Dimensional Standards. The dimensional standards within the RES-F district are outlined in Table 8-9.

Table 8-9: Dimensional Standards - RES-F (Residential Fringe)	
Zoning District	RES-F
Density (# of acres per dwelling unit)	5
Lot width (minimum, feet)	100
Lot width (maximum, feet)	n/a
Height (maximum, feet)	24

8.6.6 Residential Estate (RES-E).

8.6.6.1 Purpose. The purpose of the Residential Estate (RES-E) district is to designate areas suitable for a combination of large-lot and suburban-type residential development, ranchettes and other compatible uses. The RES-E district supports single-family homes on medium sized lots consistent with contemporary community development. Generally this district applies to low to medium density residential development in established neighborhoods (lands that are already committed to residential uses and have been subdivided for a specific development) and undeveloped or underdeveloped areas with a moderate to high development suitability. This category may include limited agricultural use accessory to residential uses. Density transfers and clustered development shall be allowed in order to support continued farming and/or ranching activities, conserve open space or protect scenic features and environmentally sensitive areas.

8.6.6.2 Permitted Uses. Appendix B contains a list of all permitted, accessory and conditional uses allowed within the within the [sic] RES-E district.

8.6.6.3 Dimensional Standards. The dimensional standards within the RES-E district are outlined in Table 8-10.

Table 8-10: Dimensional Standards - RES-E (Residential Estate)

Zoning District	RES-E
Density (# of acres per dwelling unit)	2.5
Frontage (minimum, feet)	100
Lot width (minimum, feet)	100
Lot width (maximum, feet)	n/a
Height (maximum, feet)	24

8.6.7 Residential Community (RES-C).

8.6.7.1 Purpose. The purpose of the Residential Community (RES-C) district is to designate areas suitable for suburban-type residential development and other compatible uses. The RES-C district supports single-family homes on relatively small lots consistent with contemporary community development. Generally this district applies to existing medium to higher density residential development in established neighborhoods (lands that are already committed to residential uses and have been subdivided for a specific development) and undeveloped or underdeveloped areas with a moderate to high development suitability. Density transfers and clustered development shall be allowed in order to support continued farming and/or ranching activities, conserve open space or protect scenic features and environmentally sensitive areas.

8.6.7.2 Permitted Uses. Appendix B contains a list of all permitted, accessory and conditional uses allowed within the within the [sic] RES-C district.

8.6.7.3 Dimensional Standards. The dimensional standards within the RES-C district are outlined in Table 8-11.

Table 8-11: Dimensional Standards - R-1 (Residential)

Zoning District	RES-C
Density (# of acres per dwelling unit)	1
Frontage (minimum, feet)	100
Lot width (minimum, feet)	100
Lot width (maximum, feet)	n/a
Height (maximum, feet)	24

8.6.8 Traditional Community (TC).

8.6.8.1 Purpose. The purpose of the Traditional Community (TC) district is to designate areas suitable for residential, small-scale commercial and traditional agricultural uses consistent with the existing development patterns of traditional communities. The TC district accommodates traditional community patterns, preserves historic and cultural landscapes, and protects agricultural uses, including agriculture found in traditional communities with acequia systems, from encroachment by development. Density bonuses and transfers of development rights may be utilized to achieve the purposes of the district. Density transfers and clustered development shall be allowed in order to support continued farming and/or ranching activities, conserve open space or protect scenic features and environmentally sensitive areas.

8.6.8.2 Permitted Uses. Appendix B contains a list of all permitted, accessory, and conditional uses allowed within the within the [sic] TC district.

8.6.8.3 Dimensional Standards. The dimensional standards within the TC district are outlined in Table 8-12.

Table 8-12: Dimensional Standards - TC (Traditional Community)

Zoning District	TC
Density (# of acres per dwelling unit)	0.75*
Frontage (minimum, feet)	50
Lot width (minimum, feet)	50
Lot width (maximum, feet)	n/a
Height (maximum, feet)	24
Maximum building size (commercial)	2,500 sq. ft.

*See Section **8.12** (Density Bonus).

(Ordinance 2016-9 adopted 12/13/16; Ordinance 2021-03 adopted 7/30/21)

§ 8.7. NONRESIDENTIAL ZONING DISTRICTS.

8.7.1 Commercial General (CG).

8.7.1.1 Purpose. The purpose of the Commercial General (CG) district is to designate areas suitable for general commercial activities such as retail and wholesale sales, offices, repair shops, limited manufacturing, warehouses and indoor and outdoor display of goods. The CG district promotes a broad range of commercial operations and services while ensuring that land uses and development are compatible with surrounding areas.

8.7.1.2 Permitted Uses. Appendix B contains a list of all permitted, accessory and conditional uses allowed within the within the [sic] CG district.

8.7.1.3 Dimensional Standards. The dimensional standards within the CG district are outlined in Table 8-13. Multifamily residential development at densities above the base density indicated in Table 8-13 requires the Transfer of Development Rights in accordance with section **12.14** of this SLDC.

8.7.1.4 Review/approval procedures. All CG developments shall meet the design standards of this Section in addition to the applicable standards of Chapter 7. A conceptual plan shall be required for all phased development in accordance with procedures outlined in Chapter 4.

8.7.1.5 Architectural Design Requirements.

1. Buildings 25,000 square feet or less shall be designed with two distinct masses to be defined by four (4) feet change in both vertical and horizontal direction.
2. Buildings over 25,000 square feet shall be designed with a minimum of 3 distinct masses to be defined by four (4) feet change in both vertical and horizontal direction. The maximum uninterrupted length of any facade shall be 50 feet.

Table 8-13: Dimensional Standards - CG (Commercial General)

CG Zoning District	Base	With TDRs
Density (# dwelling units per acre)	2.5**	20
Frontage (minimum, feet)	50	25
Lot width (minimum, feet)	50	25
Height (maximum, feet)	40	48
Lot coverage (maximum, percent)	60	80

*Multifamily Residential shall comply with supplemental use standards in Chapter 10.

**Density shall be 1 acre if the surrounding zoning district is RC, or reduced to 0.75 acres if the surrounding zoning district is TC.

8.7.2 Commercial Neighborhood (CN).

8.7.2.1 Purpose. The purpose of the Commercial Neighborhood (CN) district is to allow for low-rise low-intensity convenience retail and personal services, as well as office uses, that are intended to serve and are in close proximity to individual residential neighborhoods. Generally, the desired location of these commercial areas is at the periphery, focal point, or a major entrance to one or more neighborhoods, along a minor or subdivision collector or higher roadway classification, or along a major access road at the entrance to or in a focal point of a neighborhood. The size of neighborhood commercial districts will typically be between one and twenty contiguous acres.

8.7.2.2 Permitted Uses. Appendix B contains a list of all permitted, accessory and conditional uses allowed within the within the [sic] CN district.

8.7.2.3 Dimensional Standards. The dimensional standards within the CN district are outlined in Table 8-14 below. Adjacent to residential zoning districts, setbacks shall be provided consistent with Section 7.3.3.

8.7.2.4 Review/approval procedures. All CN developments shall meet the design standards of this Section in addition to the applicable standards of Chapter 7. A conceptual plan shall be required for all phased development in accordance with procedures outlined in Chapter 4.

8.7.2.5 Architectural Design Requirements.

1. Buildings 25,000 square feet or less shall be designed with two distinct masses to be defined by four (4) feet change in both vertical and horizontal direction.
2. Buildings over 25,000 square feet shall be designed with a minimum of 3 distinct masses to be defined by four (4) feet change in both vertical and horizontal direction. The maximum uninterrupted length of any facade shall be 50 feet.

Table 8-14: Dimensional Standards - CN (Commercial Neighborhood)

CN Zoning District	CN
Density (# acres per dwelling unit)	2.5***
Frontage (minimum, feet)	50
Lot width (minimum, feet)	n/a
Lot width (maximum, feet)	n/a
Height (maximum, feet)	24
Lot coverage (maximum, percent)	80
Maximum building size (aggregate)	50,000*
Maximum size of individual establishments (sq. ft.)	15,000**

*Building size may be increased up to 100,000 square feet with the issuance of a conditional use permit.

**Establishment size may be increased up to 30,000 square feet with the issuance of a conditional use permit.

** [***] density shall be 1 acre if the surrounding zoning district is RC, or reduced to 0.75 acres if the surrounding zoning district is TC.

8.7.3 Industrial General (I).

8.7.3.1 Purpose. The Industrial General (I) district accommodates areas of heavy and concentrated fabrication, manufacturing, access to transportation, and the availability of public services and facilities. These districts provide an environment for industry that is unencumbered by nearby residential or commercial development. Industrial districts shall be located in areas where conflicts with other uses can be minimized to promote orderly transitions and buffers between uses.

8.7.3.2 Permitted Uses. Appendix B contains a list of all permitted, accessory and conditional uses allowed within the within the [sic] I district.

8.7.3.3 Dimensional Standards. The dimensional standards within the I district are outlined in Table 8-15.

8.7.3.4 Review/approval procedures. All I developments shall meet the design standards of this Section in addition to the applicable standards of Chapter 7. A conceptual plan shall be required for all phased development.

8.7.3.5 Base Density. Development at levels above the base standards identified in Table 8-15, requires the Transfer of Development Rights in accordance with section **12.14** of this SLDC.

Table 8-15: Dimensional Standards - I (Industrial)		
I Zoning District	Base	With TDRs
Frontage (minimum, feet)	50	25
Lot width (minimum, feet)	50	25
Height (maximum, feet)	36	50
Lot coverage (maximum, percent)	60%	80%

8.7.4 Industrial Light (IL).

8.7.4.1 Purpose. The Industrial Light (IL) district is to provide for wholesale and warehousing uses for non-hazardous materials as well as those industrial uses that include fabrication, manufacturing, assembly or processing of materials that are in a refined form and that do not in their transformation create smoke, gas, dust, noise, soot or lighting to a degree that is offensive when measured at the property line of subject property. This district also provides for research and development activities, mixed commercial and IL support services including offices, restaurants, call centers, etc.

8.7.4.2 Permitted Uses. Appendix B contains a list of all permitted, accessory and conditional uses allowed within the within the [sic] IL district.

8.7.4.3 Dimensional Standards. The dimensional standards within the IL district are outlined in Table 8-16.

8.7.4.4 Review/approval procedures. All I [IL] developments shall meet the design standards of this Section in addition to the applicable standards of Chapter 7. A conceptual plan shall be required for all phased development.

8.7.4.5 Base Density. Development at levels above the base standards identified in Table 8-16, requires the Transfer of Development Rights in accordance with section **12.14** of this SLDC.

Table 8-16: Dimensional Standards - IL (Industrial Light)		
IL Zoning District	Base	With TDRs
Frontage (minimum, feet)	50	25
Lot width (minimum, feet)	50	25
Height (maximum, feet)	27	40
Lot coverage (maximum, percent)	60%	80%

(Ordinance 2016-9 adopted 12/13/16; Ordinance 2021-03 adopted 7/30/21)

§ 8.8. PUBLIC/INSTITUTIONAL ZONING DISTRICT.

8.8.1 Purpose. The purpose of the Public/Institutional (PI) district is to accommodate governmental, educational, and nonprofit or institutional uses, including public or community parks and recreation facilities, and public, nonprofit, and institutional residential uses, but excluding any such uses of an extensive heavy industrial character.

8.8.2 Permitted Uses. Appendix B contains a list of all permitted, accessory and conditional uses allowed within the within the [sic] PI district.

8.8.3 Dimensional Standards. The dimensional standards within the PI district are outlined in Table 8-17 below.

8.8.4 Review/approval procedures. All PI developments must meet the design standards of this Section in addition to the applicable standards of Chapter 7. A conceptual plan shall be required for all phased development in accordance with procedures outlined in Chapter 4.

Table 8-17: Dimensional Standards - PI (Public/Institutional)	
P/I Zoning District	P/I
Density	2.5*
Frontage (minimum, feet)	40
Lot width (minimum, feet)	n/a
Lot width (maximum, feet)	n/a
Height (maximum, feet)	48
Lot coverage (maximum, percent)	80

*density shall be 1 acre if the surrounding zoning district is RC, or reduced to 0.75 acres if the surrounding zoning district is TC.

(Ordinance 2016-9 adopted 12/13/16; Ordinance 2021-03 adopted 7/30/21)

§ 8.9. MIXED USE ZONING DISTRICT (MU).

8.9.1 Purpose. The Mixed Use (MU) district provides for areas of compact development with primarily residential and some commercial uses. The MU district provides a full range of housing choices and promotes a sense of community, vitality, and adequate facilities and services. The purpose of the MU designation is to accommodate compact communities, which typically have public gathering places or community facilities with a mix of associated land use such as residential and neighborhood-scale retail, small businesses, and local commercial uses. Community facilities may include schools, post offices, community centers, and recreational facilities, multi-modal transportation facilities that promote bicycling, equestrian activities, park and ride, and transit.

8.9.2 Applicability. The MU district requires residential uses and allows commercial, retail, recreational, community and employment uses. A variety of housing types are allowed in this district, including duplexes, multifamily and single-family. A housing density is given (as shown in Table 8-18) if at least 10% of the developed square footage within the MU district is allocated to commercial/retail use intended to serve the local community.

8.9.3 Permitted Uses. Appendix B contains a list of all permitted, accessory and conditional uses allowed within the within the [sic] MU district.

8.9.4 Base Density. The base density permitted in the MU zone is one (1) dwelling unit per acre for residential use. A minimum of ten percent (10%) nonresidential development is required with a maximum of 15% nonresidential development allowed. Development at densities above the base density requires the Transfer of Development Rights in accordance with section **12.14** of this SLDC.

8.9.5 Dimensional Standards. The dimensional standards within the MU district are outlined in Table 8-18.

8.9.6 Review/approval procedures. All MU developments must meet the design standards of this Section in addition to the applicable standards of Chapter 7. A conceptual plan shall be required for all phased development in accordance with procedures outlined in Chapter 4.

Table 8-18: Dimensional Standards - MU (Mixed Use)		
MU Zoning District	Base	With TDRs
Density (Number of dwelling units per acre)	1	20
Nonresidential (Min required, percent/Max permitted, percent)	10/15	5/50
Frontage (minimum, feet)	50	25
Lot width (minimum, feet)	50	25
Height (maximum, feet)	27	48
Lot coverage (maximum, percent)	40%	80%
Setback where [no] existing residential uses adjoin property (ft)	50	50
Setback from edge of MU district where existing residential uses adjoin property (ft)	100	100
Setback from edge of MU district to adjoining community district (ft)	1000	1000

8.9.7 Design requirements. The following requirements apply to all development within an MU zone. Where the following standards are silent with respect to a particular criterion, the applicable section of the SLDC shall apply.

8.9.7.1 Site Planning. Mixed-use developments shall adhere to all of the following site planning performance standards:

1. Safe ingress and egress, and adequate pedestrian and vehicular circulation;
2. Integrated circulation of roads, walkways and trails both within and external to the development;
3. Adequate stacking or vehicle queuing room at driveways and road intersections may be required, based on engineered traffic studies and calculations;
4. Shared access and circulation to minimize vehicular curb cuts or road approaches;
5. Off-site traffic controls, devices, or improvements, including traffic lights, intersection improvements, and/or turning lanes;
6. Outside storage shall be screened from view from public roads and neighboring properties;
7. Service vehicle accesses and parking areas shall be separated from customer parking and circulation; and
8. Duplex and multifamily structures shall be designed to orient to public or private roads and to provide pedestrian and vehicular connections to existing nearby amenities and neighborhoods. Each building shall be provided with direct pedestrian access from a road or drive fronting the building and from established parking areas.

8.9.7.2 Services. Mixed-use developments shall at a minimum include public water and wastewater, garbage and recycling pick-up, walkways and parking area lighting. In addition, the following performance standards shall be met:

1. Adequate safe pedestrian walkways shall be established within the development;
2. Street lighting shall be provided along walkways adjacent to and within the development;
3. Security lighting shall be provided in parking and designated outdoor recreation areas;
4. Garbage, maintenance, and recycling facilities shall be screened; and
5. Pedestrian connections to adjacent development shall be provided, in public rights-of-way, or along designated trail corridors.

8.9.7.3 Open Space. A minimum of 30% Open Space is required in a MU District. Developed parks shall be in accordance with Section **8.10.3**.

1. The following property may be considered open space for the purpose of meeting the 30 percent requirement:
 - a. Open space identified on the Zoning Map shall be public open space;
 - b. Common or Public Parks and Plazas;
 - c. Trails allowing public access and connecting to County trails;
 - d. Public trailheads;
 - e. Archaeological easements;
 - f. Setbacks required by this Section or other Ordinances; or
 - g. Open space shall be dedicated or reserved on the final plat.
2. Open space may be dedicated on property not contiguous to the area for which the applicant is seeking subdivision approval where all of the following circumstances exist:
 - a. Open space adjacent to or within the proposed development is not feasible or has already been dedicated as part of another development phase;
 - b. The continuous property is within property designated as open space on the Zoning Map; and
 - c. The proposed open space dedication is contiguous to other lands dedicated as open space[.]
3. Required open space may not be used for a density bonus or as a sending area for TDRs.

8.9.7.4 Play Space. Usable open space and recreation areas shall be required within duplex and multifamily residential developments, as follows:

1. Duplex and multifamily residential projects comprised of five (5) or more dwelling units that are anticipated by their unit type and design to accommodate families shall provide a safe play space for children. Projects that are established solely for the occupancy of adults shall not be required to establish play spaces.
2. The provision of usable open space, play spaces, and/or recreational spaces within duplex or multifamily developments of five (5) or more units may be phased concurrent with an approved phasing plan; provided, that each phase shall include usable open space and play spaces (if required) established in proportion to the size and impacts of each phase.

8.9.7.5 Landscaping. Landscaping shall demonstrate compliance with the following performance standards:

1. Landscaping areas between public roads and parking shall be provided;
2. Outside storage areas shall be screened from view from public roads and neighboring properties; and
3. Landscaping areas shall be provided as a buffer to adjacent residential uses or neighborhoods.

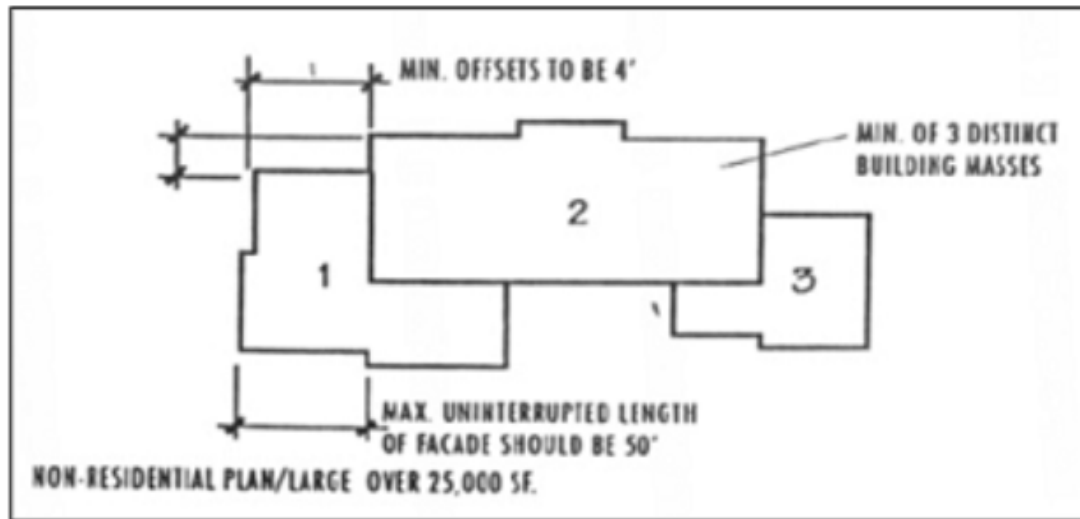
8.9.7.6 Off-road Parking. Off-road parking shall comply with the following performance standards:

1. The number of access points from parking areas to public roads shall be minimized or shall be shared (where possible) within a development.
2. Parking areas shall include landscaping, fencing and/or berming when abutting residential zoning districts.

8.9.7.7 Architectural Design Requirements.

1. Buildings 25,000 square feet or less shall be designed with two distinct masses to be defined by four (4) feet change in both vertical and horizontal direction.
2. Buildings over 25,000 square feet shall be designed with a minimum of 3 distinct masses to be defined by four (4) feet change in both vertical and horizontal direction. The maximum uninterrupted length of any facade shall be 50 feet.

Figure 8-1: Architectural Design Example



(Ordinance 2016-9 adopted 12/13/16; Ordinance 2021-03 adopted 7/30/21)

§ 8.10. PLANNED DEVELOPMENT DISTRICTS.

8.10.1 Generally. A planned development district is a flexible zoning tool intended to provide for efficient land uses, buildings, circulation systems, and infrastructure in order to: promote a sense of place and aesthetic design; increase walkability; allow for a mixing of uses; reduce the cost of infrastructure and services; reduce vehicle miles traveled; and reduce air pollution and greenhouse gas emissions. A planned development district may be generic in nature and intent, or it may be of a special type that incentivizes certain kinds of development (e.g., neighborhood, regional commercial, transit-oriented, office) or protection of valuable natural resources. This Section provides the processes and procedures for establishment of a standard Planned Development (PD), and includes additional standards and modifications for establishing special types of planned developments including Planned Traditional Neighborhood Developments, Planned Neighborhood

Centers, Planned Regional Centers, Planned Campus/Opportunity Centers, Planned Transit Oriented Developments, and Planned Conservation Subdivisions.

8.10.2 Planned Development District (PD).

8.10.2.1 Purpose and findings. Planned Development (PD) districts are established to:

1. Provide flexibility in the planning and construction of development projects by allowing a combination of uses developed in accordance with an approved plan that protects adjacent properties;
2. Provide an environment within the layout of a site that contributes to a sense of community and a coherent living style;
3. Encourage the preservation and enhancement of natural amenities and cultural resources; to protect the natural features of a site that relate to its topography, shape, and size; and to provide for a minimum amount of open space;
4. Provide for a more efficient arrangement of land uses, buildings, circulation systems, and infrastructure;
5. Encourage infill projects and the development of sites made difficult for conventionally designed development because of shape, size, abutting development, poor accessibility, or topography; and
6. Recognize approved master plans that are in effect upon the effective date of both the SLDC and the Zoning Map.

8.10.2.2 Application. Every application for creation of a PD zoning shall be accompanied by a conceptual plan, a rezoning request if applicable and any concurrent preliminary subdivision plat, where applicable.

8.10.2.3 Review/approval procedures. All PD developments must meet the design standards of this Section in addition to the applicable standards of Chapter 7. A conceptual plan shall be required for all phased development in accordance with procedures outlined in Chapter 4.

8.10.2.4 Criteria. In order to foster the attractiveness of a PD district and its surrounding neighborhoods, preserve property values, provide an efficient road and utility network, ensure the movement of traffic, implement comprehensive planning, and better serve the public health, safety, and general welfare, the following criteria shall apply to the required conceptual plan. These criteria shall neither be regarded as inflexible requirements nor are they intended to discourage creativity or innovation:

1. Insofar as practicable, the landscape shall be preserved in its natural state by minimizing tree and soil removal;
2. Proposed buildings shall be sited harmoniously to the terrain and to other buildings in the vicinity that have a visual relationship to the proposed buildings;
3. With respect to vehicular and pedestrian circulation and parking, special attention shall be given to the location and number of access points to public roads, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic, and the arrangement of parking areas that are safe and convenient and, insofar as practicable, do not detract from the design of proposed structures and neighboring properties; and
4. Private roads and gates may be approved as part of the application but are not required.

8.10.2.5 Minimum Size. The minimum size for a PD district is five acres.

Table 8-19: Dimensional Standards - PD (Planned Development)

PD District	Base	With TDRs
Density (dwelling units/acre)	1	20
Nonresidential (Min required, percent/Max permitted, percent)	5/15	0/50
Frontage (minimum, feet)	50	25
Lot width (minimum, feet)	50	25
Height (maximum, feet)	27	48
Lot coverage (maximum, percent)	40%	80%
Setback from outside property boundary - no existing residential uses adjoining property	50	50
Setback from outside property boundary - existing residential uses adjoining property	100	100

8.10.2.6 Permitted Uses and Density.

1. Uses. A PD district may include residential, commercial, and industrial uses; cluster housing; common areas; unusual arrangements of structures on site; or other combinations of structures and uses that depart from standard development. The uses permitted in a PD district are those designated in the approved conceptual plan. Density limits are used to determine the maximum number of permitted dwelling units.
2. Base Density. The base density permitted in the PD zone is one (1) dwelling unit per acre for residential use. A minimum of five percent (5%) nonresidential development is required with a maximum of 15% nonresidential development allowed. Development at densities above the base density requires the Transfer of Development Rights in accordance with section **12.14** of this SLDC.
3. Dimensional Standards. The dimensional standards within the PD district are outlined in Table 8-19.
4. Lots. As shown on Table 8-19, there is no minimum area requirement for lots, and lots do not need to front onto a road. Lot boundaries may coincide with structure boundaries except where perimeter lot setbacks are required.

8.10.2.7 Height and Yard Requirements. Setbacks shall be governed by the PD conceptual plan and the Setback Table [Table 7-A] in Chapter 7. Lots located on the perimeter of a PD district shall adhere to the minimum and maximum setback requirements of the base zoning district set forth in the Setback Table in Chapter 7 unless a lesser setback is approved in the master site plan. There are no setbacks for interior lots, provided that the requirements of the New Mexico Building Code are met.

8.10.2.8 Infrastructure Requirements. Publicly owned and/or maintained utilities shall be placed in public roads or easements that are a minimum of 16 feet in width unless a narrower width is approved by the applicable utility. Dead-end easements shall not be permitted unless an approved vehicular turnaround is provided at the end of each such easement. New PD districts shall at a minimum include public water and wastewater services provided by County utility or public water and wastewater systems.

8.10.2.9 Open Space. A minimum of 30% Open Space is required in a PD District. Developed parks shall be in accordance with Section **8.10.3**.

1. The following property may be considered open space for the purpose of meeting the 30 percent requirement:
 - a. Open space identified on the Zoning Map shall be public open space;
 - b. Common or Public Parks and Plazas;

- c. Trails allowing public access and connecting to County trails;
 - d. Public trailheads;
 - e. Archaeological easements;
 - f. Setbacks required by this Section or other Ordinances; or
 - g. Open space shall be dedicated or reserved on the final plat.
2. Open space may be dedicated on property not contiguous to the area for which the applicant is seeking subdivision approval where all of the following circumstances exist:
- a. Open space adjacent to or within the proposed development is not feasible or has already been dedicated as part of another development phase;
 - b. The continuous property is within property designated as open space on the Zoning Map; and
 - c. The proposed open space dedication is contiguous to other lands dedicated as open space.
3. Required open space may not be used for a density bonus or as a sending area for TDRs.

8.10.3 Planned District Santa Fe Community College District.

8.10.3.1 Purpose and Intent. The Community College District (CCD) is a planned development district and is intended to promote and focus compact, mixed-use development in a village land use pattern in the large county area south of the city of Santa Fe. It is a major employment, education and cultural center serving the city, county and other regional areas; and, its presence has led to the development of related public and institutional uses including churches and other educational institutions, which are integral to the creation of “community” and historically have been uses around which new communities and settlements have successfully developed.

The CCD was created to curb sprawl, maximize infrastructure efficiency and preserve open space in an area of Santa Fe County under substantial development pressure, and to otherwise to implement the vision, goals and principals of the CCD Plan. The CCD is expected to be the first of a number of new communities to be developed outside the urban area over the next 20 years.

The CCD Plan calls for New Community Centers, Neighborhood Centers and Employment Centers. These centers should be active places with identities and ambiance that attract people. They shall have a mixture of uses that keep them active and the heart of commerce and community activities in the District. Centers should be designed to principles that are different than typical strip commercial. Buildings, plazas, walks, parking and the landscape shall be designed to create centers that will be the focus of community life described in the CCD Plan.

The CCD Plan designates areas for Institutional Campuses. Campuses shall be anchored by an educational, large-scale nonprofit, vocational, research or similar institution that desires a campus setting. In all Campuses, the first phase of the anchor institution must be built prior to or in conjunction with all other buildings. Commercial and residential uses support the anchor institution and its users, but are subordinate in design and size. Without the anchor institution, no other uses are allowed in this zone. Institutional campuses are not intended for large-scale commercial or retail businesses that desire a campus setting; these users may locate in Employment Centers or New Community Centers.

8.10.3.2 Adoption of CCD Land Systems Map, CCD Circulation Map, CCD Zoning Map and CCD Media Subdistrict Map. The CCD Land Systems Map, the CCD Circulation Map, the CCD Zoning Map and the CCD Media District Map are hereby adopted and incorporated, by reference, into the Code and attached as Appendix F.^[1] The road and trail network shown on

the CCD Circulation Map shall be used as a guide for the establishment of the road and trail alignments and transit corridors in the CCD district.

[1] *Editor's note—Appendix F is included as an attachment to this exhibit.*

8.10.3.3 General.

1. The regulations, standards and provisions described herein are specific to the Planned District Community College District. Where conflict arises between SLDC regulations and the community district standards and provisions, the district's standards and provisions shall prevail. However, when the district's standards are silent on an issue that would otherwise be governed by the SLDC or other applicable County codes, the SLDC or those other codes shall prevail.
2. All development within the PD-CCD shall follow the procedures set forth in Chapter 4 of this SLDC.

8.10.3.4 Conceptual Plan. A Conceptual Plan is required for multi-phased development within the CCD. The Conceptual Plan shall:

1. Define the boundaries of the landscape types and the resulting designation and configuration of Village, Employment Center, Institutional Campus, and Fringe Zones and Open Space;
2. Calculate the zoning allowances and requirements including the minimum and maximum number of residential units, the minimum and maximum range of commercial square footage and the open space and park requirements;
3. Establish categories of land uses with sufficient specificity to allow for an analysis of the traffic and other impacts of the proposed uses, within each category;
4. Identify the location and general configuration of New Community Centers, Neighborhood Centers, Neighborhoods, Employment Center Zones and Institutional Campus Zones that are included in the Master Plan area. A digitized aerial photograph containing metes and bounds description may be used to establish zone locations;
5. Identify the proposed categories of land uses to be developed to demonstrate the mixed-use nature of the development;
6. Establish the general road layout and classification of road segments as living priority, mixed priority and traffic priority roads;
7. Establish the general trail network and classification as district, village, local or any separate equestrian trails;
8. Establish a phasing schedule which details the timing for the proposed development which shall include a general description of each phase of the development, with projected sales and build-out;
9. An explanation of how each development phase promotes the mixed-use intent of this Section; a description of the phased development of the on-site infrastructure and the manner in which it is coordinated with development of needed off-site infrastructure to ensure that the standards of the zones and densities of the development required by this Section are achieved; and
10. [Reserved.]
11. The minimum area which must be included in a Conceptual Plan shall be an entire Village Zone, Employment Center Zone or Institutional Campus Zone, or that portion of such zone owned by the applicant.

8.10.3.5 Conceptual Plan Review Criteria. The criteria for approval of a Conceptual Plan in the CCD are as follows:

1. Conformance to the Sustainable Growth Management Plan as amended by the Community College District Plan;
 2. Viability of the proposed phases of the project to function as completed developments in the case that subsequent phases of the project are not approved or completed; and
 3. Conformance to the this [sic] Section **8.10** and other applicable law and ordinances in effect at the time of consideration, including required improvements, proposed roads and trails, community facilities, design and/or construction standards, and open space standards.
- 8.10.3.6 Land System. The location of land system boundaries shall be indicated on a digital or photo topographic map; a boundary survey is not required. Landscape classification boundaries and the location of subdistrict boundaries shall be established at the time Conceptual Plans are approved. Thereafter, such boundaries may be modified as new information becomes available as the project moved [moves] forward for final approval or final plat approval. The location of subdistricts within the CCD district is based on the land types shown on the Land System Map. This criteria is intended to establish a balance between preservation on [of] the natural landscape and creation of concentrations of development that are adequate to create a vital community. The following landscape types are identified:
1. Mountains. Mountains open space begins at the 15 percent slope line at the base of the mountains and extend[s] to the top.
 2. Flatland/Grasslands. Upper flatland/grasslands are open level areas that are elevated above arroyos and covered by grass and sparse tree cover. The edges of these areas are delineated by sharp breaks in the topography that slope down to the arroyo corridors. Tree edges often correspond to the topographic breaks. In the absence of breaks in topography the edges of upper flatland/grasslands will occur along the line where slopes exceed 10 percent.
 3. Flatlands/Piñon Juniper. Upper flatland/piñon juniper are open level areas that are elevated above arroyos and covered by piñon and juniper. The edges of these areas are delineated by sharp breaks in the topography that slope down to the arroyo corridors. Tree edges often correspond to the topographic breaks. In the absence of breaks in topography the edge of upper flatland/piñon juniper will occur along the line where slopes exceed 10 percent.
 4. Hillside/Piñon Juniper. The hillside/piñon juniper land type includes the wooded hillsides that transition between the upper flatland areas and the arroyo corridor edges. They are delineated on the uphill side by the slope break or the 10 percent slope line that establishes the edge of the upper flatland land type. The downhill side is defined by the topographic break of the 10 percent slope line that delineates the arroyo corridor.
 5. Hillside/Grasslands. The hillsides/grassland land type includes the grassy hillsides that slope between the upper flatland areas and the arroyo corridor edges. They are delineated on the uphill side by the slope break or the 10 percent slope line that establishes the edge of the upper flatland land type. The downhill side is defined by the topographic break or the 10 percent slope line that delineates the arroyo corridor.
 6. Arroyo Corridors. Arroyo corridors are arroyos and the adjacent level areas that together form the level bottoms of the major drainage ways that pass through the district. Arroyo corridors extend on both sides of arroyos to the point that there is a distinct slope break between from the arroyo corridor and the adjacent hillside. If no distinct slope break exists the arroyo corridor shall be delineated by the 5 percent slope line at the base of the adjacent hillsides.
 7. Arroyo Hondo Corridor. The arroyo hondo is a special circumstance because of its broad width and rolling terrain without a clear slope break between the arroyo bottom and the

adjacent hillsides. The arroyo corridor in this area extends a minimum of 50 feet outside of the 100-year floodplain boundary.

8.10.3.7 District Development Standards. The development standards of Chapter 7 of this Code shall be applicable to all development, except as otherwise specified herein.

1. Off-site Improvements. The County may require developers, as a condition of approval, to enter into a development agreement pursuant to which the developer shall be required to pay a pro-rata share of future off-site improvements.
 - a. Advancement of Public Facilities and Services by Applicant. Advancement of public facilities and services by applicant shall be in accordance with Section **12.2.6**.
2. Development Performance Standards.
 - a. Building Design. Buildings of 15,000 sq. ft. or larger shall comply with the following:
 - i. Buildings of 15,000 sq. ft. to 24,000 sq. ft. shall be designed with a minimum of three distinct masses with four-foot vertical and horizontal offsets.
 - ii. buildings of 25,000 sq. ft. or larger shall have an additional two feet of vertical and horizontal offsets for each additional 5,000 sq. ft. of footprint.
 - iii. The maximum uninterrupted length of any facade shall be 50 ft.
 - b. Blocks. The maximum block length shall be 2000 feet.
 - c. Centers and Campuses. All buildings in centers and campuses shall comply with the following standards:
 - i. Such buildings shall be oriented to street or plaza.
 - ii. Parking and storage areas shall be located to rear and side of buildings.
 - d. Middle and High Schools. Such uses should be located at edge of village subdistricts or the Institutional Campus Subdistrict.
 - e. Open Space Village Separators.
 - i. Within the CCD district open space village separators are intended to accommodate a connective system of open space that will:
 - (a) Provide natural drainage systems, aquifer recharge channels, core wildlife habitat and corridors, important community views, and community recreational amenities;
 - (b) Provide a connective community trails network and community recreational amenities; and
 - (c) Define and buffer development areas.
 - ii. These open space village separators includes the north/south open space corridors that separate long linear village subdistricts into compact development areas with walkable centers. They are located on Arroyo Corridors and Mountains land types, and adjacent areas already designated as Open Space on plans and plats.
 - iii. The open space village separators shall be a minimum of 1000 feet in width at any point.
3. Landscaping and Buffering.
 - a. Buffers and landscaping for road frontages shall be provided as shown on the CCD Zoning Map or on the Road Cross-Sections.

- b. Street trees shall be provided every 500 linear ft. along mixed-use and living priority roadways, this number can be reduced by 50% if a tree is provided in the front yard of at last [at least] 50% of single-family lots accessing the road.
- c. Residential yards shall be required to use Xeriscape designs incorporating drought-tolerant and native vegetation to the maximum extent possible. Cool season turf will not be permitted. Areas to be used for recreation, parks, playfields, and plazas shall be excluded from this requirement.
- d. Industrial areas shall have installed effluent reuse lines for irrigation of community and commercial landscapes. Subject to acquisition of applicable State and Federal permits, irrigation of such areas shall be converted to non-potable water when a reliable source is available from a district wastewater treatment facility that meets all applicable standards and requirements.
- e. The following buffers shall apply for development within the CCD:
 - i. Buffers from road frontages shall be provided in as shown on the CCD Zoning Map;
 - ii. 150 feet from the I-25 ROW line; or, where a frontage road exists, 50 feet from the I-25 Frontage Road ROW line. This setback may be reduced to 25 feet with a landscaped buffer, berm and 4-foot masonry wall to screen parking on parcels where there is double frontage between SR 14 and the I-25 Frontage Road.
- f. No more than 50 percent of the trees shall be evergreen with the remainder being low water use deciduous shade trees.
- g. Evergreen trees shall be a minimum of 8 feet tall at time of planting. Deciduous trees shall be a minimum of 1-1/2 inch caliper and 6 feet tall at time of planting.

4. Parking and Loading.

- a. Minimum parking for residential uses shall be as follows:
 - i. For each detached dwelling unit, at least 2 off-street spaces shall be provided; and
 - ii. For each attached or multifamily dwelling unit, at least one assigned and 1/4 unassigned off-street spaces shall be provided.
- b. An applicant may propose a parking budget using shared parking, differential time use, one-stop multiple use, and on-street parking. Diagonal on-street parking may also be approved consistent with pedestrian safety.

5. Road Design Standards.

- a. Road Improvements. A Traffic Impact Analysis (TIA) is required in accordance with Chapter 6. If the TIA shows that the development increases the burden on existing public roadways or generates traffic that will exceed the capacity of an existing or proposed public roadway, the developer shall make such improvements or contribute a fair share of improvements required to increase the capacity of the public roadway to the acceptable level of service.
- b. Road Circulation and Design Standards. The following standards are applicable to all development in the CCD district:
 - i. Roadway circulation within the CCD district shall provide a network of roads that will integrate automobile traffic, pedestrian and other modes of transportation in a safe and controlled manner. Road networks shall be designed in such a way as to discourage high speed traffic.

- ii. Within each development, roadway circulation shall be interconnected as shown on the Circulation Map. The developer shall be required to construct any portion of the roadway necessary to maintain connectivity throughout the CCD district.
- iii. No-outlet roadways shall be used only to preserve open space contiguity or in cases that terrain does not allow connectivity. No-outlet roadways shall not exceed 300 feet in length and shall have a minimum 50-foot turnaround. If an applicant can show that a particular fringe or rural area is not wide enough to allow more than a single road without negatively affecting open space corridors or terrain, a no-outlet roadway may exceed the 300-foot maximum as determined by the Administrator, but in no case shall exceed 1,000 feet.
- iv. Roads shall not be gated.
- v. Roadways shall be laid out to intersect as nearly as possible at right angles.
- vi. Roadway networks shall be laid out to have the minimum number of intersections with state highways, arterials and traffic priority roads, consistent with sound engineering practice and the access needs for emergency and service vehicles.
- vii. When 2 roadway categories intersect, the intersection design shall be for the largest road category and shall be consistent with pedestrian safety.
- viii. Intersections and driveways shall be designed to meet the most current AASHTO standards (American Association of State Highway Transportation Officials, Policy on Geometric Design of Highways and Roads, latest edition) for sight distance. Clear sight triangles required by AASHTO shall be maintained.
- ix. Minimum distance required between driveways or road intersections are as specified in Table 8-20 below:

Table 8-20: Driveway and Intersection Separation	
DRIVEWAY AND INTERSECTION SEPARATION	
Roadway Classification (1)	Minimum Separation (feet), measured from the re-turn radius
Living	100
Mixed	125
Traffic	200

- x. The design standards for each class of roadway are the minimum standards. Increased pavement thickness, subgrade or base material, turning lanes, extra width at medians or other improvements may be necessary where projected traffic loads, type of traffic (trucks or heavy equipment, etc.) or soil conditions require a higher standard pursuant to AASHTO standards and the Manual on Uniform Traffic Control Devices (MUTCD).
- xi. When reviewing road designs and circulation plans, the Administrator shall consider whether the development's proposed circulation plan provides adequate overall capacity to meet the intent of the Community College (CCD) District Plan. Design details shall comply with the Institute of Traffic Engineer's Traditional Neighborhood Development: Street Design Guidelines for living priority and mixed priority roads and AASHTO or the Institute of Traffic Engineer's (ITE) Guidelines for Major Urban Street Design for traffic priority roads. Modification to these standards may be considered and approved administratively by the Administrator if sound technical evidence demonstrating effective alternatives is provided. Such evidence shall include but is not limited to engineering designs, drawings, studies and/or specifications.

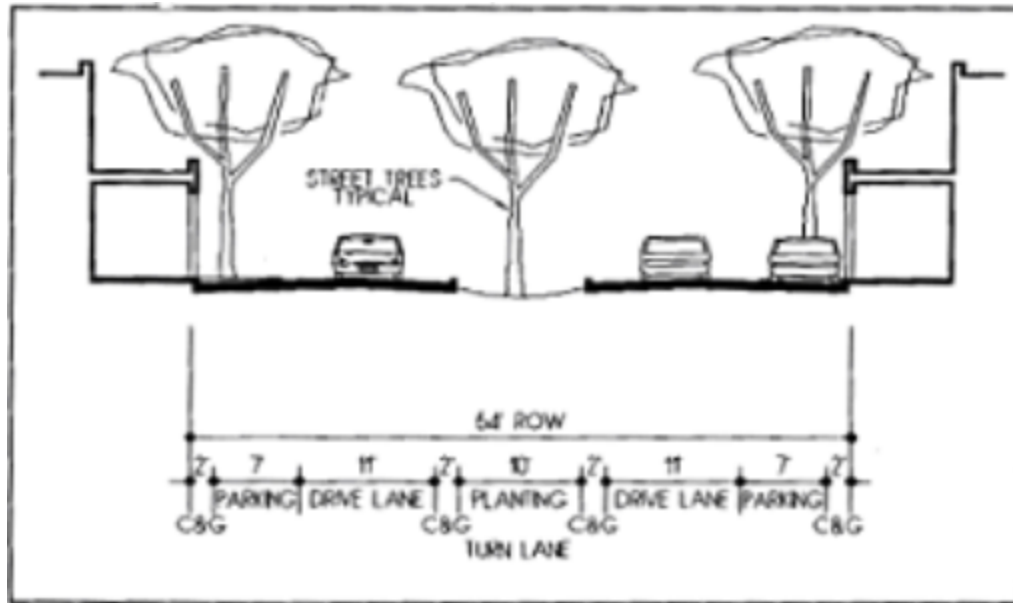
- c. Construction Standards. Any and all road construction shall conform to and comply with AASHTO standards, ITE guidelines, New Mexico State Highway and Transportation Department specifications and all applicable National codes. Construction standards shall be according to sound engineering practice as follows:
- i. Vertical and horizontal curves and the super-elevation of the horizontal curves shall conform to the requirements set forth in the AASHTO Standards.
 - ii. Vertical grade percentages shall not exceed eight percent (8%) for any roadway type. In order to minimize cuts and fills and the cutting of trees on steep and mountainous terrain which can lead to erosion problems and visual scars, the Code Administrator may allow a maximum driveway grade of fifteen percent (15%) with consideration for emergency access and maintenance and consistent with sound engineering practices for difficult terrain.
 - iii. Grades at the approach of intersections shall not exceed five percent (5%) for one hundred lineal feet (100') from the radius return of the intersection, excluding vertical curve distance.
 - iv. No horizontal road grade shall be less than one percent (1%).
 - v. Soil classification and subgrade conditions shall determine the base course thickness required. A minimum of six inches (6") of base course shall be required in all cases and more than six inches (6") may be required if soil conditions so indicate. Base course shall be compacted to no less than ninety-five percent (95%) of maximum density, according to methods specified by the AASHTO, T-180 modified moisture density test.
 - vi. Base course and sub-base aggregate shall meet the gradation requirements specified in Table 304, Class I, II or III, NMSHTD "Standard Specifications for Road and Bridge Construction."
 - vii. All mixed priority and traffic priority roads shall be paved. All living priority roads, except lanes, closes and alleys shall be paved. Lanes, closes and alleys shall be, at a minimum, base course. All roadways that require asphalt paving shall be paved to minimum of four inches (4") in depth.
 - viii. There shall be a minimum of three percent (3%) crown in the driving surface for water runoff.
 - ix. Adequate provisions for drainage shall be installed at all waterway crossings. Culverts shall also be sized to accommodate a twenty-five year (25 yr.) storm, with provisions to safely pass a one hundred year (100 yr.) storm. Culverts shall also be of sufficient gauge or thickness and length, and placed appropriately deep to withstand projected traffic loading and storm runoff. Where necessary to accommodate roadside drainage, driveways entering roads shall have eighteen inch (18") minimum diameter culverts installed so as not to impede flowing water. Driveways shall also be designed and constructed so as to prevent flowing water from entering onto or crossing the roadway.
 - x. Adequate road drainage shall be provided as shown in this Section. Notwithstanding other requirements of this Section, the Administrator may require curb and gutter whenever that is the best option for drainage control or to protect the safety of pedestrians and traffic.
 - xi. Pedestrian sidewalks are required as shown in the above road sections. All sidewalks shall conform to the Americans With Disabilities Act (ADA) Compliance Guide as amended. Notwithstanding other requirements of this Section, the Code Administrator may require sidewalks wherever needed to protect the safety of pedestrians due to the particular characteristics or location of the site. Sidewalks

shall be constructed of four inch (4") thick concrete. Other hard surface materials may be used if evidence is shown that the design is coordinated with streetscape and project design. Sidewalks shall not be located on the roadway surface or in a storm drainage.

- xii. All wet utilities shall be located under the roadway surface. All dry utilities shall be located in the prescribed utility easement or right-of-way, in a shared trench.
 - xiii. Pavement striping is required as shown in the above road sections in accordance with the MUTCD.
 - xiv. On-street parking is allowed as shown in the above road sections. xv. Curb radii minimum standards are shown in the above road sections. Where necessary, the County Fire Marshal may require that on-street parking, street trees, vertical curbs and other obstructions be restricted from being located on or near intersections with curb return radii of less than 20 feet, in order to allow emergency vehicles to drive over the curb return.
- d. Roadway Classifications. Roadways within the CCD district are classified in a hierarchy by function and are designed to accommodate the traffic integration and purpose for which the roadway is intended. Various portions of a road may be more than one type of classification in order to respond to surrounding development, topographic and land use context.
- i. Living Priority Roads. Living Priority Roads are slow speed roads that will comprise the majority of roads in the CCD district, even when high traffic volumes are present. The design priority is for the non-motorist. These roads have low design speeds, tight curb radii and narrow travel lanes to slow traffic speeds. Living priority roads vary greatly in character and are similar to or match "traditional neighborhood" engineering designs as defined by the Institute of Traffic Engineers. Living priority roads are found in the New Community Center, Neighborhood Center, Village Neighborhood, Existing Neighborhoods, Village Fringe, Institutional Campus, Employment Center, and Village Rural subdistricts.
 - ii. Mixed Priority Roads. Mixed Priority Roads are moderate speed roads that serve as transition areas between living priority and traffic priority roads and as internal links from one area to another within each village subdistrict. Design for mixed priority roads shall consider the safety and efficiency of non-motorists and motorists equally. These roads are usually found in Village Separators, but may be used in portions of Employment Center, Institutional Campus, and Village Rural subdistricts to transition between density clusters. Since mixed priority roads are used as transitions, their length does not generally exceed 2,500 feet.
 - iii. Traffic Priority Roads. Traffic Priority Roads are higher speed, long distance through roads primarily for efficient movement of motorists, but non-motorists shall also be safely accommodated. Traffic priority roads link village subdistricts and external regional roadways such as State Highway 14. Buildings do not generally front on traffic priority roads. These roads are usually found in Open Space Subdistrict and Village Separators Subdistrict.
 - iv. Road Ownership and Maintenance. Ownership and maintenance of all roads is to remain the responsibility of the developer, owner or designated Homeowners' Association. All roads designated as primary roads identified on the Circulation Map may be conditionally dedicated to Santa Fe County.
 - v. Road Sections. Road design sections for the CCD district are described below. Other road design options may be approved as long as the minimum standards of the CCD district and the intent of the Community College (CCD) District Plan are met.

e. Living Priority Roads Cross-Sections.

- i. Main Street. The main street design is urban in character and may be used for roads that traverse the center of a New Community Center Subdistrict, see Figure 8-2 and Table 8-21 below.

Figure 8-2: Main Street Cross-Section**Table 8-21: Main Street Standards**

LIVING PRIORITY: MAIN STREET CROSS-SECTION			
Design Speed	30 mph	Bike lanes	No
Travel lanes	2, with center turn lane	Median	10 foot minimum
Curb Radii	15 feet	Drainage	Curb and gutter
Striping	Centerline & turn lanes only	On-street parking	Both sides, parallel
Sidewalks	Both sides, minimum 6 feet wide		

- ii. Village Street. This design is urban in character and may be used throughout New Community Center, Neighborhood Center, Employment Center or Institutional Campus Subdistricts, see Figure 8-3 and Table 8-22 below.

Figure 8-3: Village Street Cross-Section

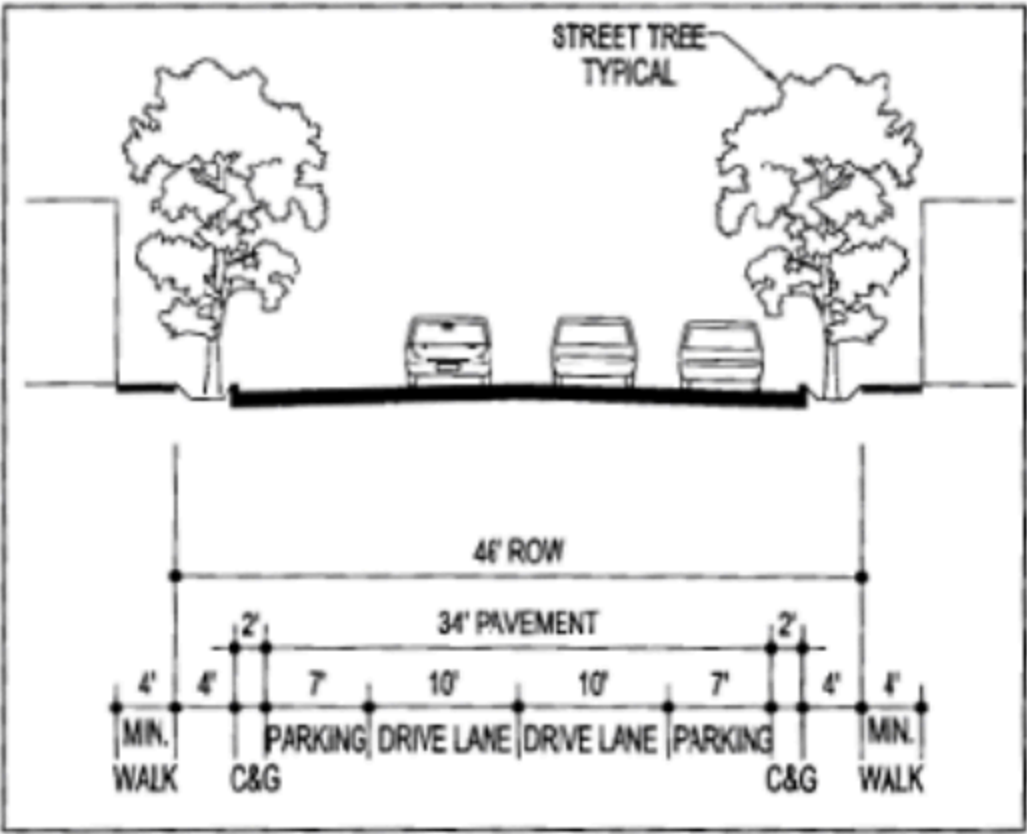


Table 8-22: Village Street Standards			
LIVING PRIORITY: VILLAGE STREET CROSS-SECTION			
Design Speed	30 mph	Bike lanes	No
Travel lanes	2	Median	No
Curb Radii	15 feet	Drainage	Curb and gutter
Striping	Centerline only	On-street parking	Yes, both sides
Sidewalks	Both sides, 4' minimum		

- iii. Neighborhood Street. This design is typical for Neighborhood or Neighborhood Center Subdistricts; it may be urban or rural in character. See Figure 8-4 and Table 8-23 below.

Figure 8-4: Neighborhood Street Cross-Section

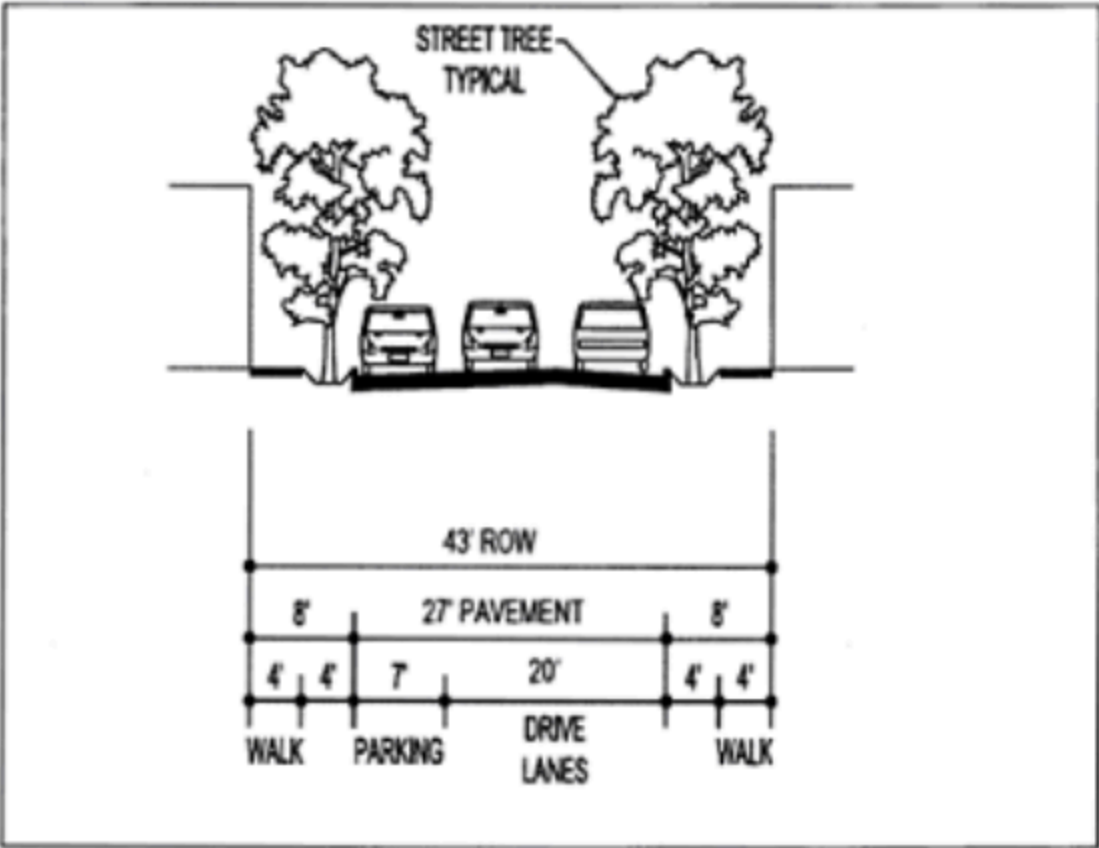


Table 8-23: Neighborhood Street Standards			
LIVING PRIORITY: NEIGHBORHOOD STREET			
Design Speed	25 mph	Bike lanes	No
Travel lanes	2	Median	No
Curb Radii	15 feet	Drainage	Curb and gutter or swale
Striping	Centerline	On-street parking	Yes, one or both sides
Sidewalks	One or both sides, 4' minimum		

- iv. Lane. This Section is suitable for low density Neighborhood, Fringe and Rural Subdistricts. See Figure 8-5 and Table 8-24 below.

Figure 8-5: Lane Cross-Section

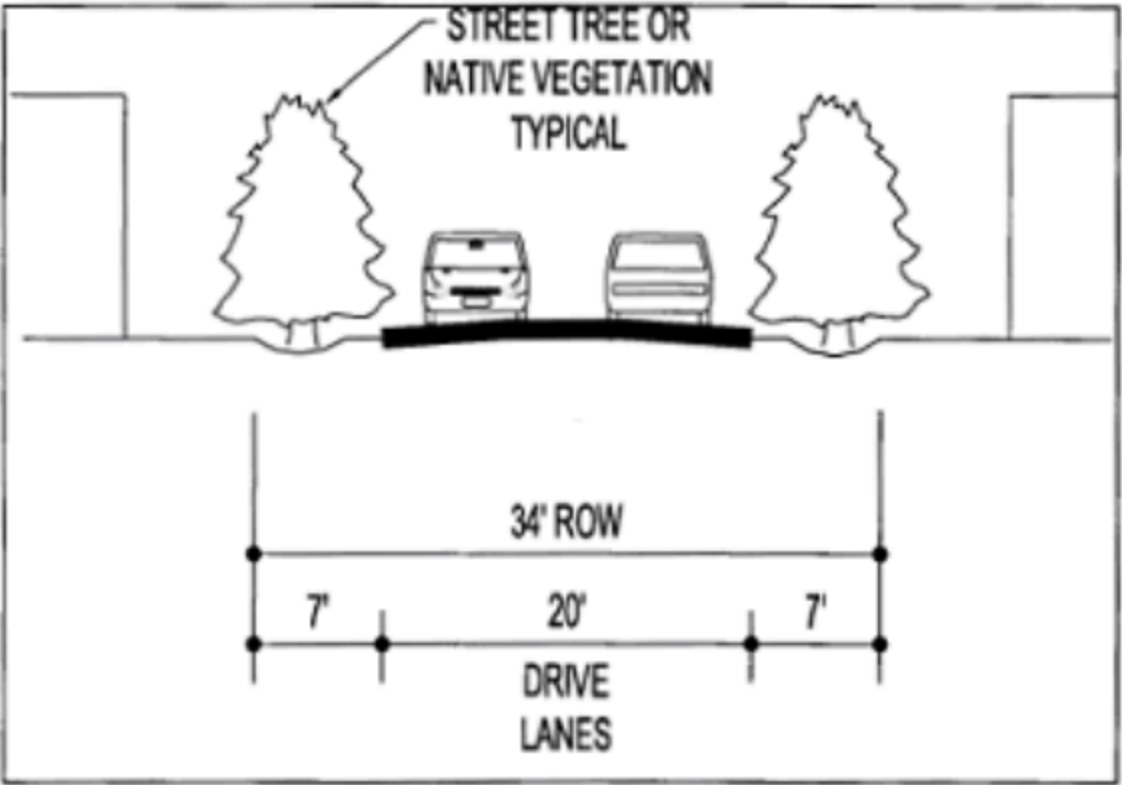


Table 8-24: Lane Standards			
LIVING PRIORITY: LANE			
Design Speed	25 mph	Bike lanes	No
Travel lanes	2	Median	No
Curb Radii	10 feet	Drainage	Swale
Striping	Centerline only	On-street parking	No
Sidewalks	Optional, may be “shared street”		

- v. Close. This Section is designed to be used in all village areas. A close is a road loop, used in place of 2 parallel dead-end roads. A close is typically less than 1,000 feet in total length. See Figure 8-6 and Table 8-25 below.

Figure 8-6: Close Cross-Section

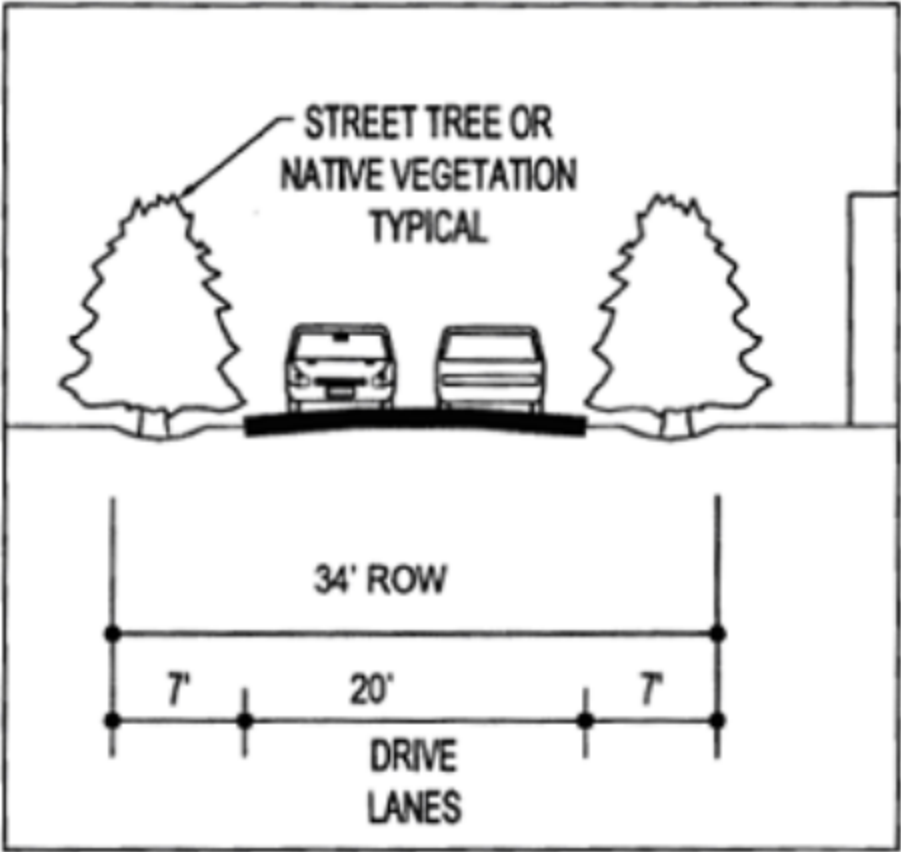


Table 8-25: Close Standards			
LIVING PRIORITY: CLOSE			
Design Speed	20 mph	Bike lanes	No
Travel lanes	2	Median	No
Curb Radii	10 feet	Drainage	Curb and gutter, swales, or inverted crown
Striping	No	On-street parking	No
Sidewalks	No		

- vi. Alley. Provides rear access for residential and commercial uses in high density areas such as Village Center, Neighborhood Center, Neighborhood, and Employment Center Subdistricts. Alleys must bisect an entire block[.] “L” type or dead-end alleys are not permitted. See Figure 8-7 and Table 8-26 below.
 Note: a 2-way alley is illustrated below; one-way alleys are also allowed.

Figure 8-7: Alley Cross-Section

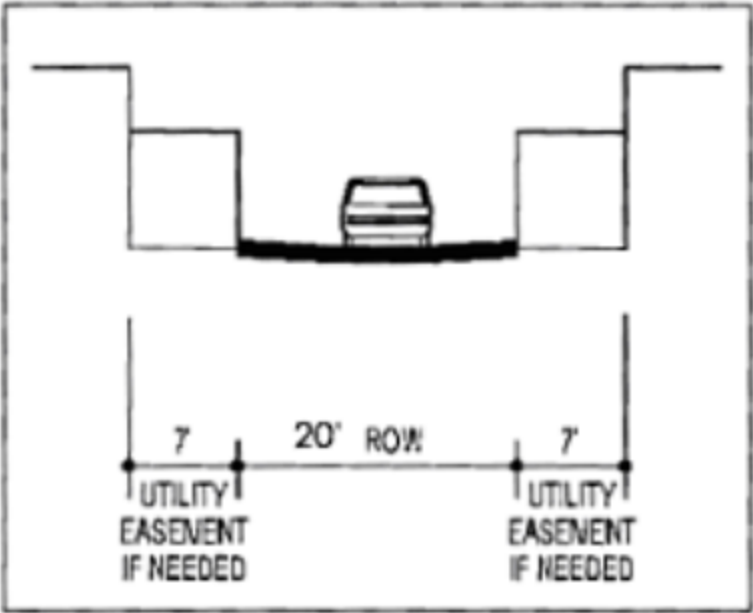


Table 8-26: Alley Standards			
LIVING PRIORITY: ALLEY			
Design Speed	10 mph	Sidewalks	No
Travel lanes	1-2	Bike lanes	No
Curb Radii	10 feet	Median	No
Striping	No	Drainage	Inverted crown
		On-street parking	No

- f. Mixed Priority Road Cross-Sections.
 - i. Split Rural Connector. Used in the Village Separator Subdistrict, these roads typically provide views of open space on one or both sides. See Figure 8-8 and Table 8-27 below.

Figure 8-8: Split Rural Connector Cross-Section

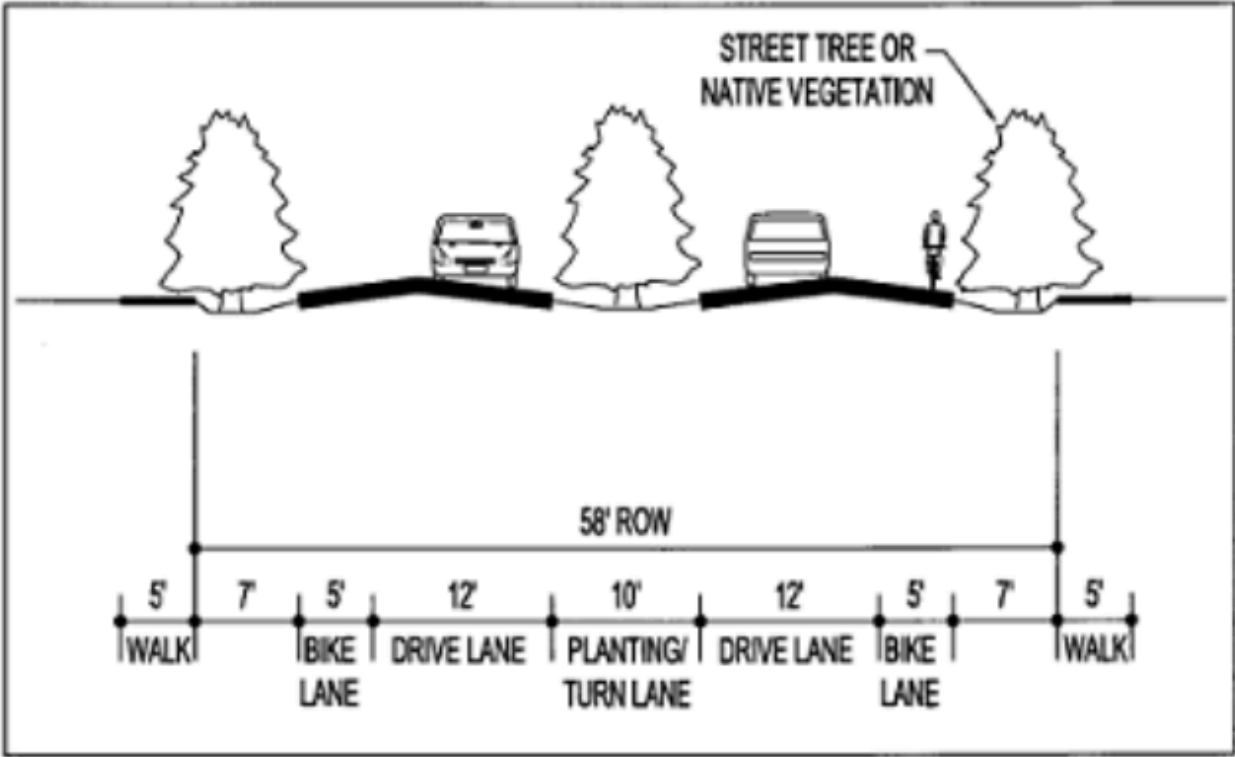


Table 8-27: Split Rural Connector Standards			
MIXED PRIORITY: SPLIT RURAL CONNECTOR			
Design Speed	30 mph	Bike lanes	Yes, both sides
Travel lanes	2 w/ center turn lane	Median	10 foot minimum
Curb Radii	20 feet	Drainage	Swales
Striping	Edgeline, both sides	On-street parking	No
Sidewalks	Yes, both sides		

- ii. Community Road. This Section may be used to transition between density clusters, in the Institutional Campus and Employment Center Subdistrict. It may also be used to connect one neighborhood to another. See Figure 8-9 and Table 8-28 below.

Figure 8-9: Community Road Cross-Section

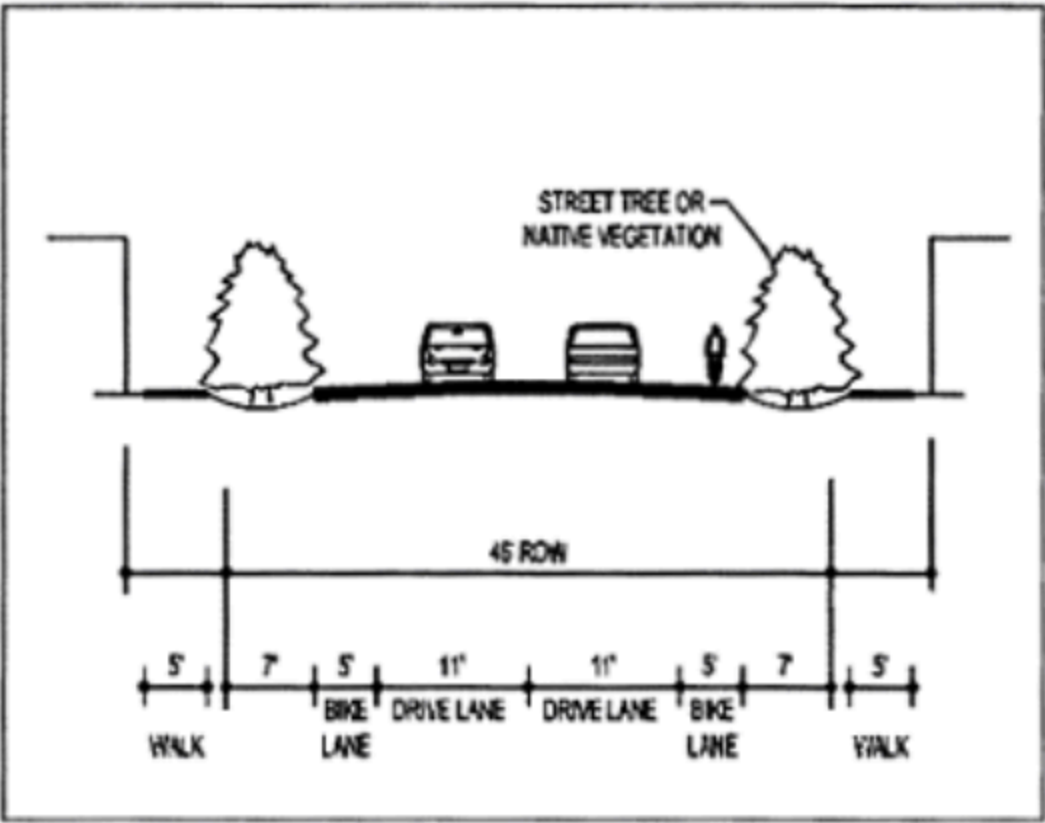


Table 8-28: Community Road Standards			
MIXED PRIORITY: COMMUNITY ROAD			
Design Speed	20 mph	Bike lanes	Yes
Travel lanes	2	Median	Optional*
Curb Radii	15 feet	Drainage	Curb and gutter or swales
Striping	Centerline	On-street parking	Optional*
Sidewalks	Yes, one or both sides*		

*May increase right-of-way width

- g. Traffic Priority Road Cross-Sections.
 - i. Split Lane Rural Highway. The preferred design for traffic priority roads, it provides views of open space on both sides of the road. See Figure 8-10 and Table 8-29 below.

Figure 8-10: Split Lane Rural Highway Cross-Section

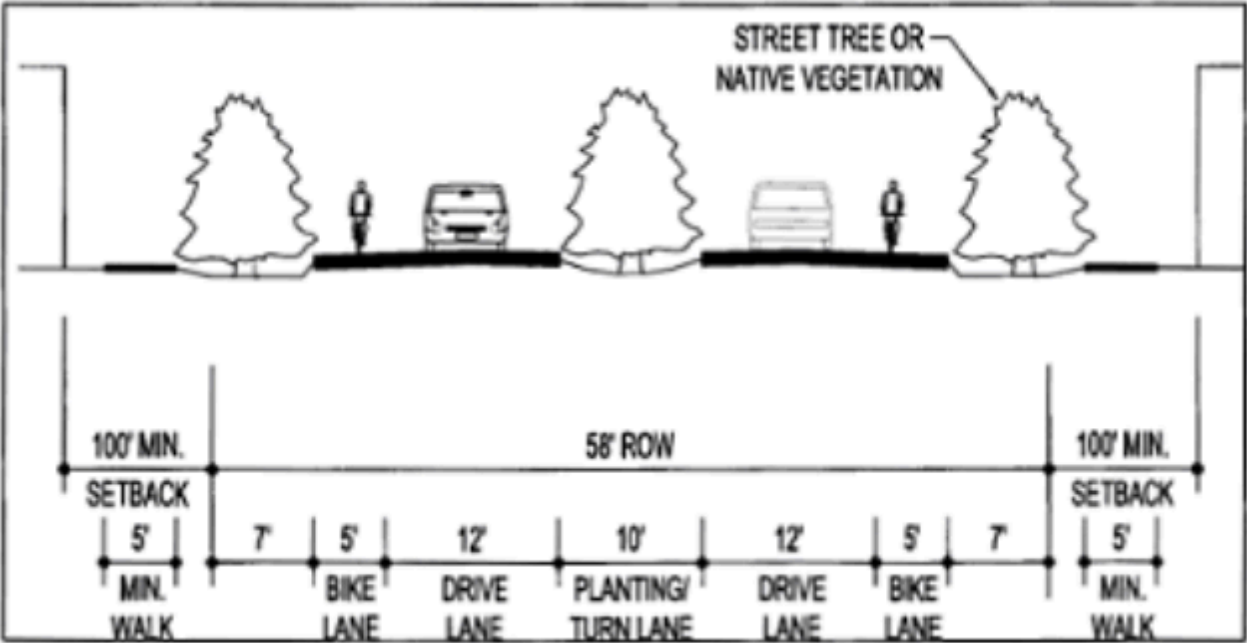


Table 8-29: Split Lane Rural Highway Standards			
TRAFFIC PRIORITY: SPLIT LANE RURAL HIGHWAY			
Design Speed	40 mph	Bike lanes	Yes
Travel lanes	2 w/ center turn lane	Median	10 foot minimum
Curb Radii	30 feet	Drainage	Swales
Striping	Edgeline, both sides	On-street parking	No
Sidewalks	Trail, on 1 or 2 sides		

- ii. Village Connector Highway. Used in areas when a split lane rural highway may not be possible due to steep terrain or the presence of mature vegetation. See Figure 8-11 and Table 8-30 below.

Figure 8-11: Village Connector Highway Cross-Section

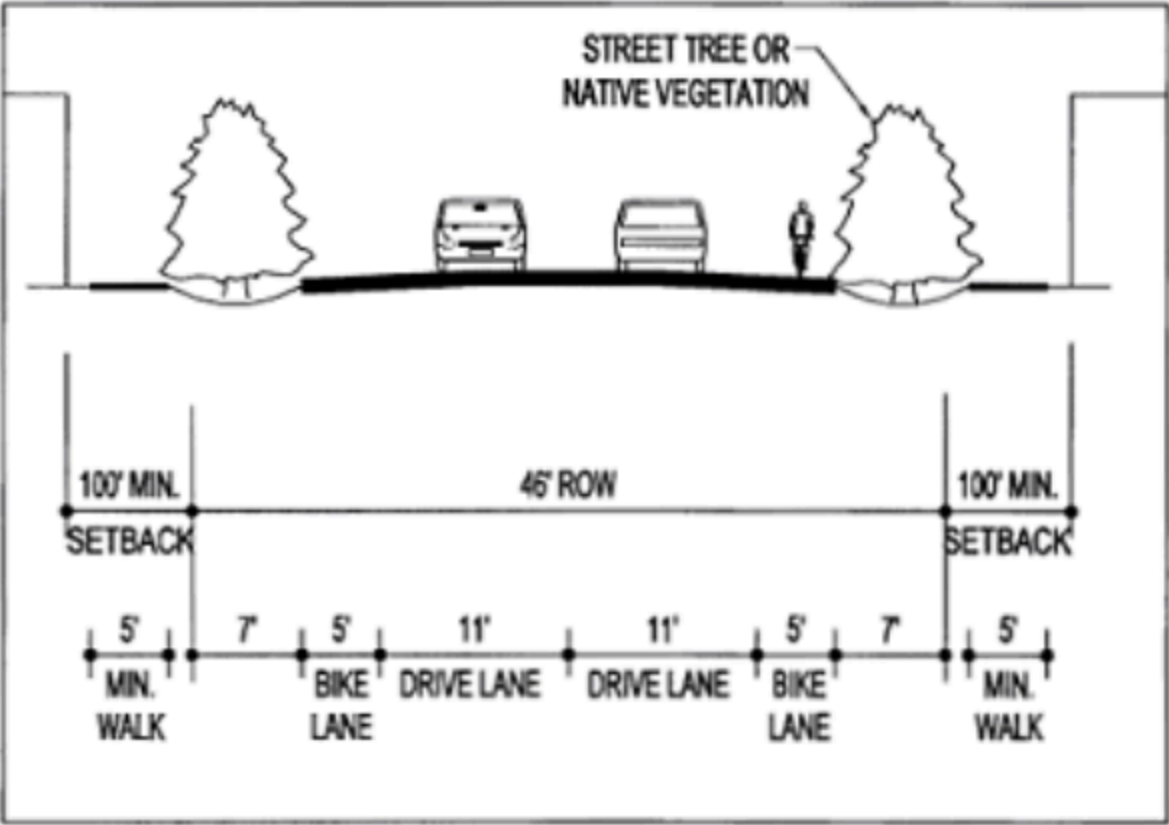
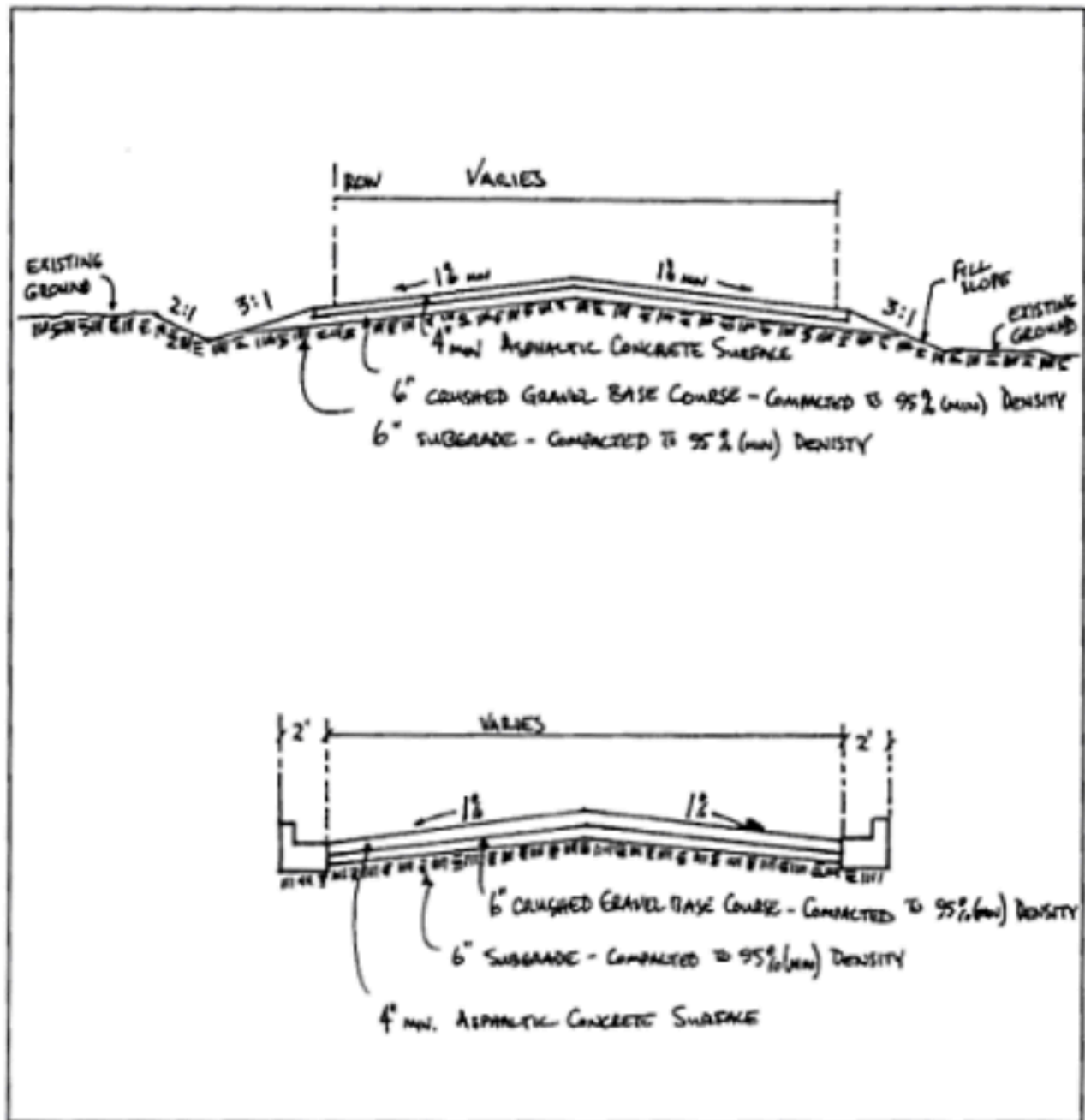


Table 8-30: Village Connector Highway Standards			
TRAFFIC PRIORITY: VILLAGE CONNECTOR HIGHWAY			
Design Speed	35 mph	Bike lanes	Yes
Travel lanes	2	Median	No
Curb Radii	25 feet	Drainage	Swales
Striping	Yes	On-street parking	No
Sidewalks	Trail, on 1 or 2 sides		

- h. Typical Cross-sections. Typical road cross-Sections are illustrated below in Figure 8-12.

Figure 8-12: Typical Road Cross-Sections



6. Open Space. Subdivisions in the CCD district shall comply with the park and open space requirements of Section 7.15 (Open Space), except as modified in this Subsection; provided, however, this Section shall not apply in the Existing Neighborhoods Subdistrict.

a. General.

- i. Minimum open space: 50 percent of total land area for development.
- ii. The following property may be considered open space for the purpose of meeting the 50 percent requirement:
 - (a) Open space identified on the Zoning Map shall be common or public open space;
 - (b) Common or Public Parks and Plazas;
 - (c) Trails allowing public access and connecting to the District Trail System;
 - (d) Public trailheads;

- (e) Archaeological easements;
 - (f) Setbacks required by this Section or other Ordinances; or
 - (g) In village subdistricts, private open space up to 15 percent of total residential floor area shall be counted if it is physically contiguous or separated only by road or trail features from adjacent open space and is not enclosed by fences, walls or other structures.
- iii. Open space shall be dedicated or reserved on the final plat. Open space may be dedicated on property not contiguous to the area for which the applicant is seeking subdivision approval where all of the following circumstances exist:
 - (a) Open space adjacent to or within the proposed development is not feasible or has already been dedicated as part of another development phase;
 - (b) The continuous property is within property designated as open space on the Zoning Map; and
 - (c) The proposed open space dedication is contiguous to other lands dedicated as open space.
- b. Parks, Plazas and Trails.
 - i. Purpose. Parks and plazas are intended to provide a variety of recreational facilities and improvements. Trails are intended to provide an equestrian, bicycle, and pedestrian transportation system.
 - ii. Applicability. The park, plaza, and trail standards of this Subsection shall apply to all development within the CCD district, except in the Existing Neighborhood Subdistrict.
 - iii. General.
 - (a) Parks, plazas or trails must be dedicated or reserved on the Site Development Plan or Final Plat;
 - (b) Submittal of plans or plats showing the location of parks, plazas, and trails shall be accompanied by the following;
 - (i) An improvement plan showing trail Sections, building materials, and trailhead improvements, and required improvements as set forth in the Park/Plaza Table in this Subsection;
 - (ii) A landscaping and irrigation plan; and
 - (iii) A maintenance plan.
- c. Park Categories.
 - i. Plaza. Plazas are developed community gathering areas, including seating, walks, shade trees and landscaping.
 - ii. Community Park. Community Parks are developed active recreational areas including: open play fields, seating or picnic facilities, walks, and trees. Public-accessible school play fields meeting minimum size requirements may be used to meet this requirement. No night lighting shall be allowed. Such land area should range between 3 and 5 acres. One park is needed for each neighborhood or village subdistrict of up to 1000 dwellings; a larger community park might serve an entire village subdistrict of up to 1500 dwellings.
 - iii. Neighborhood Park. Neighborhood Parks are to be developed quiet activity parks, including toddler play facilities, seating, walks, and trees. Such land area

should range from 0.25 to 1.0 acres minimum.

- iv. Passive Park Alternative. Passive Parks may be provided as an alternative to a Community Park, provided, that passive parks must be a minimum of 10 acres, with 10 percent of the park developed with seating or picnic facilities, walks and shade trees. The developed portion of a park can be an aggregate of several developed areas within the park. Trails are not considered development.
- v. District Park. District Parks may include, but are not limited to, multi-use play fields, soccer fields, ball fields, parking, and hard courts. Night lighting is allowed. Large-scale recreational fields on Institutional Campuses may fulfill this requirement if accessible for public use.
- d. Park and Plaza Standards. Standards for parks and plazas are set forth in Table 8-31 below:

Table 8-31: Park and Plaza Standards								
PARKS AND PLAZA STANDARDS								
Allowable Locations	Subdistricts							
	Employment Center Zone	Institutional Campus	New Community Center	Neighborhood Center	Neighborhood	Village Fringe	Village Separators	Village Rural
Plaza	Required .33-1.0 Ac.	Required .33-1.0 Ac.	Required .75-1.0 Ac.	Required .33-1.0 Ac.				X
Community Park (1)	X	X	Alternate location	Alternate location	Required 3-6 Ac.	Alternate location	Alternate location	
Neighborhood Park (2)	X	X	X	X	Required .25-1.0 Ac.			X
Passive Park (3)	X	X			X	X	X	X
District Park (4)	X	X			X			
Notations: (1) Required, one per neighborhood can be placed adjacent in alternate locations as noted on matrix. (2) Required, one within 1000 ft. of each residence in neighborhood. (3) Alternate to Community Park. (4) Recommended (1) per 5000 dwelling units. Required = Required minimum one per zone. Alternate = Alternate location for required park. X = Option per development								

- e. Substitution for Acreage Requirements. The following may be counted in the acreage calculation for parks:
 - i. Active recreation areas on school sites and on other institutional sites may be counted as parks if accessible to the public.
 - ii. Land for trails does not count towards the acreage required for parks. Land for trailheads does count toward the acreage required for parks.
 - iii. Community gardens and recreational facilities count toward the required acreage for parks.
- f. General Landscaping Requirements.

- i. Unpaved areas of parks and plazas shall be revegetated with native grasses or native wildflowers (turf grasses may be required for active recreation or high traffic areas only), and planted with shrubs, or a combination thereof.
 - ii. All non-native plant materials in parks and plazas shall be irrigated by a permanent automated irrigation system. All native plant materials shall be irrigated for a 3-year period or planted with permacultural methods to minimize irrigation.
- g. Trail Categories.
- i. District Trails. District Trails are the district-wide connective trail systems. District trails are an alternative transportation system. They connect the village subdistricts, Employment Center and Institutional Campus Subdistricts. District Trails are shown on the CCD Circulation Map. District Trails shall be designed for pedestrian, bicycle and equestrian use. Site development plans, Conceptual site development plans and subdivision plats shall show District Trails in the approximate locations shown on the CCD Circulation Map.
 - ii. Village Trails. Village Trails are the main trails connecting the centers of the village subdistricts, the Employment Center Subdistrict and Institutional Campus Subdistrict to the District Trail system. These are to be identified at the Preliminary Plat submittal. At a minimum, Village Trails shall be designed for pedestrian and bicycle use.
 - iii. Local Trails. Local Trails are the secondary trails connecting the Village Neighborhood Subdistrict, Neighborhood Center Subdistrict, Village Fringe Subdistrict or Village Rural Subdistrict to the Village and District Trails network. These are to be identified at the Preliminary Plat submittal. At a minimum, Local Trails shall be designed for pedestrian and bicycle use.
 - iv. Equestrian Trails. If additional equestrian trails are provided they shall be identified at the Preliminary Plat submittal.
- h. Trail Standards. Trail standards are set forth in Table 8-32 below:

Table 8-32: Trail Standards			
TRAIL STANDARDS			
Trail Category (1)	Minimum Trail Width	Min. Easement Width	Min. Surface Required
District Trail	8	20	Natural Soil
Village Trail	6	20	4" Base Course or 3" Paved
Local Trail	5	15	4" Base Course
Equestrian Trail (2)	5	15	Natural Soil

Notes: (1) Trails shall be established as public easements and shall be subject to reasonable notes and regulation. Trails may be located within the 100-year floodplain. (2) Except for District Trails, Equestrian Trails should be separate from other trails. (3) Subgrade surfaces for proposed trails shall be treated for weed control.

7. Terrain Management. The CCD is intended, in part, to provide opportunities for water harvesting, recharge, recycling and reuse of runoff and wastewater flows.
- a. Terrain Management Standards.
 - i. Approved silt control measures shall be in place prior to the start of construction and shall remain until landscaping and revegetation is in place.
 - ii. Grading shall be kept to within 15 feet of development except as otherwise approved on the development plan.

- iii. Areas disturbed by construction shall be revegetated within one year of completion of construction.

b. Stormwater Management.

- i. Stormwater conveyance systems shall use methods that maximize infiltration and do not erode soil. The maximum flow rate from the developed area shall not exceed the historic pre-development flow rates. Conveyance systems that meet this requirement include, without limitation, shallow-sloped, gravel-filled trenches and grass swales with in-line check dams, or other such systems as may be determined by the Administrator for the flow rate being managed.
- ii. Retention and detention ponds or other proposed drainage structures shall be located downstream from the stormwater source to allow for positive drainage and erosion control.
- iii. The entire length of the stormwater management system (including conveyance and detention) shall be used for infiltration.
- iv. Stormwater control devices shall be located as close to the stormwater source as possible, except where impractical due to lot size and density. Control devices should include, without limitation, stormwater harvesting and irrigation to limit stormwater velocity and volume.
- v. Stormwater control devices shall be designed to detain stormwater to maximize infiltration while accommodating a possible stormwater event the next day. Such design shall make allowance for the accumulation of silt.
- vi. Drop inlets, catchbasins and piped systems shall be avoided when practical. Where used, such facilities shall have downstream stilling basins or energy dissipaters to slow stormwater velocity and minimize erosion.
- vii. A National Pollution Discharge Elimination System permit shall be provided, if applicable.

8.10.3.8 CCD Subdistricts Established. The following subdistricts in Table 8-33 are hereby established and approved for use in the PD-CCD district:

Table 8-33: CCD Subdistricts	
CCD-V	Village Zone
CCD-NCC	New Community Centers
CCD-NC	Neighborhood Centers
CCD-VN	Village Neighborhoods
CCD-EC	Employment Center
CCD-IC	Institutional Campus
CCD-M	Media District
CCD-RUR	Community College Rural
CCD-F	Community College Fringe
CCD-EN	Existing Neighborhoods

8.10.3.9 Village Subdistricts Development Standards (CCD-V). Village subdistricts are development areas where the most intense uses are clustered within the New Community Center and Neighborhood Center Subdistricts. Village subdistricts are further delineated by the Village Separators Subdistrict that generally runs north/south and defines and separates village areas.

1. General. Development is allowed in the village subdistricts on flatland areas and adjacent areas in accordance with applicable requirements of this Section and the following sustainable development requirements:
 - a. Each phase of a village subdistrict must include both residential and nonresidential development;
 - b. A variety of housing types and household income levels shall be integrated within each village subdistrict;
 - c. 75 percent of dwellings are located on south facing slopes and designed to use passive solar gain;
 - d. Development is tightly structured (generally of more than one story) and pedestrian-oriented with inner areas free of roads and parked vehicles; and
 - e. Structures are energy efficient (passive solar gain, energy efficient appliances, recycled building materials, nontraditional electric energy sources).
2. Open Space, Plazas, Parks and Trails. Private open space shall be provided equal to a minimum of 15 percent of total residential floor area.
3. Village Zone Dimensional Standards. The dimensional standards in Table 8-34 below shall apply in the Village Zone:

Table 8-34: Dimensional standards - CCD Village Zone (V)	
Subdistrict	VILLAGE (CCD-V)
Density with community water and community sewer	Minimum of 3.5 DU per acre
Lot Size - Residential	1500 sq. ft.
Setback	No minimum

8.10.3.10 New Community Centers Subdistrict Development Standards (CCD-NCC). The New Community District subdistrict is intended to accommodate compact mixed use, with the highest density possible in relation to design standards, and a variety of housing choices. Civic, community, commercial, retail and services for the CCD district are to be concentrated in the New Community Center Subdistrict.

1. General. The New Community Center Subdistrict shall be located in Flatlands/Grasslands or Flatlands/Piñon Juniper land types, and within 1/2 mile walking distance of any residence of the neighborhood it serves. Development shall be in accordance with applicable requirements of this Section and the following sustainable development requirements:
2. Parking and Loading. The parking budget may include on-street parking, shared parking, one-stop multiple use.
3. Blocks. The maximum block length shall be 2000 feet.
4. Buffers. The New Community Center Subdistrict shall be located outside of required buffer areas.
 - a. The maximum size of a NCC is 60 acres.
 - b. Residential uses shall constitute a minimum of 50 percent of gross square footage.
 - c. A mix of housing types is required, including single-family and multifamily.
 - d. The New Community Center Subdistrict shall be the location and focus of retail, office and service uses and major civic and public uses within the CCD district.

- e. New Community Center Subdistricts shall be located on a primary district road with potential transit connections. Roads, open space and walkways connect to surrounding village subdistricts.
5. New Community Center Subdistrict Dimensional Standards. The dimensional standards in Table 8-35 below shall apply in the New Community Center:

Table 8-35: Dimensional standards - New Community Center (CCD-NCC)	
Subdistrict	CCD-NCC
Density with community water and community sewer	Minimum of 3.5 DU per acre
Lot size - Residential	1500 sq. ft. min
Height (maximum, feet)	36 ft. with 42 ft. allowed up to 25% of footprint
Setback	No minimum

8.10.3.11 Neighborhood Centers Subdistrict development standards (CCD-NC). The Neighborhood Center Subdistrict is less intense than the New Community Center Subdistrict, and intended to allow mixed uses providing services to surrounding neighborhoods.

1. General. The Neighborhood Center subdistrict shall be located on Flatlands/Grasslands and Flatlands/Juniper. The Neighborhood Center subdistrict shall be located within village subdistricts, Employment Center Subdistricts, and Institutional Campus subdistricts, and within 1/2 mile (walking distance) of any residence of the neighborhood it serves. Development shall be in accordance with applicable requirements of this Section and the following sustainable development requirements:
 - a. The minimum size of a NC is 3 acres, there is no maximum size on a NC.
 - b. Residential uses shall constitute a minimum of 50 percent of gross square footage.
 - c. Mix of housing types is required, including single-family and multifamily.
 - d. Commercial, industrial and civic/Public buildings shall be oriented to the surrounding neighborhoods.
 - e. Living priority roads are required. Roads, open space and walkways shall connect to surrounding village subdistricts.
2. Buffers. The Neighborhood Center Subdistrict shall be located outside of required buffer areas.
3. Neighborhood Center Density and Dimensional Standards. The dimensional standards in Table 8-36 below shall apply in Neighborhood Center:

Table 8-36: Dimensional standards - Neighborhood Center (CCD-NC)	
Subdistrict	CCD-NC
Density with community water and community sewer	Minimum of 3.5 DU per acre
Lot size - Residential	1500 sq. ft. min
Height (maximum, feet)	24 ft.
Height within 500 ft. of perimeter of plaza	30 ft. with 36 ft. allowed for up to 25% of building footprint
Setback	No minimum

8.10.3.12 Village Neighborhood Subdistrict Development Standards (CCD-VN). The Village Neighborhood Subdistrict is intended for application to village subdistrict lands outside of the Village Center and Neighborhood Center Subdistricts where residential uses predominate. The

Village Neighborhood Subdistrict may have distinct identities based on location, natural landscape, design theme or the nature of the adjacent neighborhood center.

1. General. The Village Neighborhood subdistrict is appropriate for Flatlands/ Grasslands and Flatlands/Piñon Juniper land types, and shall be located within a village subdistrict outside of the New Community Center Subdistrict and Neighborhood Center Subdistrict. Development shall be in accordance with applicable requirements of this Section and the following sustainable development requirements:
 - a. There is no minimum or maximum size on a VN.
 - b. A mix of housing types is required, including single-family and multifamily.
 - c. Nonresidential and civic/Public uses shall be small scale and neighborhood oriented.
 - d. Living Priority Roads are required.
2. Village Neighborhood Density and Dimensional Standards. The dimensional standards in Table 8-37 below shall apply in the Village Neighborhood Zone:

Table 8-37: Dimensional Standards - Village Neighborhood (CCD-VN)	
Subdistrict	CCD-VN
Density with community water and community sewer	Minimum of 3.5 DU per acre
Lot size - Residential	1500 sq. ft. min
Height (maximum, feet)	24 ft.
Setback	No minimum

8.10.3.13 Employment Center Subdistrict Development Standards (CCD-EC). The Employment Center Subdistrict is intended to accommodate mixed uses, where large-scale employers, anchor businesses and light industry can locate in support of New Community Center Subdistrict development. Businesses with special needs for access; buffering for visual, noise or other impacts; technology; storage and size can located in the Employment Center Subdistrict. The Employment Center Subdistrict provides a concentrated planned multi-use environment for light industrial and business uses. Retail uses may be included as necessary to support the needs of anchor employees.

1. General. The Employment Center Subdistrict shall be located on Flatlands/ Grasslands and Flatlands/Piñon, Juniper land types, provided housing opportunities and a New Community Center Subdistrict are located within one mile. Development shall be in accordance with applicable requirements of this Section and the following sustainable development requirements:
 - a. There is no minimum or maximum size on a EC.
 - b. Each phase of development in a multi-phase project may include mixed use.
 - c. [Reserved.]
 - d. Living or Mixed Priority Roads are required and shall include direct primary road connection to a New Community Center with potential transit connections.
 - e. The Neighborhood Center Subdistrict may be utilized and located within the Employment Center Subdistrict.
2. Parking and Loading. Parking shall be designed around internal pedestrian walkways, with parking in a series of small parking areas.
3. Open Space, Parks, Plazas and Trails. District, Village and Local trails are required to connect the Employment Center Subdistrict to the CCD district trail system.

4. Building design. Feature buildings shall provide a focal point for each Employment Center Subdistrict and adjacent neighborhoods.
5. Employment Center Density and Dimensional Standards. The dimensional standards in Table 8-38 below shall apply in the Employment Center Zone.

Table 8-38: Dimensional Standards - Employment Center (CCD-EC)	
Subdistrict	CCD-EC
Density with community water and community sewer	Minimum of 3.5 DU per acre
Lot size - Residential	1500 sq. ft. min
Height (maximum, feet)	30 ft. with 36 ft. allowed for up to 25% of building footprint
Setback	No minimum

8.10.3.14 Institutional Campus Subdistrict Development Standards (CCD-IC). The Institutional Campus Subdistrict is a mixed-use subdistrict that is reserved for large civic and public uses and to allow a concentration of facilities and room for flexibility and growth. The anchor institutional use is a large civic or public institution for which the campus is created.

1. General. The Institutional Campus Subdistrict shall be located on Flatlands/ Grasslands and Piñon/Juniper land types as shown on the Zoning Map. Development shall be in accordance with applicable requirements of this Section and the following sustainable development requirements:
 - a. The minimum size of an IC is 5 acres. The maximum size of an IC is 100 acres.
 - b. Residential, commercial and industrial uses must be accessory to the anchor institutional use.
 - c. Neighborhood Center Subdistricts may be located within the Institutional Campus Subdistrict.
 - d. Living or Mixed Priority Roads are required and shall include direct primary road connection to an Institutional Campus with potential transit connections.
 - e. Each phase of development in a multi-phase project shall include mixed use, unless the EC complies with Section 8.10.9.3.3.9 [sic] of this SLDC.
 - f. A mix of housing types appropriate to the characteristics of the Employment Center Subdistrict shall be required, including single-family and multifamily.
 - g. The Neighborhood Center Subdistrict may be utilized and located within the Institutional Campus Subdistrict.
 - h. Commercial and residential uses support the anchor institution and its users, but are subordinate in design and size. Without the anchor institution, no other uses are allowed in this subdistrict.
2. Parking and Loading. Parking shall be designed around internal pedestrian walkways, with parking in a series of small parking areas.
3. Open Space, Parks, Plazas and Trails. District, Village and Local trails are required to connect and Institutional Campus Subdistrict to the CCD district trail system.
4. Building design. Feature buildings shall provide a focal point for each Institutional Campus Subdistrict and adjacent neighborhoods.
5. Phasing. The first phase of the anchor institution must be built prior to or in conjunction with all other buildings.

6. Institutional Campus Density and Dimensional Standards. The dimensional standards in Table 8-39 below shall apply in the Institutional Campus Zone.

Table 8-39: Dimensional Standards - Institutional Campus (CCD-IC)	
Subdistrict	CCD-IC
Density with community water and community sewer	Minimum of 3.5 DU per acre
Lot size - Residential	1500 sq. ft. min
Height (maximum, feet)	30 ft. with 36 ft. allowed for up to 25% of building footprint
Setback	No minimum

8.10.3.15 Media Subdistrict Development Standards (CCD-M). The Media Subdistrict creates a specific district within the Santa Fe Community College District where a variety of media businesses, including the film industry, publishing industry and broadcast media, can be located to accommodate and support the special needs of such uses. The Media Subdistrict is intended to facilitate media uses and media-related uses in a functional and pedestrian friendly development.

1. General. The Media Subdistrict shall be located on Flatlands/Grasslands, Flatlands/Piñon, juniper land types in the location identified on the CCD Zoning Map. Development shall be in accordance with applicable requirements of this Section and the following development requirements:
 - a. No requirement for residential use.
 - b. Uses shall be oriented to a street or plaza.
 - c. Feature buildings shall provide a focal point for the center and adjacent neighborhoods.
2. Building Design. Building massing should incorporate vertical and horizontal offsets as well as architectural detailing that articulation as well as visual and tactile relief.
3. Roads.
 - a. Perimeter Service Roads are permitted and shall be shown on final development plan.
 - b. Direct Primary District road connections to new Community Center with potential transit connections.
 - c. Direct primary District roads, open space and walkways connect to surrounding Village Zone and Fringe.
4. Open space.
 - a. Trails shall be provided along primary District Road Connections to new Community Center and Village Zones.
 - b. Private Open Space to include Community Center walkways and Plaza within secured perimeter.
5. Media Subdistrict Density and Dimensional Standards. The dimensional standards in Table 8-40 below shall apply in the Media Zone.

Table 8-40: Dimensional standards - Media Subdistrict (CCD-M)	
Subdistrict	CCD-M
Height (maximum, feet)	36 ft.

Table 8-40: Dimensional standards - Media Subdistrict (CCD-M)

Subdistrict	CCD-M
Height for Media Special Needs Structures	80 ft.
Height for Ancillary Media Special Needs Structures	48 ft. with 60 ft. allowed for up to 40% of building footprint
Setback	No minimum

8.10.3.16 Community College Fringe Subdistrict Development Standards (CCD-F). The Community College Fringe Subdistrict is intended for hillsides, which are more sensitive to development. Residential and nonresidential development shall be sited and designed to blend into the Fringe and protect the character of the land. Developed Community College Fringe Subdistrict lands shall be designed with minimal disturbance as lower density additions to village subdistricts, Employment Center Subdistrict or Institutional Campus subdistrict.

1. General. The Community College Fringe Subdistrict is located on Hillside/ Grasslands and Hillside/Piñon Juniper land types; and the slopes that transition between Flatlands and Arroyo Corridors as shown on the Zoning Map.
 - a. There is no minimum or maximum size on a EC.
 - b. Lands not developed shall remain Open Space Subdistrict or Village Separator Subdistrict.
 - c. Development in the Community College Fringe Subdistrict shall be permitted to occur only after or simultaneously with development in the adjacent village subdistricts, Employment Center Subdistrict and Institutional Campus Subdistrict.
 - d. Clustering of development is required; minimum residential density in each development shall be 1.0 dwelling units per gross acre. Such density may be clustered up to 4 dwelling units per gross acre.
 - e. Living or Mixed Priority Roads are required. Roads, open space and walkways shall connect to neighboring subdistricts.
 - f. Commercial, industrial, civic and public uses may be allowed on flatlands as an extension of adjacent nonresidential development.
 - g. A minimum of 50 percent of gross square footage must be residential use.
2. Buildings.
 - a. Buildings shall step down hillsides to appear as a continuation of building clusters on the Flatlands.
 - b. Building pads shall be close to natural grade; on steeper slopes this may require that buildings step (up or down) with the natural grade or be built as separate structures to fit the natural grade.
 - c. Mass grading of multiple building sites shall be avoided and grading contained within individual building envelopes.
 - d. Nonresidential buildings shall parallel hillsides and parking shall be separated and placed at different elevations to prevent overlot grading.
3. Open Space, Parks, Plazas and Trails.
 - a. Map and protect significant trees.
 - b. Private open space is not required in the Community College Fringe Subdistrict.

- c. Village and Local trails required connecting to CCD District trails and adjacent village subdistricts. Equestrian trails are optional.
 - d. The Community College Fringe Subdistrict is an alternative location for community or passive parks required for adjacent village subdistricts.
4. Community College Fringe Density and Dimensional Standards. The dimensional standards in Table 8-41 below shall apply in the Community College Fringe Zone.

Table 8-41: Dimensional Standards - Community College Fringe (CCD-F)	
Subdistrict	CCD-F
Density with community water and community sewer	1 DU per acre
Lot size - Residential	Cluster up to 4 DU per acre. 1500 sq. ft. min
Height (maximum, feet)	20 ft.
Setback	No minimum
Lot coverage (building and parking)	50%

8.10.3.17 Community College Rural Subdistrict Development Standards (CCD-R). The Community College Rural Subdistrict should be applied to lands where topography and vegetation are not suitable for concentrated center and neighborhood development.

1. General. The Community College Rural Subdistrict shall be located on Flatlands/ Piñon, juniper; Hillside/Grasslands; and Hillside/Piñon, juniper land types, as shown on the Zoning Map.
 - a. There is no minimum or maximum size of a rural subdistrict.
 - b. Clustering of development is required; minimum residential density in each development shall be one (1) dwelling units per five (5) gross acres. Such density may be clustered up to four (4) dwelling units per gross acre.
 - c. Living or Mixed Priority Roads are required. Roads, open space and walkways shall connect to surrounding Village Subdistrict.
 - d. Commercial, industrial, civic and public uses shall be small scale and limited to neighborhood oriented uses.
 - e. A minimum of 25 percent of gross square footage must be residential use.
 - f. Mix of housing types is required, including single-family and multifamily.
2. Community College Rural Density and Dimensional Standards. The dimensional standards in Table 8-42 below shall apply in the Community College Rural Zone.

Table 8-42: Dimensional standards - Community College Rural (CCD-R)	
Subdistrict	CCD-R
Density with community water and community sewer	1 DU per acre
Lot size - Residential	Cluster up to 4 DU per acre. 1500 sq. ft. min
Height (maximum, feet)	20 ft.
Setback	No minimum
Lot coverage (building and parking)	50%

8.10.3.18 Existing Neighborhood Subdistrict Standards (CCD-EN). The Existing Neighborhood Subdistricts are identified on the CCD Zoning Map and include Valle Lindo/Vista Del Monte, Vista Ocaso and West Arroyo Hondo.

1. Road Design Standards. Living Priority or Mixed Priority Roads are required where roads directly connect to roads within the CCD.
2. Open Space. Trails conforming and connecting to the district trail system shall be provided as required for subdivision and land division roads.
3. Community College Existing Neighborhood Density and Dimensional Standards. The dimensional standards in Table 8-43 below shall apply in the Community College Existing Neighborhood Subdistrict.

Table 8-43: Dimensional Standards - Existing Neighborhood (CCD-EN)	
Subdistrict	CCD-EN
Density (# of acres per dwelling unit)	2.5
Frontage (minimum, feet)	100
Lot width (minimum, feet)	100
Lot width (maximum, feet)	n/a
Height (maximum, feet)	24

8.10.3.19 Use Table. Uses permitted in the zoning districts are shown in the CCD Use Table 8-45. All uses are designated as permitted, accessory, or conditional, as further explained in Table 8-44. Accessory uses may be subject to specific regulations as provided in Chapter 10, and conditional uses are subject to the conditional use permit standards provided in Chapter 4.

Table 8.44: Use Table Labels	
P	Permitted Use: The letter "P" indicates that the listed use is permitted by right within the zoning district. Permitted uses are subject to all other applicable standards of the SLDC.
A	Accessory Use: The letter "A" indicates that the listed use is permitted only where it is accessory to a use that is permitted or conditionally approved for that district. Accessory uses shall be clearly incidental and subordinate to the principal use and located on the same tract or lot as the principal use.
C	Conditional Use: The letter "C" indicates that the listed use is permitted within the zoning district only after review and approval of a Conditional Use Permit in accordance with Chapter 4.
DCI	Development of Countywide Impact: The letters "DCI" indicate that the listed use is permitted within the zoning district only after review and approval as a Development of Countywide Impact.
X	Prohibited Use: The letter "X" indicates that the use is not permitted within the district.

The Use Matrix also includes Function, Activity and Structure Codes in accordance with the Land Based Classification System.

Uses not specifically enumerated. When a proposed use is not specifically listed in the use matrix, the Administrator may determine that the use is materially similar to a listed use if:

The proposed use is listed as within the same structure or function classification as the use specifically enumerated in the use matrix as determined by the Land-Based Classification Standards (LBCS) of the American Planning Association (APA).; or

If the use cannot be located within one of the LBCS classifications, the Administrator shall refer to the most recent manual of the North American Industry Classification System (NAICS). The proposed use shall be considered materially similar if it falls within the same industry classification of the NAICS manual. A proposed use shall be treated in the same manner as the listed use to which it is materially similar. For example, if the proposed use is materially similar to a permitted use, this proposed use shall also be a permitted use.

Table 8.44: Use CCD Use Table

Use	CCD V	CCD NCC	CCD NC	CCD VN	CCD F	CCD IC	CCD RUR	CCD EN	CCD Open Space	CCD EC	CCD M	Special Conditions
Residential												
Single-family	P	P	P	P	P	P	P	P	X	P	P	
Accessory dwelling units	A	A	A	A	A	A	A	A	X	A	A	
Multifamily dwellings	P	P	P	P	C	C	C	C	X	P	P	
Retirement housing (apartments)	P	P	P	P	C	C	C	C	X	P	P	
Assisted living facility	P	P	P	P	P	P	P	P	X	P	X	
Life care or continuing care facilities	P	P	P	P	P	P	P	P	X	P	X	
Nursing facilities	P	P	P	P	P	P	P	P	X	P	X	
Community home, NAICS 623210	P	P	P	P	P	P	P	P	X	P	X	
Barracks	X	X	X	X	X	A	X	X	X	X	X	
Dormitories	X	A	A	A	X	A	A	X	X	A	A	
Temporary structures, tents etc. for shelter	A	A	A	A	A	A	A	A	A	A	A	
Hotels, motels, or other accommodation services												
Bed and breakfast inn	P	P	P	P	P	X	P	P	X	X	P	
Rooming and boarding housing	P	P	P	P	P	X	P	P	X	X	X	
Resorts	X	P	P	X	C	X	P	X	X	P	P	
Retreats	P	P	P	P	P	P	P	X	X	P	P	
Hotels, motels, and tourist courts	X	P	C	X	X	X	X	X	X	P	P	
Commercial												
Shop or store with drive- through facility	X	P	P	X	X	X	X	X	X	P	P	
Restaurant, with inciden- tal consumption of alco- holic beverages	P	P	P	X	X	P	X	X	X	P	P	
Restaurant, with no con- sumption of alcoholic beverages permitted	P	P	P	P	X	P	X	X	X	P	P	
Store or shop without drivethrough facility	P	P	P	P	X	P	X	X	X	P	P	
Department store	X	P	P	X	X	X	X	X	X	C	C	
Warehouse discount store/superstore	X	C	C	X	X	X	X	X	X	C	C	
Market shops, including open markets	P	P	P	P	X	P	X	X	X	P	P	
Gasoline station	X	C	C	X	X	X	X	X	X	C	C	
Automobile repair and service	X	C	C	X	X	X	X	X	X	P	P	

Table 8.44: Use CCD Use Table

Use	CCD V	CCD NCC	CCD NC	CCD VN	CCD F	CCD IC	CCD RUR	CCD EN	CCD Open Space	CCD EC	CCD M	Special Conditions
Car dealer	X	C	X	X	X	X	X	X	X	C	C	
Bus, truck, mobile home, or large vehicle dealers	X	X	X	X	X	X	X	X	X	C	C	
Bicycle, motorcycle, all- terrain vehicle dealers	X	X	X	X	X	X	X	X	X	P	P	
Boat or marine craft dealer	X	X	X	X	X	X	X	X	X	C	C	
Automotive parts, acces- sories, or tires	X	C	C	X	X	X	X	X	X	P	P	
Gasoline service	X	X	X	X	X	X	X	X	X	C	C	
Lumberyard and materials	X	P	P	X	X	X	X	X	X	P	P	
Outdoor resale business	X	C	X	X	X	X	X	X	X	C	C	
Pawnshops	X	C	C	X	X	X	X	X	X	P	P	
Tap or Tasting Room	X	P	P	C	X	P	X	X	X		P	
Beer, wine, and liquor store (off-premises con- sumption of alcohol)	X	P	C	C	X	C	X	X	X	P	C	
Shopping center	X	C	C	X	X	X	X	X	X	P	P	
Convenience stores or centers	X	P	P	X	X	X	X	X	X	P	P	
Car care center	X	C	C	X	X	X	X	X	X	P	P	
Carwashes	X	C	C	X	X	X	X	X	X	P	P	
Office or bank (without drive-through facility)	X	P	P	X	X	P	X	X	X	P	P	
Office (with drive- through facility)	X	P	P	X	X	P	X	X	X	P	P	
Office or store with resi- dence on top	P	P	P	P	P	P	P	P	X	P	P	
Office - over storefront structure	X	P	P	X	X	P	X	X	X	P	P	
Research and develop- ment services (scientific, medical, and technology)	X	C	X	X	X	P	X	X	X	P	P	
Car rental and leasing	X	C	X	X	X	X	X	X	X	C	C	
Leasing trucks, trailers, recreational vehicles, etc.	X	C	X	X	X	X	X	X	X	C	C	
Services including pest control, janitorial, land- scaping, carpet[,] uphol- stery, cleaning and other services	X	P	P	X	X	P	X	X	X	P	P	

Table 8.44: Use CCD Use Table

Use	CCD V	CCD NCC	CCD NC	CCD VN	CCD F	CCD IC	CCD RUR	CCD EN	CCD Open Space	CCD EC	CCD M	Special Conditions
Bars, taverns and nightclubs	X	C	C	C	X	C	X	X	X	C	C	
Sexually oriented business	X	X	X	X	X	X	X	X	X	X	X	
Tattoo parlors	X	P	P	X	X	P	X	X	X	P	P	
Industrial, manufacturing and wholesale trade												
Light industrial structures and facilities (not enumerated in Codes 2611-2615, below [sic])	X	C	C	X	X	X	C	X	X	P	P	
Loft	X	C	C	X	X	X	C	X	X	P	P	
Mill-type factory structures	X	X	X	X	X	X	X	X	X	C	C	
Manufacturing plants	X	X	X	X	X	X	X	X	X	C	C	
Industrial parks	X	X	X	X	X	X	X	X	X	C	C	
Laboratory or specialized industrial facility	X	X	X	X	X	X	X	X	X	C	C	
Assembly and construction-type plants	X	X	X	X	X	X	X	X	X	C	C	
Process plants (metals, chemicals[, asphalt, concrete, etc.)	X	X	X	X	X	X	X	X	X	C	C	
Construction-related businesses	X	C	C	X	X	X	C	X	X	P	P	
Heavy construction	X	X	X	X	X	X	X	X	X	C	C	
Machinery related	X	X	X	X	X	X	X	X	X	C	C	
Trade contractor, plumbing, electrical, roofing, painting, landscaping	X	C	C	X	X	X	C	X	X	P	P	
Automotive paint and body	X	C	C	X	X	X	X	X	X	P	P	
Automotive wrecking and graveyards, salvage yards, and junkyards	X	X	X	X	X	X	X	X	X	X	X	
Vehicle storage for towing or related business	X	X	X	X	X	X	X	X	X	X	X	
Demolition, building and structure business	X	X	X	X	X	X	X	X	X	C	C	
Warehouse or storage facility structure	X	X	X	X	X	X	X	X	X	P	P	
Mini-warehouse, mini-storage units	X	C	C	X	X	X	X	X	X	C	C	
High-rise mini-warehouse	X	C	C	X	X	X	X	X	X	C	C	

Table 8.44: Use CCD Use Table

Use	CCD V	CCD NCC	CCD NC	CCD VN	CCD F	CCD IC	CCD RUR	CCD EN	CCD Open Space	CCD EC	CCD M	Special Conditions
Warehouse structure	X	X	X	X	X	X	X	X	X	P	P	
Produce warehouse	X	X	X	X	X	X	X	X	X	P	P	
Refrigerated warehouse or cold storage	X	X	X	X	X	X	X	X	X	P	P	
Large area distribution or transit warehouse	X	X	X	X	X	X	X	X	X	P	P	
Wholesale trade - durable goods	X	X	X	X	X	X	X	X	X	P	P	
Wholesale trade non- durable goods	X	X	X	X	X	X	X	X	X	P	P	
Food, textiles, and re- lated products	X	X	X	X	X	X	X	X	X	C	C	
Wood, paper, and print- ing products	X	X	X	X	X	X	X	X	X	C	C	
Tank farms	X	X	X	X	X	X	X	X	X	C	C	
Public assembly structures												
Performance theater	X	P	P	X	X	P	X	X	X	C	P	
Movie theater	X	P	C	X	X	C	X	X	X	P	P	
Amphitheater	X	P	C	X	X	C	X	X	X	X	P	
Drive-in theaters	X	P	C	X	X	C	X	X	X	X	X	
Indoor games facility	X	P	C	X	X	C	X	X	X	X	P	
Amusement, sports, or recreation establishment not specifically enumerated	X	P	C	X	X	C	X	X	X	X	C	
Amusement or theme park	X	X	X	X	X	X	X	X	X	C	C	
Arcade	X	P	C	X	X	C	X	X	X	X	C	
Miniature golf establishment	X	P	P	C	C	P	X	X	X	X	X	
Fitness, recreational sports, gym, or athletic club	X	P	P	X	X	P	X	X	X	P	P	
Bowling, billiards, pool, etc.	X	P	C	X	X	C	X	X	X	X	X	
Skating rinks	X	P	C	X	X	C	X	X	X	X	X	
Sports stadium or arena	X	P	P	P	X	P	P	X	C	C	C	
Racetrack or raceway	X	X	X	X	X	X	X	X	X	C	C	
Exhibition, convention or conference structure	X	P	P	X	X	P	X	X	X	C	C	
Religious facilities	P	P	P	P	P	P	P	P	X	P	P	
Covered or partially cov- ered atriums and public	P	P	P	P	P	P	P	P	C	C	C	

Table 8.44: Use CCD Use Table

Use	CCD V	CCD NCC	CCD NC	CCD VN	CCD F	CCD IC	CCD RUR	CCD EN	CCD Open Space	CCD EC	CCD M	Special Conditions
enclosure												
Passenger terminal, mixed mode	X	P	P	P	X	P	X	X	X	P	P	
Active open space/athletic fields/golf courses	P	P	P	P	P	P	P	X	P	P	C	
Passive open space	P	P	P	P	P	P	P	P	P	P	P	
Arts, entertainment, and recreation												
Active leisure sports and related activities	C	P	C	P	C	C	C	C	C	C	C	
Movie ranch	X	P	P	X	C	X	P	X	X	X	P	
Camps, camping, and related establishments	X	X	X	P	X	C	C	X	C	C	C	
Exhibitions and art galleries	X	P	P	X	X	P	X	X	X	C	C	
Performing arts or sup- porting establishment	X	P	P	X	X	P	X	X	X	C	P	
Theater, dance, or music establishment	X	P	P	X	X	P	X	X	X	C	P	
Institutional or community facilities												
Community center	X	P	P	C	C	P	X	X	X	X	X	
Hospitals	X	X	X	X	X	C	X	X	X	C	C	
Medical clinics	X	P	P	P	X	P	X	X	X	X	X	
Social assistance, wel- fare, and charitable ser- vices (not otherwise enumerated)	X	P	P	P	X	P	X	X	X	X	X	
Child and youth services	X	P	P	P	X	P	X	X	X	X	X	
Child care institution	P	P	P	P	P	P	P	P	X	P	P	
Day care center	P	P	P	P	P	P	P	P	X	P	P	
Community food services	P	P	P	P	P	P	P	P	X	P	P	
Emergency and relief services	P	P	P	P	P	P	P	P	X	P	P	
Other family services	X	P	P	P	X	P	X	X	X	X	X	
Services for elderly and disabled	X	P	P	P	X	P	X	X	X	X	X	
Animal hospitals	X	C	C	X	X	C	C	X	X	X	X	
School or university (pri- vately owned)	X	P	P	P	C	P	C	X	X	C	C	
Grade school (privately owned)	X	P	P	P	C	P	C	X	X	C	C	

Table 8.44: Use CCD Use Table

Use	CCD V	CCD NCC	CCD NC	CCD VN	CCD F	CCD IC	CCD RUR	CCD EN	CCD Open Space	CCD EC	CCD M	Special Conditions
College or university facility (privately owned)	X	P	P	P	C	P	C	X	X	C	C	
Technical, trade, and other specialty schools	X	P	P	X	X	P	X	X	X	X	X	
Library	X	P	P	X	X	P	X	X	X	P	P	
Museum, exhibition, or similar facility	X	P	P	X	X	P	X	X	X	C	C	
Planetarium	X	P	P	X	X	P	X	X	X	C	C	
Aquarium	X	P	P	X	X	P	X	X	X	C	C	
Zoological parks	X	P	P	X	X	P	X	X	X	C	C	
Public safety related facility	P	P	P	P	P	P	P	P	X	P	P	
Fire and rescue station	P	P	P	P	P	P	P	P	X	P	P	
Police station	P	P	P	P	P	P	P	P	X	P	P	
Emergency operation center	P	P	P	P	P	P	P	P	X	P	P	
Correctional or rehabilitation facility	X	X	X	X	X	C	X	X	X	C	C	
Cemetery, monument, tombstone, or mausoleum	X	X	X	P	P	X	P	X	C	X	X	
Funeral homes	X	X	X	X	X	C	X	X	X	C	C	
Cremation facilities	X	X	X	X	X	C	X	X	X	C	C	
Public administration	X	P	P	X	X	P	X	X	X	P	P	
Post offices	X	P	P	X	X	P	X	X	X	P	P	
Space research and technology	X	C	X	X	X	P	X	X	X	P	P	
Clubs or lodges	X	P	P	X	C	C	X	X	X	P	P	
Transportation-related facilities												
Commercial automobile parking lots	X	P	P	X	X	P	X	X	X	P	P	
Commercial automobile parking garages	X	P	P	X	X	P	X	X	X	P	P	
Surface parking, open	X	P	P	X	X	P	X	X	X	P	P	
Surface parking, covered	X	P	P	X	X	P	X	X	X	P	P	
Underground parking structure with ramps	X	P	P	X	X	P	X	X	X	P	P	
Rooftop parking facility	X	P	P	X	X	P	X	X	X	P	P	
Bus terminal	X	P	P	P	X	P	X	X	X	P	P	
Bus stop shelter	P	P	P	P	P	P	P	P	X	P	P	

Table 8.44: Use CCD Use Table												
Use	CCD V	CCD NCC	CCD NC	CCD VN	CCD F	CCD IC	CCD RUR	CCD EN	CCD Open Space	CCD EC	CCD M	Special Conditions
Truck storage and maintenance facilities	X	X	X	X	X	C	X	X	X	C	C	
Truck freight transportation facilities	X	X	X	X	X	X	X	X	X	C	C	
Light rail transit lines and stops	P	P	P	P	P	P	P	P	P	P	P	
Local rail transit storage and maintenance facilities	X	X	X	X	X	X	X	X	X	P	P	
Taxi and limousine service maintenance and storage facilities	X	X	X	X	X	C	X	X	X	C	C	
Taxi and limousine service dispatch facilities	X	X	X	X	X	X	X	X	X	P	P	
Bus transportation storage and maintenance facilities	X	X	X	X	X	C	X	X	X	C	C	
Towing and other road service facilities, excluding automobile salvage, wrecking, or permanent vehicle storage	X	X	X	X	X	X	X	X	X	C	C	
Long-distance or bulk pipelines for petroleum products, natural gas, or mineral slurry	C	C	C	C	C	C	C	C	C	C	C	
Courier and messenger service facilities	X	X	X	X	X	X	X	X	X	C	C	
Commercial airports	X	X	X	X	X	X	X	X	X	X	X	
Private airplane runways and landing strips	X	X	X	X	X	X	X	X	X	X	X	
Airport maintenance and hangar facilities	X	X	X	X	X	X	X	X	X	X	X	
Heliport facility	X	X	X	X	X	X	X	X	X	X	X	
Helistops	X	X	X	X	X	X	X	X	X	X	X	
Glideport, stolport, ultralight airplane, or balloon port facility	X	X	X	X	X	X	X	X	X	X	X	
Railroad tracks, spurs, and sidings	P	P	P	P	P	P	P	P	P	P	P	
Railroad switching, maintenance, and storage facility	P	P	P	P	P	P	P	P	X	P	P	
Railroad passenger station	P	P	P	P	P	P	P	P	X	P	P	

Table 8.44: Use CCD Use Table

Use	CCD V	CCD NCC	CCD NC	CCD VN	CCD F	CCD IC	CCD RUR	CCD EN	CCD Open Space	CCD EC	CCD M	Special Conditions
Railroad freight facility	X	X	X	X	X	X	X	X	X	C	C	
Utility												
Local distribution facilities for water, natural gas, and electric power	X	C	C	C	C	P	C	C	C	P	P	
Telecommunications lines	X	C	C	C	C	P	C	C	C	P	P	
Electric power substations	X	C	C	X	C	C	C	C	X	C	C	
High-voltage electric power transmission lines	X	C	C	C	C	P	C	C	C	P	P	
Dam	X	C	C	C	C	C	C	C	C	C	C	
Livestock watering tank or impoundment		P	P	P	P	P	P	P	P	P	P	
Levee	X	C	C	C	C	C	C	C	C	C	C	
Water tank (elevated, at grade, or underground)	C	C	C	C	C	P	C	C	C	P	P	
Water wells, well fields, and bulk water transmission pipelines	C	C	C	C	C	P	C	C	C	P	P	
Water treatment and purification facility	C	C	C	C	C	P	C	C	C	P	P	
Water reservoir	C	C	C	C	C	C	C	C	C	C	C	
Irrigation facilities, including impoundments for on-site irrigation or acequia system irrigation	P	P	P	P	P	P	P	P	P	P	P	
Wastewater storage or pumping station facility, lift stations, and collection lines	C	C	C	C	C	P	C	C	C	P	P	
Solid waste landfill facility	X	X	X	X	X	X	X	X	X	X	X	
Composting facility	C	X	X	X	X	C	C	X	C	C	X	
Recycling transfer center	P	P	P	P	P	P	P	P	P	P	P	
Solid waste collection transfer station (governmental)	X	X	X	X	C	X	C	X	X	C	C	
Solid waste collection transfer station (private)	X	X	X	X	C	X	C	X	X	C	C	
Solid waste combustor or incinerator	X	X	X	X	X	X	X	X	X	X	X	

Table 8.44: Use CCD Use Table												
Use	CCD V	CCD NCC	CCD NC	CCD VN	CCD F	CCD IC	CCD RUR	CCD EN	CCD Open Space	CCD EC	CCD M	Special Conditions
Septic tank service, re- pair, and installation business	X	X	X	X	X	X	X	X	X	P	P	
Household hazardous waste collection facility	X	X	X	X	X	X	X	X	X	C	X	
Hazardous waste stor- age facility	X	X	X	X	X	X	X	X	X	C	X	
Hazardous waste treat- ment and disposal facility	X	X	X	X	X	X	X	X	X	C	X	
Sewage treatment plant and disposal facilities	C	C	C	C	C	P	C	X	C	P	X	
Gas or electric power generation facility	C	C	C	X	C	C	C	X	X	C	C	
New wireless communi- cation facility/Modification of existing wireless com- munication facility with substantial changes	X	X	X	X	C	P	X	X	C	P	P	
Modification of existing wireless communication facility with no substan- tial changes/Collocation	P	P	P	P	P	P	P	P	P	P	P	
Roof-mounted/surface- mounted/stealth	C	C	C	C	C	C	C	C	C	P	P	
Amateur radio antenna	P	P	P	P	P	P	P	P	P	P	P	
Weather stations or transmitters	X	C	C	X	X	P	X	X	X	P	P	
Environmental monitor- ing station (air, soil, etc.)	X	C	C	X	X	P	X	X	X	P	P	
Commercial solar en- ergy production facility	X	C	C	X	X	C	X	X	X	C	C	
Geothermal production facility	X	C	C	X	X	C	X	X	X	C	C	
Large-scale wind facility (DCI)	X	C	C	X	X	C	X	X	X	C	C	
Highway rest stops and welcome centers	P	P	P	P	P	P	P	P	X	P	P	
Fountain, sculpture, or other similar decorative structures	P	P	P	P	P	P	P	P	X	P	P	
Permanent outdoor stage, bandstand, or similar structure	X	P	P	X	X	P	X	X	X	P	P	
Agriculture, forestry, and conservation/open space												

Table 8.44: Use CCD Use Table												
Use	CCD V	CCD NCC	CCD NC	CCD VN	CCD F	CCD IC	CCD RUR	CCD EN	CCD Open Space	CCD EC	CCD M	Special Conditions
Grain silos and other storage structure for grains and agricultural products	A	A	A	A	A	C	A	A	X	X	X	
Animal production that includes slaughter	X	X	X	X	X	X	X	X	X	C	X	
Livestock pens or hog houses	X	X	X	X	X	X	X	X	X	C	C	
Commercial greenhouses	C	C	C	C	C	C	C	C	C	P	P	
Nurseries and other growing of ornamental plants	P	P	P	P	P	P	P	P	X	P	P	
Stables and other equine-related facilities - All personal use and commercial up to 12 horses	P	C	C	C	P	P	P	P	P	P	P	
Stables and other equine-related facilities - Commercial over 12 horses	C	X	X	X	C	C	C	C	C	C	C	
Kennels and commercial dog breeding facilities	X	C	C	X	C	P	C	X	X	P	P	
Apiary and other related structures	P	P	P	P	P	P	P	P	P	P	P	
Crop production outdoor	P	P	P	P	P	P	P	P	P	P	P	
Crop production greenhouse	P	P	P	P	P	P	P	P	P	P	P	
Display or sale of agricultural products raised on the same premises	A	X	A	X	A	A	A	A	A	A	X	
Forestry and logging operations	X	X	X	X	X	X	X	X	X	X	X	
Game preserves and retreats	X	X	X	X	X	X	X	X	X	X	X	
Support business and operations for agriculture and forestry	X	X	X	X	A	X	A	X	X	C	C	
Parks, open space areas, conservation areas, and preservation areas	P	P	P	P	P	P	P	P	P	P	P	
Public or community outdoor recreation facilities	P	P	P	P	P	P	P	P	P	P	P	
Concentrated animal feeding operation	X	X	X	X	X	X	X	X	X	X	X	

Table 8.44: Use CCD Use Table												
Use	CCD V	CCD NCC	CCD NC	CCD VN	CCD F	CCD IC	CCD RUR	CCD EN	CCD Open Space	CCD EC	CCD M	Special Conditions
Grazing and ranching of livestock	P	P	P	P	P	P	P	P	P	P	P	Sec. 10.3
Dairy farms	X	X	X	X	X	X	X	X	X	X	X	
Other farm and farming-related structures (sale of farming products)	A	A	A	A	P	A	P	A	A	A	A	
Poultry farms and poultry production facilities	X	X	X	X	X	X	X	X	X	X	X	
Sheds, or other agricultural facilities	A	A	A	A	P	A	P	A	A	A	A	
Animal waste lagoons (DCI)	X	X	X	X	X	X	X	X	X	X	X	
Mining and extraction establishments												
Oil and natural gas exploration or extraction	DCI	DCI	DCI	DCI	DCI	DCI	DCI	DCI	DCI	DCI	DCI	
Hard rock mining	DCI	DCI	DCI	DCI	DCI	DCI	DCI	DCI	DCI	DCI	DCI	
Small scale sand and gravel extraction	X	X	X	X	C	X	C	X	C	C	X	
Sand and gravel extraction (as specified in Section 11.10)	DCI	DCI	DCI	DCI	DCI	DCI	DCI	DCI	DCI	DCI	DCI	
Notes:												
*Subject to inclusion in approved list of uses that is part of the site plan for the Mixed Use and Planned Development District.												

8.10.4 Planned Traditional Neighborhood Development (PD-TND). Reserved.

8.10.5 Planned Neighborhood Center (PD-NC). Reserved.

8.10.6 Planned Regional Center (PD-RC). Reserved.

8.10.7 Planned Campus/Opportunity Center (PD-C/O). Reserved.

8.10.8 Planned Transit Oriented Development (PD-TOD). Reserved.

8.10.9 Planned Conservation Subdivision (PD-CS). Reserved.

8.10.10 Existing Approvals Identified as PDs.

8.10.10.1 In order to recognize existing approvals, that do not fit into a base zoning district, the following developments that have received master plan approval prior to the effective date of this SLDC are identified on the zoning map and listed below:

1. Galisteo Basin Preserve (PD-2).
2. Aldea (PD-3).
3. Tessera (PD-4).
4. Bishops Lodge Resort (PD-5).
5. The Downs at Santa Fe (PD-6).

6. Tavelli Mixed Use Subdivision (PD-7).
 7. Santa Fe Canyon Ranch (PD-8).
 8. Cimarron Village (PD-9).
 9. Saint Francis South Business Park (PD-10).
 10. Avanti Business Park/Santa Fe Metro Center (PD-11).
 11. Sunrise Springs Resort (PD-12).
 12. Santa Fe Horse Park (PD-13).
 13. Ten Thousand Waves Spa and Resort (PD-14).
 14. Rancho Encantado Resort (PD-15).
 15. Las Campanas (PD-16).
- 8.10.10.2 The above approved developments shall be developed in accordance with, and governed by and restricted to the densities, uses and conditions identified on the approved master plan, plat or development plan.
- 8.10.10.3 Expansion of existing PDs. An expansion of an existing PD is a request for any enlargement, greater density or intensity of nonresidential uses, relocation, decrease in a project's size or density, or modification of any condition of a previously approved and currently valid PD. There are two types of PD expansion, a Major Expansion and a Minor Expansion.
1. Minor Expansion. Shifts in on-site location of the development and changes in nonresidential size, shape, intensity, or configuration of less than twenty-five percent (25%) of impervious surface or floor area over what was originally approved, may be authorized under a conditional use permit, provided that such expansion complies with the following criteria:
 - a. No minor expansion has been previously granted pursuant to this Section;
 - b. The expansion is consistent with the scope of the approved development; and
 - c. The proposed expansion conforms to the SLDC and is consistent with the goals, policies and strategies of the SGMP.
 2. Major Expansion. Any proposed expansion, other than minor expansion, including an increase in residential subdivision density, shall require the submission of a new PD application or rezoning request.
 3. Relaxation of Development Percentages. Any expansion of an existing PD may not be required to comply with the maximum and minimum percentages for residential and nonresidential uses identified in table 8-19.

(Ordinance 2016-9 adopted 12/13/16; Ordinance 2021-03 adopted 7/30/21)

§ 8.11. OVERLAY ZONES.

8.11.1 Generally. Overlay zones address special siting, use, and compatibility issues requiring regulations that supplement or supplant those found in the underlying zoning districts. If an overlay zone regulation conflicts with any standard of the underlying zone, the standard of the overlay zone shall govern.

8.11.2 Rural Commercial Overlay (O-RC).

- 8.11.2.1 Intent. The Rural Commercial Overlay zone (O-RC) accommodates the development of agriculture[,] business, commercial, service-related, and limited industrial activities that have adequate facilities and would not cause a detriment to any abutting rural residential lands. This zone is appropriate for areas where such development should logically locate because of established land use patterns, planned or existing public facilities, and appropriate transportation system capacity and access. Although this zone allows a mixture of land uses, there are controls intended to minimize or buffer any nuisances caused by such land uses.
- 8.11.2.2 Location. The Rural Commercial Overlay is appropriate for use in the A/R, RUR, RUR-F, RES-F, RUR-R, RES-E, RES-C, and TC districts.
- 8.11.2.3 Permitted Uses. In addition to those uses allowed by the underlying zoning, the following uses are allowed in the Rural Commercial Overlay upon the issuance of a development permit:
1. Agriculture production, storage and food processing facilities, business, service, and commercial establishments, provided the maximum floor area for each establishment shall not exceed five thousand (5,000) square feet;
 2. Commercial greenhouses, plant nurseries, and landscapers;
 3. Kennels, animal shelters, veterinary hospitals;
 4. Animal feed stores, tack shops, farm equipment sales;
 5. Day care and child care services;
 6. Cemeteries; and
 7. Public utility structures including renewable energy facilities, transformers, switching, pumping, or similar technical installations essential to the operation of a public utility.
- 8.11.2.4 Conditional Uses. The following uses may be allowed in the Rural Commercial Overlay upon the issuance of a conditional use permit:
1. Agriculture production, storage and food processing facilities, business, service, and commercial establishments provided the maximum floor area for each establishment shall not exceed fifteen thousand (15,000) square feet;
 2. Limited industrial activities subject to the following regulations:
 - a. The manufacturing, processing, assembling, renovating, treatment, storage, or warehousing of raw materials, goods, merchandise, or equipment shall be conducted within an enclosed building and/or within an area completely enclosed by a fence or wall;
 - b. No building for manufacturing purposes shall exceed twenty-five thousand (25,000) square feet in floor area;
 - c. No building for manufacturing purposes shall be located less than three hundred (300) feet from any residential structure, except for a resident caretaker dwelling;
 - d. All buildings on a manufacturing site shall not cover an aggregate area of more than forty percent (40%) of such site, and
 - e. All manufacturing activities shall be conducted in accordance with State and Federal environmental standards.
 3. Salvage yards for scrap material, including automobile bodies, provided that:
 - a. All activities are conducted within an enclosed building or within an area completely enclosed by an opaque fence or wall not more than six (6) feet in height;

- b. Outside storage of salvage materials or automobile bodies may not be stacked higher than the surrounding fence or wall and shall not be visible from any nearby road or surrounding properties; and
- c. The entire site for a salvage yard shall not exceed one (1) acres.

4. Commercial stables, rodeo arenas, polo grounds, and riding academies.

8.11.2.5 Dimensional Standards. Dimensional standards are as prescribed in the underlying zoning except as prescribed in this Section. Minimum lot size for a nonresidential use within a Rural Commercial Overlay is 2.5 acres in A/R, RUR, RUR-F, RUR-R, RES-F, RES-E.

8.11.3 Overlay Community District (O-CD).

8.11.3.1 Description. Santa Fe County has many unique and distinctive communities that contribute significantly to the overall character and identity of the County. A community district (O-CD) may be established through an overlay zone:

- 1. To recognize the diversity of issues and character in individual communities;
- 2. To preserve and protect the character and valued features of established communities;
- 3. To reduce conflicts between new construction and existing development in established communities;
- 4. To provide a reliable understanding of the parameters of community character; and
- 5. To enhance identifiable attributes of design, architecture, history or geography.

8.11.3.2 Purpose. The community overlay district establishes overlay zoning that will implement the recommended land uses of an adopted community plan.

8.11.3.3 Relation to Underlying Base Zoning. An approved overlay community district does not replace the underlying zoning of the area. The approved overlay district may, however, include appropriate modifications to the regulations of the underlying base zoning district to accommodate unique conditions that do not fit the base zoning districts of the SLDC.

8.11.3.4 Creation.

- 1. Procedure. Each community overlay district shall be established by a separate resolution of the Board in accordance with the zoning amendment procedures established in Section **1.15**;
- 2. Community Plan Prerequisite. Prior to the establishment of a community overlay district, a community plan shall be prepared and adopted in accordance with Section **2.1.5** [2.1.4]. The adopted community plan shall include a recommendation that the community overlay district be created as one of the plan's implementation policies.

8.11.3.5 Community Overlay District Regulations.

- 1. A community overlay district may regulate the following:
 - a. building design, including scale, mass and distinctive architectural characteristics such as front porches, height or roof styles;
 - b. streetscape, including lot frontage, fences, walls, parking, lighting and landscaping;
 - c. base zoning district and minimum lot size;
 - d. lot coverage;
 - e. setbacks;
 - f. building height;

- g. Developments of Countywide Impact or DCIs; and h. uses.
- 2. A community overlay district shall not restrict the following:
 - a. Countywide policies and priorities;
 - b. County affordable housing requirements;
 - c. no impact and low impact home occupations, however, design standards may be modified for low impact home occupations;
 - d. group or foster homes;
 - e. day care facilities;
 - f. public or private schools for elementary, middle or senior high students;
 - g. religious institutions;
 - h. other uses determined by the Administrator as necessary for the health and safety of the community; or
 - i. procedures established in the SLDC found in Chapters 4 and 5;
 - j. wireless communications facilities and amateur radio facilities;
 - k. stables and other equine related facilities for personal use; or
 - l. location of an procedure for approving and installing a community solar facility.

8.11.3.6 Adopted Community Overlay Districts. For adopted community overlay districts and their specific regulations see Chapter 9.

8.11.4 Environmental and Resource Protection Overlay (O-ERP).

8.11.4.1 Purpose. The purpose of the Environmental and Resource Protection Overlay (O-ERP) is to ensure that property is developed in a manner consistent with the protection of environmental, natural, historical and archeological resources and that development is designed and arranged to protect both on-site and adjacent resources. Damage to the natural, scenic, and cultural environment has significant impacts on visual and natural resources. The County has identified goals to protect archaeological, historic and cultural resources, species, habitat and biodiversity, scenic beauty and environmentally sensitive lands. Preserving and supporting the conservation of these resources will enhance the character and function of communities, neighborhoods and rural areas. This Section establishes procedures to enable the applicant to achieve the mutually compatible objectives of reasonable use of land and resource protection.

8.11.4.2 Applicability. The boundaries of an Environmental and Resource Protection Overlay zone shall be delineated using the most current and best available location data and be of sufficient size to guarantee the appropriate level of resource protection. Boundaries may be modified as necessary as new data becomes available.

8.11.4.3 Establishment of Presumed Protection Areas. Environmentally critical areas such as unique and scenic areas, or endangered habitats may be identified as areas in need of protection. The County may determine that a development site includes areas with environmental, natural, historical or archeological resources in need of protection based on other information or the findings of the EIR.

8.11.4.4 Required Mitigation. While development is not anticipated inside the Environmental and Resource Protection Overlay zone, if development is proposed, the burden is on the applicant to establish that the applicant will not disturb these areas and shall undertake adequate mitigation measures to restore any damaged or lost resources. The applicant shall propose a mitigation plan that includes a timeline for restoration and mitigation of disturbed areas, and

may include a performance guaranty ensuring fulfillment of, and compliance with, the mitigation plan. Buffer zones shall be established adjacent to areas of priority protection, as reasonably appropriate.

8.11.4.5 Restoration, Protection and Preservation. All development within the Environmental and Resource Protection Overlay zone shall ensure:

1. That restoration of previously disturbed or degraded areas;
2. That if the development site contains areas that connect to other off-site areas of a similar nature, to the maximum extent feasible, then the applicant shall preserve or mitigate such connections;
3. That important cultural resources, including historic, archaeological, and scenic resources are taken into consideration, and protected to the maximum extent feasible; and
4. That projects located adjacent to and within an O-ERP zone shall be designed to complement the visual context of the natural area. Techniques such as architectural design, site design, the use of native landscaping, choice of colors and building materials and lighting shall be utilized in such manner that scenic views across or through the site are protected, and man-made facilities are screened from off-site observers and blend with the natural visual character of the area.

8.11.4.6 Encroachment. Encroachment into or through the O-ERP zone may be permitted provided the following standards are met:

1. Roads, utilities and stormwater management facilities will be limited;
2. No more land shall be disturbed than is necessary; and
3. Indigenous habitat and other resources shall be preserved to the maximum extent feasible.

8.11.4.7 Turquoise Trail Environmental and Resource Protection Overlay (TT-OERP).

1. Purpose. Some of the County's most significant resources are the views from the Turquoise Trail National Scenic Byway. The Turquoise Trail National Scenic Byway was forged centuries ago by Native Americans, miners and Spanish Conquistadores. The character of rural and scenic highway corridors should be preserved and protected as an important resource.
2. Applicability. The Turquoise Trail Environmental and Resource Protection Overlay (TT-OERP) is a segment of the Turquoise Trail National Scenic Byway on State Road 14 that extends one thousand (1,000) feet on either side of the centerline of SR 14 and is identified on the Zoning Map.
3. Sustainable Design Standards. Sustainable design standards shall be as identified in Chapter 7 of this Code, except as prescribed below:
 - a. Buffers:
 - i. Nonresidential development is prohibited within 1,000 feet of the centerline of State Road 14.
 - ii. Nonresidential development requires a 2,000 foot wide buffer adjacent to a community overlay district.
 - iii. Residential development is required to provide a 500 foot wide buffer from centerline of State Road 14.
 - iv. Residential development is required to provide a 500 foot wide buffer adjacent to a community overlay district.

8.11.5 Historic Preservation Overlay (O-HP).

8.11.5.1 Purpose. As a matter of public policy, Santa Fe County aims to preserve, protect, enhance, and perpetuate the value of its historic areas through the establishment of Historic Preservation (O-HP) zones.

8.11.5.2 Implementation. The O-HP zone implements:

1. The creation and adoption of guidelines and standards that will enhance the quality of life and encourage the preservation and enhancement of the community's important historic and cultural characteristics, including architectural styles and historic districts; and
2. Public involvement in developing area plans that define the character and pattern of development for historic districts and establish infill development guidelines.

8.11.5.3 Designation Criteria. To be designated as an O-HP zone, the site or area shall be accepted for listing or listed on the National or State Registers of Historic Places.

8.11.5.4 Design Standards. Development within an O-HP zone shall be consistent with design standards adopted at the time of the O-HP designation, which standards shall be derived from the appropriate provisions of the nominating forms for the National and/or State Registers of Historic Places.

8.11.6 Airport Noise Overlay Zone (O-AN).

8.11.6.1 Short Name and Map Symbol. The City of Santa Fe Municipal Airport Noise Impact Overlay Zone is referred to as the O-AN Zone, and is shown on the Zoning Map as O-AN.

8.11.6.2 Purpose. The O-AN Overlay Zone is intended to reduce the impact of aircraft noise on human health within the noise impact area surrounding the City of Santa Fe Municipal Airport. The zone achieves this by limiting residential uses and by requiring noise insulation, noise disclosure statements, and noise easements, as applicable.

8.11.6.3 Applicability. The O-AN Zone shall apply within the areas designated as O-AN on the Zoning Map. However, aircraft noise/land use control zone regulations in the O-AN Zone shall not apply to existing residential and nonresidential development. Nor shall the control zone regulations apply to compatible land uses such as commercial, industrial, and office uses and/or vacant land zoned for such use, or vacant properties zoned for residential use prior to the adoption of the SLDC (unless an application proposes to eliminate or reduce noise/land use compatibility). This Subsection shall not be construed to require the sound conditioning or other changes or alteration of any pre-existing structure not conforming to this Subsection as of the effective date of the SLDC, or to otherwise interfere with the continuance of any pre-existing nonconforming use. Nothing in this Subsection shall require any such change in the construction or alteration of a structure which was begun prior to the effective date of this part and is diligently pursued, or of property upon which development rights are vested.

8.11.6.4 Location. The boundaries of the Airport Noise Overlay are identified on the Zoning Map. The effect of noise generated by any other uses is not reflected in the DNL contours. The overlay district includes the following four zones which establish expected airport area intermittent noise levels, based on average ambient conditions and existing and projected aircraft operations:

1. O-Zone. The City of Fe Municipal Airport Noise Impact Overlay Zone is shown on the Zoning Map. The outside contour of the O-AN zone was accomplished based on two noise metrics (DNL and dBA Aircraft Noise Metric). The DNL metric is a day-night sound level used to present cumulative/average long-term aircraft noise exposure. The dBA Aircraft Noise Metric is a single event maximum sound level measure used to describe peak noise levels of representative aircraft flyovers.
2. O-AN Subzones. There are three subzones within the O-AN Zone established according to the sound levels expected to be present within the subzone. The three subzones

correspond to sound levels of 65 DNL or above, 60 DNL and 55 DNL, as established by a 2008 Noise Compatibility Study conducted pursuant to 14 CFR Part 150.

3. Revised Contours. The contours of the O-AN Zone and its subzones may be altered following a Part 150 study through an appropriate change to the Zoning Map.
4. Map Corrections. An owner may request that the Administrator initiate a correction to the location of the noise contours shown on the Zoning Map. The owner shall show, and the Administrator shall find, that the noise contours do not conform with the locations shown on the March 2008 14 CFR Part 150 Noise Compatibility Study by the City of Santa Fe, as amended or superseded by subsequent 14 CFR Part 150 studies.

8.11.6.5 Residential Uses in the O-AN Zone.

1. Noise disclosure statement. Before a development permit is issued for new residential construction (or reconstruction where the total cost of improvements is 75 percent or more of the total assessed improvement value of the site) in the O-AN zone, the owner shall sign a noise disclosure statement. The noise disclosure statement acknowledges that the property is located within the O-AN zone noise contour and signifies the owner's awareness of the associated noise levels associated with the airport. The noise disclosure statement shall be recorded in the Office of the County Clerk. A sample is available from the Administrator. If a property is subdivided, an appropriate disclosure shall be included in the subdivision disclosure statement, and each person subsequently coming into possession of a lot shall execute a noise disclosure statement prior to purchasing the lot.
2. Noise easement in the 60 DNL. Before a development permit is issued for new residential construction or reconstruction (where the total cost of improvements is 75 percent or more of the total assessed improvement value of the site) in the 60 DNL subzone, the owner shall dedicate and record a noise easement on the property. The easement shall authorize aircraft noise impacts over the property at levels established by the relevant DNL noise contour. Any increase of the DNL noise level above that stated on the easement will not void nor be protected by the easement. A sample easement form is available from the Administrator.
3. Noise insulation required in 60 DNL.
 - a. A new residential or nonresidential dwelling unit within the 60 DNL subzone shall be constructed with sound insulation or other means to achieve a day/night average interior noise level of no more than 45 dBA. Reconstructed dwelling units where the total cost of improvements is 75 percent or more of the total assessed improvement value of the site shall also meet this standard. Garages and similar accessory structures that do not include living area are not subject to this requirement.
 - b. A registered professional engineer in the State of New Mexico who has expertise or specializes in acoustical engineering shall certify that the building plans comply with the performance standard for sound insulation prior to the issuance of a building permit.
4. New Residential Construction Within the 65 DNL Subzone.
 - a. New residential construction is prohibited within the 65 DNL subzone. If a site is divided by a 65 DNL noise contour line, all residential construction shall be located entirely outside the 65 DNL subzone.
 - b. Residential housing that existed prior to enactment of the SLDC located within the 65 DNL noise contour, may remain and also may be replaced within five (5) years if damaged or destroyed by fire or other causes beyond the control of the owner.
5. Prohibited Uses Within the 65 DNL Subzone. The following uses are prohibited within the 65 DNL Subzone: hospitals, clinics, nursing homes, child care facilities, nonresidential housing units, and schools (except for aviation-related training/educational facilities).

6. Conditional Use Permit Required. A conditional use permit is required to locate any hospital, clinic, nursing home, child care facility, nonresidential housing unit, or school (except for aviation-related training/educational facilities) within the O-AN zone.

8.11.7 Agriculture Overlay (O-AG).

- 8.11.7.1 Intent. The intent of the Agriculture Overlay (O-AG) is to support goals and policies in the Agriculture and Ranching Element of the SGMP, the County's Code of the West and the County Agriculture and Ranching Implementation Plan.

The O-AG accommodates the development of agricultural use and business that would not cause a detriment to any abutting residential lands. This overlay is appropriate for areas where agriculture and ranching may logically locate because of established land use patterns, and agricultural potential in either greenhouse or land-based environments. The O-AG allows a mixture of agricultural land uses and also establishes appropriate scale and intensity for these uses.

- 8.11.7.2 Location. The Agricultural Overlay (O-AG) is appropriate for use throughout the County.

- 8.11.7.3 Accessory Uses. In addition to those uses allowed by the underlying zoning, the following uses are allowed in the O-AG as accessory uses, and may be approved administratively:

1. Crop production greenhouses, hoop-houses, other controlled-environment agricultural structures and related season extension structures for personal and/or commercial use provided the combined maximum covered area shall not exceed fifteen thousand (15,000) square feet; and
2. Agricultural-related structures, including, but not limited to, barns, sheds, farm buildings, animal housing, propagation houses, for accessory agricultural uses and seasonal protection for livestock or horses provided the square footage shall not exceed twenty thousand (20,000) square feet.

- 8.11.7.4 Conditional Uses. The following uses may be allowed in the O-AG upon the issuance of a conditional use permit:^[1]

1. Crop production greenhouses, hoop-houses, other controlled-environment agricultural structures and related season extension structures for personal and/or commercial use the combined covered area of which exceeds fifteen thousand (15,000) square feet; and
2. Agricultural-related structures including but not limited to barns, sheds, farm buildings, animal housing, propagation houses, for accessory agricultural uses and seasonal protection for livestock or horses the combined covered area of which exceeds twenty thousand (20,000) square feet.

^[1] *Editor's note—Original has this as Subsection 8.11.2.4.*

- 8.11.7.5 Dimensional Standards. Dimensional standards for all agricultural related structures are as prescribed in the underlying zoning district.

8.11.8 Economic Development Overlay (O-ED). [Reserved]

(Ordinance 2016-9 adopted 12/13/16; Ordinance 2021-03 adopted 7/30/21)

§ 8.12. DENSITY BONUS.

- 8.12.1 Purpose. The purpose of the Density Bonus section is to support continued farming and/or ranching activities, conserve open space, and protect scenic features and environmentally sensitive areas, that are not already protected, by clustering development to allow the remaining land to be protected. The density bonus provisions will be scaled based on the size of the tracts and the underlying zoning. Cluster development may be tied to community water and sewer services with minimum lot sizes in higher density area and zoning district.

8.12.2 A Density Bonus project may be approved on land zoned AR, RUR, RUR-F, RUR-R, RES-F, RES-E, and TC and containing the minimum lot size within each residential zone in accordance with the SLDC. If a property is governed by an adopted Community Overlay District, the respective provisions and regulations apply.

8.12.3 The Area required for a Density Bonus project within the RES-F and RES-E zones shall be 10 acres.

8.12.4 Density calculations by zone are outlined in Table 8-44.

Table 8-44: Density Bonus Calculations, Requirements and Criteria by Zoning District					
Zoning District	Base Density	Density with Bonus	Bonus Calculation	Open Space Easement Required	Criteria
A/R	1 du/160 acres	1 du/80 acres	Base Density x 2 = Total Bonus Density	Three-Quarters (.75) of the Total Site Area	Plat, Easement/Deed Restriction
RUR	1 du/40 acres	1 du/20 acres	Base Density x 2 = Total Bonus Density	Three-Quarters (.75) of the Total Site Area	Plat, Easement/Deed Restriction
RUR-F	1 du/20 acres	1 du/10 acres	Base Density x 2 = Total Bonus Density	Three-Quarters (.75) of the Total Site Area	Plat, Easement/Deed Restriction
RUR-R	1 du/10 acres	1 du/5 acres	Base Density x 2 = Total Bonus Density	One-half (.5) of the Total Site Area	Plat, Easement/Deed Restriction/Community Water
RES-F	1 du/5 acres	1 du/3.75 acres	Base Density x 1.33 = Total Bonus Density	One-half (.5) of the Total Area	Minimum area of 10 acres, Plat, Easement/Deed Restriction, Community Water and Sewer
RES-E	1 du/2.5 acres	1 du/1.875 acres	Base Density x 1.33 = Total Bonus Density	One-half (.5) of the Total Site Area	Minimum area of 10 acres, Plat, Easement/Deed Restriction, Community Water and Sewer
RES-C	1 du/1 acre	1 du/1 acre	Not Applicable	Not Applicable	Density bonus not available in this zone
TC	1 du/ .75 ac.	3 du/acre	Base Density x 2.25 = Total Bonus Density	Not Applicable	Community Water and Sewer
MU	1 du/acre	2 du/acre	Base Density x 2 = Total Bonus Density	Not Applicable	Only for areas identified as Environmental Resource Protection Overlay; Historic Preservation Overlay or Agricultural Overlay Districts; cannot be used for required open space

Table 8-44: Density Bonus Calculations, Requirements and Criteria by Zoning District

Zoning District	Base Density	Density with Bonus	Bonus Calculation	Open Space Easement Required	Criteria
PD	1 du/acre	2 du/acre	Base Density x 2 = Total Bonus Density	Not Applicable	Only for areas identified as Environmental Resource Protection Overlay; Historic Preservation Overlay or Agricultural Overlay Districts; cannot be used for required open space

8.12.5 A density bonus in the A/R district for a family transfer shall be allowed a density bonus to create lots that are a minimum of 40 acres in size, provided that:

8.12.5.1 the application complies with all other requirements for the A/R district set forth in Table 8-44;

8.12.5.2 there is proof that the property has been in the ownership of the applicant for no less than five (5) years; and

8.12.5.3 the property shall be held and not re-conveyed by the receiving family member for a period of ten (10) years after the transfer, which requirement shall be noted on the plat.

8.12.6 All plats with approved density bonus shall comply with the provisions of Chapter 5 (Subdivision and Land Division) and Chapter 4 (Procedures) for total number of lots created.

8.12.7 The open space easement shall be used exclusively for agriculture, landscaping, recreation, open space or any combination thereof and any accessory structures needed to support these uses.

8.12.8 The area of land covered by the open space easement shall be a contiguous area unless otherwise approved. Considerations for approval on non-contiguous open space areas include:

8.12.8.1 Irrigated lands that are separate; and

8.12.8.2 Special features to be protected such as rock outcroppings, arroyos, archaeological sites, scenic features and environmental sensitive areas that are separate.

8.12.9 For the purposes of preserving areas to include open space, scenic features and environmentally sensitive areas the open space easement areas shall be visible from a public right-of-way, except where impractical.

8.12.10 Land used for streets, driveways, parking, sidewalks and private yards may not be counted as part of an open space easement. No buildings or structures are permitted in an open space easement except those necessary to support the operation and maintenance of the easement. An open space easement may include underground utility easements.

8.12.11 Refer to Section **7.15.3.5** for covenants governing the restriction of the open space easement.

8.12.12 A density bonus shall be utilized within the same parcel of land.

8.12.13 A density bonus shall be utilized within the same zoning district on the parcel.

(Ordinance 2016-9 adopted 12/13/16; Ordinance 2021-03 adopted 7/30/21)